



**LOCAL PLANNING AGENCY BOARD AGENDA
REGULAR MEETING
Village Hall - Council Chambers
226 Cypress Lane
Palm Springs, FL 33461
Thursday, October 14, 2021
6:30 PM**

Persons who need an accommodation in order to attend or participate in this meeting should contact the Village Clerk at (561) 965-4010 at least three (3) business days prior to the meeting in order to request such assistance.

1. CALL TO ORDER

2. ROLL CALL *Mayor Bev Smith, Vice Mayor Gary Ready, Mayor Pro Tem Doug Gunther, Council Member Joni Brinkman, Council Member Patti Waller, Village Attorney Glen Torcivia, Interim Village Manager Michael Bornstein, and Village Clerk Kimberly Wynn*

3. PUBLIC HEARINGS

- 3.1 Ordinance No. 2021-09 - Land Use and Rezoning (Small-Scale) Amendments - Prince Place - 3075 Prince Drive, 3098 Ferrell Drive & a vacant lot on Paetzold Drive (*Quasi-Judicial Hearing*)
1. Proposed Ordinance No. 2021-09 - Small Scale Land Use Amendment and Rezoning - Prince Place
 2. Exhibit "A" Staff Recommendation and Conditions of Approval
 3. Applicant Justification Statements
 4. Site Plan, Landscape Plans, Architectural Plans, Civil Plans and Letters
 5. Color Site Plan and Color Rendering
 6. Warranty Deed
 7. Aerial, Location, FLU and Zoning Map

4. ADJOURNMENT

If a person decides to appeal any decision made by this Council with respect to any matter considered at this meeting, he will need a record of the proceeding, and that for such purpose he may need to ensure that verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



Village of Palm Springs

Executive Brief

AGENDA DATE: October 14, 2021

DEPARTMENT: Planning, Zoning & Building

ITEM 3.1: Ordinance No. 2021-09 - Land Use and Rezoning (Small-Scale) Amendments - Prince Place - 3075 Prince Drive, 3098 Ferrell Drive & a vacant lot on Paetzold Drive (*Quasi-Judicial Hearing*)

SUMMARY:

Mr. Miles Rich, the Applicant, is requesting a small-scale land use plan amendment and rezoning on 1.62 acres (comprised of three (3) parcels) located at 3075 Prince, 3098 Ferrell Drive, and a vacant lot on Paetzold Drive, to facilitate a multi-family (townhome) development project.

The proposed small-scale land use and zoning changes would be from existing Palm Springs to new Palm Springs designations, and the combined properties are less than 50 acres in size (1.62 acres total) and planned for urban (residential) use:

Existing Village Future Land Use	Proposed Village Future Land Use	Existing Village Zoning	Proposed Village Zoning
Commercial	High Density Residential (up to 19 du/ac)	General Commercial (CG)	Residential Multiple-Family (RM)

The applicant is requesting that the property be designated with the Village's High-Density Residential future land use category (19 du/ac), which would allow up to a maximum intensity of 30 residential dwelling units. The property was annexed into the Village of Palm Springs in 2016 and assigned Village Commercial and Commercial General future land use and zoning designations, respectively.

Note: The subject property is bound to the east by Commercial Land Use and to the west, south and, north by Palm Beach County Residential land use.

The applicant is concurrently requesting site plan approval (SPR21-12) and, three (3) waivers

for residential planned development (RPD) to construct 21 two-story townhomes within three (3) buildings, which they intend to operate as a rental community, although the property will be platted. The proposed community would have access via Prince Drive and Paetzold Avenue. The amenities are expected to include a tot lot with swing-sets, spring-riders, see-saw, a picnic area with BBQ grill, table and benches under a shade structure and, an open grass area for sports fields.

The applicant is requesting three (3) waivers for the proposed RPD Site Plan:

1. Relief from Sec.34-766(7) - Allow a 20' front setback rather than 25' minimum required.
2. Relief from Sec. 34-1064(c) - Allow a residential planned development project on 2.07 acres lot rather than on a 3 acres lot minimum required.
3. Relief from Sec.34-766(1) - Allow twenty-one (21) townhomes to be constructed on a 2.07-acre property rather than 4.27-acre minimum lot size.

The proposed site plan with waivers is presented (within this item) for informational purposes only (no action required at this time). If the proposed small-scale land use map and rezoning amendments are approved, the proposed site plan will be considered under a separate Resolution at a future (possibly November) meeting.

Note: The Village does not typically place conditions of approval on future land use map changes. The legislative decision as to the appropriateness of the land use, irrespective of potential development plans, is generally made with consideration on compatibility, impact on services and, need for the land use to fulfill Village redevelopment and growth objectives.

The proposed request was submitted through the PBC Intergovernmental Plan Amendment Review Committee (IPARC) for intergovernmental review and no comments were received.

Note: IPARC is designated to provide coordination of proposed plan amendments, cooperation between affected local government and service providers and provides opportunities to resolve potential disputes only within the plan amendment process.

Note: House Bill 487 (2021 Legislative Session) increased the size of small-scale amendments from 10 acres to 50 acres, and was effective July 1, 2021.

The Planning and Zoning Board considered this application during their September 14, 2021, meeting and recommended approval of the land use change/rezoning, but recommended denial of the site plan expressing concerns about the number of residential units being proposed.

The Local Planning agency (LPA) will consider this item during their October 14, 2021 meeting.

If approved on 1st reading, the proposed ordinance will be considered for 2nd and final reading by the Village Council on November 18, 2021.

FISCAL IMPACT:

The property land use and rezoning amendments are not expected to provide a direct fiscal impact to the Village; however, it would facilitate development that will increase the village's property valuation. Additionally, this project, if approved, would require various Village services that will result in increased expenditures to the Village.

ATTACHMENTS:

Proposed Ordinance No. 2021-09 - Small Scale Land Use Amendment and Rezoning - Prince Place
Exhibit "A" Staff Recommendation and Conditions of Approval
Applicant Justification Statements
Site Plan, Landscape Plans, Architectural Plans, Civil Plans and Letters
Color Site Plan and Color Rendering
Warranty Deed
Aerial, Location, FLU and Zoning Map

ORDINANCE NO. 2021-09

(SMALL SCALE LAND USE AMENDMENT & REZONING)

AN ORDINANCE OF THE VILLAGE OF PALM SPRINGS, FLORIDA, AMENDING THE COMPREHENSIVE LAND USE PLAN OF THE VILLAGE, PURSUANT TO THE “SMALL SCALE” COMPREHENSIVE LAND USE AMENDMENT LAWS OF THE STATE OF FLORIDA, FOR A 1.62-ACRE PARCEL OF THREE (3) LOTS UNIFIED THAT IS CURRENTLY VACANT AND PLANNED FOR “HIGH DENISTY RESIDENTIAL” LOCATED AT 3075 PRINCE DRIVE, A VACANT LOT AT PAETZOLD DRIVE AND 3098 FERRELL DRIVE AND BEING MORE FULLY DESCRIBED IN EXHIBIT “A” ATTACHED HERETO, FROM A FUTURE LAND USE DESIGNATION OF “COMMERCIAL” TO A FUTURE LAND USE DESIGNATION OF “HIGH DENSITY RESIDENTIAL”; FURTHER CHANGING THE ZONING DESIGNATION FROM “COMMERCIAL GENERAL (CG)” DISTRICT TO PROVIDE FOR A ZONING DESIGNATION OF “RESIDENTIAL MULTIPLE-FAMILY (RM)” DISTRICT ON THE VILLAGE OF PALM SPRINGS OFFICIAL ZONING MAP; PROVIDING DIRECTIONS TO THE VILLAGE CLERK; PROVIDING FOR REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Village has determined the need to amend the land use and zoning designations for a parcel less than 50 acres in size (1.62 acres) that is currently vacant, and is currently proposed for “High Density Residential” use located at 3075 Prince Drive, 3098 Ferrell Drive and a vacant lot on Paetzold Drive; and

WHEREAS, the Village will initiate the small-scale land use and zoning changes from the existing Village of Palm Springs designations. The subject property is less than 50 acres in size; and

WHEREAS, there is a limitation of nineteen (19) dwelling units maximum on the property; and

WHEREAS, the Village has adopted a Comprehensive Plan pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act (the “Act”); and

WHEREAS, the Village Council, sitting as the Village’s Local Planning Agency (the “LPA”) will consider this item on October 14, 2021, and their recommendation will be provided to the Council prior to consideration; and

WHEREAS, the Village Council has considered the request of Village Staff for small-scale land use amendments and re-zoning designation; and

WHEREAS, the Village Council has determined that granting the request for land use amendment and rezoning serves a valid public purpose.

NOW THEREFORE, BE IT ORDAINED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:

Section 1. Findings. The Village Council finds the above statements are true and correct and serve as a basis for consideration of this ordinance.

Section 2. Future Land Use. The Future Land Use designation in the Village's Comprehensive Land Use Plan for the lands described herein, as more particularly designated in "**Exhibit A**" shall be established as "High Density Residential" land uses. Until such time as the appeal period expires, (if challenged, the new zoning is not effective until such time as the state land planning agency or the Administration Commission issues a final order of compliance) but not sooner than 31 days following the effective date of this ordinance, all development of said lands shall be subject to the requirement of the existing Village Land Use Plan, Zoning, and Subdivision regulations.

Section 3. Zoning. Concurrent with said small-scale land use amendment, the Land Development (Zoning) District designation on the official Village of Palm Springs Zoning Map shall be established as "Residential Multiple-Family (RM)", more particularly designated in **Exhibit "A"**, subject to the approval and appeal period stated in Section 2, above.

Section 4. Directions to the Village Clerk. The Village Clerk is hereby authorized and directed to forthwith cause the designation of the zoning of the property described in the attached "**Exhibit A**", as set forth in Section 3 of this Ordinance, on the official Village of Palm Springs Zoning Map.

Section 5. Repeal of Conflicting Ordinances. All Ordinances, Resolutions or parts of Ordinances and Resolutions in conflict herewith are hereby repealed.

Section 6. Severability. If any word, clause, sentence, paragraph, section or part thereof contained in this Ordinance is declared to be unconstitutional, unenforceable, void or inoperative by a court of competent jurisdiction, such declaration shall not affect the validity of the remainder of this Ordinance.

Section 7. Effective Date. This Ordinance shall become effective immediately upon adoption.

Council Member _____, offered the foregoing Ordinance, and moved its adoption. The motion was seconded by Council Member _____, and upon being put to a vote, the vote was as follows:

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>
BEV SMITH, MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GARY READY, VICE MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DOUG GUNTHER, MAYOR PRO TEM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PATTI WALLER, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JONI BRINKMAN, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The Mayor thereupon declared this Ordinance approved and adopted by the Village Council of the Village of Palm Springs, Florida, on second reading, this _____ day of _____, 2021.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: _____
BEV SMITH, MAYOR

First Reading _____

Second Reading _____

ATTEST:

BY: _____
KIMBERLY M. WYNN, VILLAGE CLERK

REVIEWED FOR LEGAL FORM AND SUFFICIENCY

BY: _____
GLEN J. TORCIVIA, VILLAGE ATTORNEY



PLANNING, ZONING & BUILDING STAFF REPORT

SUBJECT: Small-Scale Land Use Amendment, Rezoning, and Residential Plan Development site Plan with Waivers - Prince Place - 3098 Ferrell Drive, Vacant Lot at Paetzold Drive, and 3075 Prince Drive

Application Summary			
Applicant / Petitioner	Miles Rich Rich Properties FL	Submittal Date	4/23/2021
Reference Name	Prince Place	Case Number	SPR21-12
		Parcel Control Nos.	70-43-44-30-01-098-0030 70-43-44-30-01-098-0040 70-43-44-30-01-098-0053
Location	Assembly of 3 properties 3098 Ferrell Drive, Vacant Lot at Paetzold Drive, & 3075 Prince Drive	Site Area	± 2.07 gross acres ± 1.62 net acres
P&Z B Meeting	September 14, 2021	Local Planning Agency	October 14, 2021
Council Meeting (after LPA, 1st Reading)	October 14, 2021	Council Meeting (2nd Reading)	November 18, 2021
Requests			
Proposed Use	Small-Scale Land Use Amendment of the Future Land Use Map to change the land use from Commercial General to High Density Residential, concurrent with Rezoning from Commercial General (CG) to Residential Multiple-Family, and Residential Planned Development Site Plan for construction of 21 two-story townhomes within three buildings, which the Applicant intends to operate as a rental community.		
Number of Buildings	3 Buildings (approximately 18,760.5 S.F. total)		
Waivers	<ol style="list-style-type: none"> 1. Requesting a waiver from Sec. 34-766(7) to allow a front setback of 20' instead of the 25' setback required. 2. Requesting a waiver from Sec. 34-1064(c) to allow a minimum lot area of 2.07 acres instead of the 3 acres minimum requirement. 3. Requesting a waiver from Sec. 34-766(1) to allow a minimum lot area of 90,169 S.F. instead of the 186,000 S.F. required for 21 dwelling units. 		
Parking			
Code	Required	Provided	Meets Requirement
Total Parking	Total of 66 spaces needed 2.5/ DU + 25% for guest	66 spaces total One-Car Garage and Two-Car Driveway per Unit, 3 guest spaces	Yes
Setbacks			
Code	Required Minimum	Proposed	Meets Requirement
Front Yard	25'	20'	No* (waiver requested)
Rear Yard	20'	20'	Yes
Side Yard	20'	20'	Yes
Side Yard Corner	25'	25'	Yes
Site Characteristics			
Existing Use	Vacant Commercial	Proposed Use	Residential Multiple-Family
Existing Zoning	Commercial General (CG)	Proposed Zoning	Residential Multiple-Family (RM)
Existing Future Land Use	Commercial	Proposed Future Land Use	High Density Residential
Proposed Density	12.5 du/acres (Maximum permitted on High Density Residential is 19 du/acre)		

Surrounding Existing Land Use, Future Land Use, and Zoning			
Direction	Existing Use	Future Land Use	Zoning District
North	Commercial office building, Multi-Family Residential Dwellings	Commercial, Unincorporated Palm Beach County	Commercial General (CG), Unincorporated Palm Beach County
South	Multi-Family and Single-Family Residences	Unincorporated Palm Beach County	Unincorporated Palm Beach County
East	Commercial office building	Commercial	Commercial General (CG)
West	Multi-Family and Single-Family Residences	Unincorporated Palm Beach County	Unincorporated Palm Beach County
Recommendation			
<p>Planning, Zoning & Building Staff recommends conditional approval of the new residential high density planned development site plan, as depicted on the proposed site plan, based on consistency with the Village Comprehensive Plan and compatibility with surrounding uses.</p> <p>Planning & Zoning Board recommended approval of the Future Land Use Amendment -motion carried 4-1. Planning & Zoning Board recommended denied of the Residential Planned Development Site Plan -motion carried 3-2.</p> <p>At the Planning & Zoning Board hearing on September 14, 2021, the board members expressed concerns that proposed density is too high for these combined parcels.</p>			



I Site History

- Ordinance 2016-23: Annexation

The properties located at 3098 Ferrell Drive, Paetzold Drive, and 3075 Prince Drive were annexed into the Village of Palm Springs on December 15, 2016 and concurrently designated with the Village's Future Land Use and Land Development District of Commercial and Commercial General, respectively.

II. Comprehensive Plan Consistency

- The subject property's Future Land Use Designation and Zoning are Commercial and Commercial General (CG), respectively. The proposed small-scale land use amendment is to be assigned as the Village's Future Land Use of High Density Residential. Concurrently, rezoning from the Village's zoning designation of Commercial General to Residential Multiple-Family is requested and is supported with a planned development site plan. All requests are consistent with the goals, objectives and policies of the Village's Comprehensive Plan.

III. Waivers Requested

The applicant is seeking the following waivers:

Waiver #1: The applicant is requesting a waiver from Sec. 34-766(7) to allow a front setback of 20' instead of the 25' setback required.

Waiver #2: The applicant is requesting a waiver from Sec. 34-1064(c) to allow a minimum lot area of 2.07 acres instead of the 3 acres minimum requirement.

Waiver #3: The applicant is requesting a waiver relief from Sec. 34-766(1) to allow a minimum lot area of 90,169 S.F. instead of the 186,000 S.F. required for 21 dwelling units.

The applicant's full justification to the waivers is attached hereto.

- a. The request is in harmony with and is consistent with the purpose and intent of the Village's Comprehensive Plan and Land Development Code and that such waiver will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare.

Waiver 1: The request to allow a 20' Front Setback is in harmony and is consistent with the purpose and intent of the Village's Comprehensive Plan and Land Development Code. It is our opinion that this will not affect the health safety and welfare of the residents or the surrounding community. By allowing the 5' relief from the Front setback, allows the project to be flexible within the tight constraints and odd shape of the subject property.

Waiver 2: The request to allow to develop a lot that differs from the minimum requirement from sec 34-1064(c) on acreage size from the required minimum lot requirements is outside of the Applicant's control and will not affect the public health safety, and welfare.

Waiver 3: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control and will not affect the public health safety, and welfare.

- b. The request results from innovative design in which other minimum standards are exceeded.

Waiver 1: By allowing the 5' relief from the Front setback, the project is allowed to be flexible within the tight constraints and odd shape of the subject property. The 5' relief gives an opportunity to meet and exceed other building setbacks where needed, for instance, along the single family residential to the south and east of the site where maximum distance

is provided.

Waiver 2: The request to allow a reduced lot size is not the result of innovative design. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant.

Waiver 3: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control due to size of subject property.

- c. The request demonstrates that granting of the waiver will result in preservation of valuable natural resources, including drainage and recharge areas, natural areas, etc.

Waiver 1: The proposed reduction in the front setback by 5' does not adversely affect natural resources, drainage or natural areas.

Waiver 2: The request to allow a reduced lot size will not result in preservation of valuable natural resources. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant.

Waiver 3: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control due to size of subject property.

- d. The request demonstrates public benefits to be derived, including but not limited to such benefits as dedication of rights-of-way, extensions of pedestrian linkages outside of the project boundaries, preservation of open areas and use of desirable architectural, building, and site design techniques.

Waiver 1: The request to allow for a 5' reduced front setback allows the applicant to provide desirable architectural buildings and site design techniques within an oddly shaped lot with restricted width.

Waiver 2: The request to allow a reduced lot size does not demonstrate public benefits to be derived. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant.

Waiver 3: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control due to size of subject property.

- e. The request provides sufficient screening and buffering to screen adjacent uses from adverse impacts caused by the granting of a waiver.

Waiver 1: The waiver request will provide sufficient screening and buffering to screen adjacent uses from any adverse impacts created by the reduced front setback. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant and will not jeopardize the screening or buffering of the subject site as it relates to a decreased front setback. All required foundation and buffer landscaping will be provided.

Waiver 2: The request to allow a reduced lot size does not affect screening or buffering. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant.

Waiver 3: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control due to size of subject property. It will have no adverse effect on the screening or buffering of adjacent properties.

- f. Economic issues may not be used to justify waivers.

Waiver 1, 2, & 3: Economic issues are not used as a justification for these requests.

- g. The request is compatible with existing and potential land uses adjacent to the development site.

Waiver 1, 2, & 3: The request is consistent with the existing and potential land uses adjacent to the development site. A majority of the surrounding uses are residential zoned and will not generate compatibility issues. The Medical office building to the east will provide the required landscape buffer and 6' fence which will assist in the compatibility issues.

Staff supports the applicant's request based on the intent of the applicant to maximize the utilization of the land reducing the amount of impervious surface and consistency with the Village Comprehensive Plan allowing for innovative designs. Although the acreage is below the minimum required for 21 residential dwelling units, the property can still be developed in the proposed manner without any adverse impact to the surrounding properties.

IV. Neighborhood Compatibility

- 1) The proposed project is located on the east side of Paetzold Drive between Ferrell Drive and Prince Drive.
- 2) Surrounding properties are mostly multi-family residential dwellings and medical offices.
- 3) A mix of different uses like general retail, restaurants, schools, and professional offices are located nearby along South Congress Avenue and Melaleuca Lane/6th Avenue South.
- 4) John Prince Park, JFK Medical Center, and Palm Beach State College are major amenities located within a mile of the site.
- 5) Public transportation via Palm Tran bus stops is available along South Congress Avenue and Melaleuca Lane/6th Avenue South.

V. Regulatory Issues

- The site plan generally conforms to the property development standards of a Residential Planned Development.
 - 1) Proposed project plan generally meets required site development regulations.
 - 2) A High-Density Residential Land Use designation and rezoning to RM shall be approved prior to consideration of the proposed Site Plan.
 - 3) The applicant is responsible to acquire all applicable permits from all regulatory agencies with jurisdiction over the project site, including but not limited to Palm Beach County, Lake Worth Drainage District, City of Atlantis, and the Village of Palm Springs.
 - 4) Civil/Utility plans shall be approved by the Village's Engineer.
 - 5) The proposed development is located within the Airport Regulated area Zone 1 for Palm Beach International Airport and Zone 3 for Palm Beach County Park/Lantana Airport.
 - 6) Proposed Site Plan meets the Traffic Performance Standards of Palm Beach County.
 - 7) There will be no negative impact on the School district of Palm Beach County public school system with the proposed development.
 - 8) Property is under platting process but the applicant has states that this is a rental community managed by Rich Properties LLC .

VI. Environmental Issues:

There are no environmental (wetlands, floodplains, etc.) issues identified.

VII. Community Outreach/ Notification

- The subject property was posted on September 4, 2021.
- Public Notification letters were mailed to all property owners within 300 feet radius of subject

property on September 2, 2021.

- Legal advertisement was published in the paper on September 2, 2021 and will be re-advertised on October 7, 2021.
- Staff has not received any inquiries or comments as a result of the notices.

VIII. Proposed Development Plan Details

The petitioner’s development plans received on April 23, 2021, depicts the following:

- Application for Residential Planned Development Site Plan approval with 3 waivers for the construction of 21 multi-family dwelling residences within 3 buildings.
 1. Site Plan received on April 23, 2021. Revised and resubmitted on August 2, 2021.
 2. Landscape plans received on April 23, 2021. Revised and resubmitted on August 19, 2021.
 3. Engineering plan.
 4. Architectural plans received April 23, 2021. Revised and resubmitted on August 19, 2021.
 5. Photometric plan received April 23, 2021. Revised and resubmitted on August 19, 2021.
 6. Boundary and topographic survey.
 7. Traffic study.
 8. Project narrative and Justification Statement of proposed use received June 2, 2021. Revised and resubmitted on August 19, 2021.
 9. Conceptual Drainage Plan received April 23, 2021. Revised and resubmitted on August 19, 2021
 10. Storm Water Management Calculations received April 23, 2021. Revised and resubmitted on June 2, 2021

IX. Recommendation

The applicant is proposing the development of the 1.62-acre parcel with the construction of 21 two-story townhomes within three buildings, which they intend to operate as a rental community.

The townhomes will be three-bedroom homes with a one car garage and a driveway with space for two cars. The buildings will be configured with one (1) 3-townhome structure, one (1) 5-townhome structure and one (1) 13-townhome structure, for a total of three (3) buildings. The community will have two access driveways via the existing Prince Drive and Paetzold Avenue rights-of-way. Amenities include a sports field, a tot lot with playground equipment, a shade structure, and picnic tables with a grill.

Planning, Zoning & Building Staff has conducted a review of the application and found the proposed Residential Planned Development Site Plan to be consistent with goal, objectives and policies of the Village’s Comprehensive Plan. The proposed project is generally consistent with the Land Development and zoning regulations and all other portions of the code.

The proposed residential multi-family project provides internal sidewalk connections between the common amenities (sports field, tot lot, picnic area) and the buildings to facilitate pedestrian circulation and safety. The proposed project provides open spaces creating common areas for passive/leisure activities. The proposed use does not significantly reduce light and air on adjacent properties and would not be a deterrent to surrounding properties. The new project does not negatively impact natural systems.

In addition, the project exceeds some of the minimum requirement for a Planned Development as shown on the table below:

Land Development Regulations	Required	Proposed
35 percent of the gross land area for open space	24,697 S.F. (0.57 acres)	30,730 S.F. (0.71 acres) (43.6%)
40% maximum lot coverage	28,225 S.F.	18,760.5 S.F. (26.6%)

PZ&B Staff recommends conditional approval of the Residential Planned Development Site Plan with three (3) waivers, for the construction of 21 multi-family dwelling residences within 3 buildings subject to the following forty-two (42) conditions below:

1. Build out date December 31, 2023.
2. Per Palm Beach Department of Airports request, each perspective tenant and/or purchaser within the ALUNZ must be informed that occasionally will observe aircraft arriving at and departing from Palm Beach County Park Airport and shall be disclosed prior to a lease agreement or real estate contract. The condition will become inclusive in the agreement/contract's conditions and shall be noted in subsequent contracts. Condition shall become inclusive in the agreement/contract's conditions and shall be provided to the Village **at time of Platting**.
3. The Final Plat shall be approved and recorded **prior to the issuance of any building permit**.
4. The common amenities shall be completed in their entirety, open for use and accessible to the residents, **prior to the issuance of the 8th Certificate of Occupancy** (40% of the project)
5. An opaque fence shall be provided around the lift station supplemented with landscaping and details shall be provided **at time of permitting**.
6. A Utility/Civil Plan shall be approved by the Village Engineer and the City of Atlantic Utility Department **at time of permitting**.
7. Details of the proposed black aluminum fence shall be provided to the PZB Department and shall be approved by the PZB Director **at time of permitting**.
8. Garages shall be used for parking only. The standard lease restrictions shall prohibit the conversion of garages into habitable spaces or used as storage.
9. The standard lease restrictions shall prohibit the installation of sheds, the parking of boats, commercial vehicles, or recreational vehicles anywhere inside the property. Parking of oversized vehicles that do not fit within the typical parking stall (9'x18.5') shall also be prohibited.
10. The legal instruments providing parking restrictions, shall be reviewed and approved by the Village Attorney and PZB Director **prior to issuance of the first building permit**.
11. Only two vehicles shall be parked in the driveways overnight and shall not be permitted to park on or block any sidewalk or drive isles.
12. No parking shall be allowed, under any circumstances, along the drive aisle. Residents and guest parking shall only occur within designated parking stalls, private driveways and private garages.
13. The Owner and/or Developer shall maintain common facilities in perpetuity. Common facilities include but are not limited to roads, sidewalks, parking areas, driveways, landscaping, benches, mailboxes, trash cans, bike racks, etc.
14. If the rental community changes to a fee-simple townhomes or condominium (sole ownership of property to individual ownership of units), an Administrative Site Plan Amendment shall be approved by the Village **prior to the sale** of any individual townhome. The Village Attorney and PZB Director shall review and approve the HOA covenants and deed restrictions pertaining to the community.
15. The construction dumpster shall be only provided by Waste Pro USA who is under franchise Agreement with the Village.
16. Conditions of approval stated in Village Engineer's letter (Chen Moore and Associates) issued on August 24, 2021, shall be satisfied **at time of Civil/Utility application review**.
17. Any existing or proposed utility box/cabinet shall be screened from view, Staff recommends wrapping the cabinets/box with a match design accordingly with the existing/proposed location.
18. Any existing or proposed utility easement shall not overlap more than 5' the landscape buffer.
19. The property owner shall post a notice of annual boundary school assignments for students from this development. The district will provide an 11' x 17' sign to be posted in a clear and visible location in all sales offices and models with the following:

"NOTICE TO HOMEBUYERS/TENANTS"

"school age children may not be assigned to the public school closest to their residences. School Board policies regarding overcrowding or other boundary policy decisions affect school boundaries. Please contact the Palm Beach School District Boundary Office at (561) 434-8100 for the most current school assignment(s)".
20. Photometric plans shall be approved by the Planning, Zoning and Building Department **at time of permitting**.
21. Landscaped areas shall be irrigated including but not limited to buffer, islands, planter boxes, etc.
22. The mail pickup and delivery system shall be approved by the United States Postal Service.
23. Irrigation plans shall be provided **at the time of permitting**. Non-potable water shall be used for the irrigation system per Village code.
24. Provide permits from all applicable permitting agencies, including but not limited to, Lake Worth Drainage

District, Palm Beach County, the City of Atlantis, and the Village of Palm Springs **at the time of permitting.**

25. The property owner shall register an Agent of Record, prior to issuance of a permit, to establish a contact person responsible for compliance with this Development Order, including site plan/landscape plan details and conditions of approval.
26. A copy of the NPDES Notice of Intent for Generic Permit shall be submitted to the PZB Department at time of permitting.
27. A stabilized surface shall be provided at all times during construction for access by emergency vehicles.
28. All mechanical equipment's and above-ground infrastructure shall be screened from view.
29. The Applicant may be required to undertake additional security measures, based on the number of complaints or calls for service for incidents at the premises, as determined by the Police Chief. Such additional security measures, as approved by the Police Chief, may include increased on-site security at the operator's sole expense.
30. Verify utility and easement locations to ensure that there are no conflicts with landscaping, revise **at time of permitting** as needed.
31. All electric utilities shall be underground.
32. A pre-construction meeting shall be scheduled with the Village Planning, Zoning & Building Development Department prior to commencement of any construction activity. Permits are required from the Planning, Zoning & Building Department prior to commencing any construction or renovation. The project shall be constructed in accordance with the FBC edition in effect **at the time of permitting.**
33. A silt barrier shall be installed around the perimeter of the property (within the affected area for the site improvements and new building construction) prior to commencement of any site work or construction activity, and a track pad shall be installed at the construction entrance(s), both of which shall remain through substantial completion.
34. Any sidewalk broken or damaged during construction shall be replaced by the contractor **prior to CO.**
35. The Landscaping shall be certified by the Landscape Architect upon completion and **prior to Certificate of Occupancy/Certificate of Completion** of each improvement area.
36. Absolutely no occupancy, other than construction personnel, is permitted **prior to TCO/CO.**
37. Photometrics must be certified by an engineer **prior to CO.**
38. The civil engineer of record shall certify the site construction **prior to Certificate of Occupancy.**
39. The applicant may be required to provide a resident inspector for structural elements such as concrete pours in accordance with Section 109.1.3 FBC 2010 and F.S. 553.791. Determination shall be made at time of pre-construction conference with Planning Zoning and Building Director.
40. The General Contractor shall be on site during all construction activity in accordance with FS 489.1195.
41. The project shall receive approval from all Authorities Having Jurisdiction and submit copies of approvals to the Village of Palm Springs.
42. **At the time of CO,** the petitioner shall provide the Planning, Zoning and Building Department with electronic copies of as-builts.

Miles Rich

JUSTIFICATION STATEMENT

FLU Map Amendment | Rezoning | Site Plan
(Planned Development)

Prince Place

Village of Palm Springs, Florida

Initial Submittal: April 1, 2021
Re-Submittal: August 19th, 2021

REQUEST

On behalf of Richbuilt Sons, the Applicant, we are requesting approval of the following:

- 1) **Future Land Use Map Amendment** from the Village of Palm Springs Vacant Commercial Use to the Village of Palm Springs High Density Residential (HDR) Future Land Use.
- 2) **Rezoning** from the Village of Palm Springs Commercial General (CG) zoning district to the Village of Palm Springs Residential Multifamily (RM) zoning district as a residential planned development.
- 3) **Site Plan (Planned Development)** to allow a 21 unit fee-simple townhouse residential planned development.
 - **Waivers** from the following development standards allowed as part of Planned Development Performance Standards:
 - I. Front Setback
 - II. Minimum Lot Area
 - III. Minimum Lot Area per Dwelling Unit

SITE CHARACTERISTICS

The 1.62 acre subject site, known as “Prince Place”, is located approximately 0.06 miles west of Congress Avenue and approximately 0.35 miles South of 6th Avenue. It is comprised of three parcels identified by Parcel Control Numbers (PCNs) 70-43-44-30-01-098-0053, 70-43-44-30-01-098-0040, and 70-43-44-30-01-098-0030. The three subject parcels retain a Future Land Use (FLU) Designation of Commercial. They were recently annexed into the Village of Palm Springs and are thus under the jurisdiction of the Village of Palm Springs (herein referred to as “the Village”). The three lots are located adjacent to JFK Medical Plaza to the East and North with two single family residential properties to the South.



SURROUNDING PROPERTIES

The site is surrounded by a mix of uses, including a medical office, single-residential, as well as multi-family medium density residential directly West of the property. Given its proximity to these differently typologies, the proposal is in line with the sites existing contextual designation.

	FLU Designation	Zoning District	Existing Use
North	UI (Urban Infill) (Palm Beach County)	UI (Urban Infill) (Palm Beach County)	Multifamily
	Commercial (Village of Palm Springs)	CG (Comm. Gen.) (Village of Palm Springs)	Medical Office
South	RM-Multifamily (PBC)	RM (Res. Med.) (Palm Beach County)	Residential Apartments
South /West	UI (Urban Infill) (PBC)	UI (Urban Infill) (Palm Beach County)	Single Family
East	Commercial (Village of Palm Springs)	CG (Comm. Gen.) (Village of Palm Springs)	Medical Office
West	HR-8 (High Residential) (Palm Beach County)	RM (Residential Med.) (Palm Beach County)	Residential Apartments

DEVELOPMENT HISTORY

As previously mentioned, the subject site was recently annexed into the Village of Palm Springs. The annexation of the subject parcels was adopted in 2016.

The subject site parcels are approximately 1.6 acres and has been undeveloped vacant land. The site to the east at 4801 S Congress Ave (PCN#70-43-44-30-01-097-0030).is a medical office building that is 4 stories high and is 36, 126 SF on 2.87 acres. This building was built in 1984. The zoning for this building is CG and sits in the Village of Palm Springs. To the south of the site there are two one story homes whose zoning is Urban Infill (UI- Unincorporated Palm Beach County). The first of the homes at 3903 Prince Drive (PCN# 00-43-44-30-01-098-0052) is in unincorporated Palm Beach County. The single family house was built in 1984 at 2040 sf on a lot that is .23 acres. The second is at Single Family on 3115 Prince Dr (PCN# 00-43-44-30-01-098-0051). To the west of the site there is an 11 unit single story complex at 3163 CANADA CT (PCN# 00-43-44-30-01-099-0030). It has a total of 13462sf and sits in 1.98 acres. The zoning for this home is RM - Multi-Family (Medium Density) (00- UNINCORPORATED PBC) with a use as a SANI/ REST HOME. The north side of the property is a multifamily 10 unit complex at 3083 FERRELLDR (PCN# 00-43-44-30-01-098-0020). The total square footage is 7748 sf and the structure sits on 0.7707 acres.

The use code is MULTIFAMILY < 10 UNITS with zoning being UI or Urban Infill (00-UNINCORPORATED PBC)

DISTRICT BOUNDARY CHANGES FUTURE LAND USE MAP AMENDMENT/REZONING

Pursuant to the review requirements provided in Section 34-602.-Land Development Board, the development proposal is consistent with said requirements as outlined below.

1. A statement of the petitioner's interest in the property to be rezoned, including a copy of the last recorded warranty deed. The following shall also be included, if applicable:

(a) If the interest is a joint and several ownership, a written consent to the rezoning petition by all parties of record.

(b) If the interest is a contract purchase, a copy of the purchase contract and written consent of the seller/owner.

(c) If an authorized agent is involved, a copy of the agency agreement or written consent of the principal/owner.

(d) If a lessee is involved, a copy of the lease agreement and written consent of the owner.

(e) If a corporation or other business entity is involved, the name of the officer or person responsible for the application and written proof that the representative has the delegated authority to represent the corporation or other business entity, or in lieu thereof, written proof that he is in fact an officer of the corporation.

Response: The Applicant has provided a copy of the Agency Agreement/written consent from the applicable property owners. A copy of the latest warranty deed applicable to each property owner has been provided for review.

2. A certified boundary survey by a surveyor registered in the state, at a scale prescribed by the village, containing the following:

(a) An accurate legal description of the property to be rezoned.

(b) A computation of the total acreage of the tract to the nearest one-tenth of an acre.

Response: A certified boundary survey by a surveyor registered in the state, at a scale prescribed by the Village of Palm Springs has been provided as part of this land Use/district boundary change request. A legal description and computation of the total acreage of the tract to the nearest one- tenth of an acre have been provided within the survey.

3. The location of the subject parcel, plotted on an official base map, land development map or other acceptable map of the village.

Response: As identified on Page One of this Justification Statement, a location map of the subject site within the Village has been provided. Furthermore, a radius map and location maps have been included to further identify the location of the subject site.

4. A property owner's location drawing, showing all properties within 300 feet of the subject property and their relation to the subject parcel.

Response: As required by the Village of Palm Springs to provide adjacent property owner information for Public Hearing applications/notices a location map showing all properties within 300 feet of the subject property and their relation to the subject site has been provided.

5. A statement of special reasons or the basis for the rezoning request, including the intended use of the property.

Response: As aforementioned, the subject parcels were recently annexed into the Village .This request to allow a high density residential land use and RM zoning are necessary in order for the subject site to remain consistent with the surrounding area and to initiate any sort of development on the subject parcels.

6. A confirmation of the provisions of all necessary facilities and systems, and attested to by the applicant or authorized agent, for storm drainage, water supply, sewage treatment, solid waste disposal, public safety protection, recreational and park areas, school sites and any other services, where applicable.

Response: Due to the subject site undeveloped adequate provisions of all necessary facilities and systems will be achievable for the subject site.

As part of the required application, coordination has been initiated with the appropriate facilities and system providers in order to confirm adequate provisions can be provided to the subject site. Copies of all correspondence with providers has been included with this submittal, as well as any statements received.

7. Payment of a filing fee as established by the village.

Response: The filing fee associated with the Future Land Use Map Amendment and Rezoning portion of the request required by this section have been provided as part of this submittal.

DEVELOPMENT PROGRAM

The following outlines the development program for the proposed 21 unit multi-family residential townhouse development:

Density

The maximum density for the RM zoning district is 19 DU/AC. The proposed development remains consistent with the district's density regulations as a density of 13 DU/AC is proposed.

Building Height

Pursuant to Section 34-1064, the maximum height for a building within the residential planned development district shall be the same as allowed in the applicable land development district, or 35 feet, whichever is higher. The proposed RM zoning district and residential planned development height regulation remain consistent with one another, as three stories or 35 feet. The subject site is in compliance with this requirement as the proposed buildings are no more than 35 feet in height.

Minimum Acreage Requirement

The Village's code requirements state that all Residential Planned Developments shall be no less than three acres. The subject site does not meet the required three acres however a waiver is being requested for minimum lot dimensions through the Planned Development.

Open Space and Common Amenity Area

Pursuant to Section 34-1064(d) of the Village Code, a residential planned development is required to provide a minimum amount of open space and common amenity area. The minimum total open space requirement for residential planned developments shall be 35 percent of the gross land area, of which 20 percent shall be common amenity area. Based on the standard for required open space, the 1.62 acre subject site is required to provide 24,697 s.f. or .57 acres of open space. The subject site currently exceeds the code requirement for open space as 42.1 percent of the gross land are proposed to remain as open space. Of the 35% open space requirement, at least 20 percent of this area must be provided as a common amenity area to all lots such as parks, playgrounds, or other recreational purposes. Based on the open space land area requirement of 24,697 s.f. the subject site is required to provide 4,939.4 s.f. of common amenity area for the proposed community. This requirement is satisfied as 24.4% or 6,038 s.f. of common amenity area has been provided (Waiver has been REMOVED from Original Submit)

Lot Coverage

Pursuant to Sec. 34-1064(e)(2), all structures within a Residential Planned Developments shall have a maximum lot coverage of 40%, based on the net area of individual lots. The development proposal is compliant as a maximum of 28,225 s.f. is allowed while the proposal utilizes 18,760.5Sq. Ft.

Access

The subject site retains triple frontage along Prince Drive, Ferrel Drive and Paetzold Ave. Two ingress/egress access points are proposed, one access point from Prince Dr. and another access point from Paetzold Ave. The two access points allow for increased circulation and flow of vehicular and pedestrian traffic throughout the subject site. Guest Parking is on street pull in standard 9' x19.5' spaces.

Buffering

Pursuant to Village Code *Article III, Section 34-162.-Required Landscaping*, in certain situations the Village requires landscaping around the perimeter of development parcels in order to create a buffer from adjoining land uses, streets and properties. The subject site is in compliance with this section of the Village's code as there is a 10 foot landscape buffer provided around the entirety of the subject site. This proposed perimeter buffer in conjunction with the adjacent properties' buffers will provide screening as well as provide an element of security for both the existing and proposed property.

Waivers

As provided in Subdivision IX.-Planned Developments, the proposed residential planned development is subject to greater flexibility in design and development standards relative to specific dimensional regulations, in order to encourage ingenuity and originality in subdivision and site design while preserving open space to serve recreational, scenic and other public services. Therefore, this Subdivision of the Village's code allows for waivers from certain criteria. The waivers requested for the subject site, relate to the Front setbacks, minimum lot area. The waiver details of these aforementioned requirements can be found within the subject site's Conformance with Planned Development Code section of this Justification Statement.

CONFORMANCE WITH PLANNED DEVELOPMENT CODE

As required by the Village's Development Application, demonstration must be provided that the proposed residential planned development is in conformance with the Planned Development Code Objectives and Performance Standards provided in Subdivision IX of the Village's Code. An outline of how the project conforms with standards has been provided below.

SEC. 41-1062 OBJECTIVES

- 1. To permit the creation of functional and unique residential, commercial and mixed-use developments that do not adversely impact the village's character and "small town feel".***

Response:

The proposed residential planned development is in conformance with this objective as the requested residential density of 13 dwelling units per acre (DU/AC) is not out of character for the surrounding area. The site is located in close proximity to many commercial services which will provide immediate service to future residents and create a functional balance between non-residential and residential uses. Furthermore, it is compatible with the surrounding residential land use designations to the north, east, south, and west. Therefore, by allowing for the approval of the proposed 21 dwelling unit townhouse development, the Village's "Small Town Feel" will not be adversely impacted.

- 2. To promote building siting that takes into consideration the context of the development, the location of nearby uses, and the new development's compatibility with existing neighborhoods.***

Response:

The site planning of the subject site took great consideration into the context of the development with the surrounding areas. The subject site's required dry detention areas and common amenity area provide a great deal of open space and substantially less intensity. The common area has been sited so that it exceeds the required sf.. Providing more than enough common amenity space.

3. To enhance landscaped open space and streetscapes.

Response: The development proposal is consistent with the aforementioned objective as areas of the subject site will exceed landscaping requirements for open space and streetscapes.

4. To bring unique and creative solutions to new development, the following elements should be considered in the context of the specific site, project and/or use:

- a) **Arrangement and spacing of buildings and open spaces;**
- b) **Ability to aggregate adjacent lots or parcels, and/or eliminate nonconformities;**
- c) **Location of access drive and sidewalks to promote circulation and access;**
- d) **Building coverage;**
- e) **Sufficient and convenient parking for uses and activities;**
- f) **Landscape buffers and screening mechanisms to enhance aesthetics and promote compatibility**
- g) **Adequate lighting for security and pedestrian/vehicular safety; and**
- h) **Development of large employment centers predominately of light industrial or high technology uses in underutilized corridors. The flexibility of design should promote revitalization of the primary commercial areas and an economic stimulus through job creation to the local economy as well.**

Response: The development proposal brings unique and creative solutions to new development, by remaining consistent with the aforementioned subobjectives. As previously mentioned, great consideration was given during the site planning of the subject site. The arrangement and spacing of buildings relative to open spaces was considered heavily to remain consistent with requirements such as the common amenity area requirements and to provide a better quality of living for future residents. Furthermore, the development proposal provides for a unique solution to develop a currently underutilized parcel by aggregating an adjacent single-family parcel rather than creating an enclave. As previously stated, the access drives have been located in a way to promote circulation and access of the unique double-frontage site. Each subobjective was weighed heavily as they relate to the specific subject site.

SEC. 34-1063 PERFORMANCE STANDARDS

The development proposal conforms with the performance standards for a Planned Development as outlined below.

Standards:

- 1. Sidewalks on both sides of a street or primary driveway, interconnected with other pedestrian-ways and/or providing access to each building.**

Response: The development proposal is proposing 5' sidewalks along the fronts of each building along with striped crosswalks to provide complete connectivity for the entire site. Sidewalks also connect to each of the public right of ways.

- 2. Consolidation of smaller parcels into a larger, unified development project.**

Response: As aforementioned, consolidation of smaller parcels into a large, unified development project was incorporated into the planned development proposal. If the request were solely to develop the unoccupied parcel, this would

result in an enclave of single-family residential.

3. Consolidation of driveways to eliminate curb cuts, with reciprocal easements for access; provision of access from secondary streets and alleys.

Response: The consolidation of driveways has been provided as evidenced within the provided site plan. Access from secondary streets and alleys is not appropriate for the subject site as Townhouse units are proposed, and the size of the subject site does not allow for the use of alleys and secondary streets.

4. Shared parking arrangements to reduce impervious surfaces and promote efficient use of facilities.

Response: As required by the Village's Parking Code, the subject site provides guest parking accommodations within the subject site. The guest parking is in one area. This consideration allows for reduced impervious area as guest parking is not over abundant and throughout all areas of the subject site. Also pervious concrete is proposed for the driveway parking spaces which will further assist in the amount of impervious surface.

5. Provision of sufficient parking to avoid on-street parking, unless designed with on-street spaces.

Response: The subject site retains sufficient parking for the residential units per the Village's Code requirement of 2.5 spaces per unit. Parking spaces are provided for guest parking spaces as required by Village Code; the total parking provided is distributed throughout the development.

6. Pedestrian-scale street lighting along sidewalks and pedestrian ways.

Response: Street lighting will be provided along sidewalks and pedestrian-ways to create an appropriate pedestrian scale environment.

7. Aggregation of open space to create common areas of sufficient size for passive/leisure activities.

Response: The proposed common amenity area is proposed to remain as one whole area located at the Northwest corner of the site. By aggregating the amenity area into one tract rather than multiple smaller tracts throughout the subject site, the land will sufficiently be used for passive/leisure activities. It will also be easily accessible by all residents. We feel the size of the proposed amenity area is sufficient for the use of the 21 residences that are proposed. Keeping in mind that John Prince Park is within walking distance from the subject property.

8. Continuity of sidewalks and pathways where disconnects occur; and provision of sidewalks to usable open spaces, recreation amenities or public facilities.

Response: As previously mentioned, crosswalks will be provided throughout the subject site to provide continuity of sidewalks and pathways where disconnects occur. The subject site has an extensive pedestrian circulation pattern which allows uninterrupted circulation from usable open spaces, recreation amenities, public facilities, and individual lots.

9. Residential setbacks that allow for a green, semi-private planting area between the sidewalk and house(s).

Response: 5' Foundation planting areas have been provided along the Street side (Public ROW side) of the proposed units since it is designated as the front setback. This allows for a green, semi-private planting area between the ROW and

townhomes. Appropriate foundation planting has been planned to be incorporated into the individual units at the entries.

10. Promote streetscape where feasible, with maintenance agreements assigning responsibility to adjacent properties.

Response: Streetscape is promoted throughout the subject site where feasible. This will be achieved through the use of pedestrian scale lighting, as previously mentioned, and by proposing appropriate landscaping to provide adequate streetscape. Maintenance Responsibility will be that of the HOA. See Attached Letter.

12. Building setbacks or setbacks to respect existing scale and massing of adjacent neighborhoods and promote compatibility.

Response: Minimum required setbacks have been provided for units abutting existing single family to the southwest. This along with a 10' required landscape buffer will provide the needed separation between the two uses. The remaining adjacent residential land uses are in line with the proposed RM zoning for the subject property.

13. Provision of original, self-confident building design, and prohibition of metal buildings.

Response: Metal buildings are not proposed as part of this development proposal. Original, self-confident building design is provided as the townhouse buildings are proposed to be contemporary modern.

14. Buffers between differing uses to include a masonry wall and landscaping to promote compatibility.

Response: A 6' Opaque fence is proposed along the entire East property line abutting the JFK Medical Center per code. This along with a 10' wide landscape buffer with trees every 20' on center will provide ample buffering and screening along the adjacent use.

15. Adequate vehicular circulation, traffic maintenance and/or operational measures that does not negatively impact existing roadway conditions, including avoidance of dead-end streets and t-style turnarounds.

Response: As aforementioned, the subject site is proposed to provide adequate vehicular circulation that does not negatively impact existing roadway conditions. Due to the oddly shaped lot, and constricted width limitations, access from all Two (2) rights of ways was needed to make the project work.

WAIVERS

Pursuant to the Planned Development Performance standards of the Village's Code, the Applicant may utilize waivers to promote the use of innovative and creative techniques and concepts. As previously mentioned, waivers are requested for the development proposal to allow relief from certain requirements. The waivers requested have been outlined within the table below and meet the waiver criteria as identified within this *Waivers* section.

WAIVER CHART

WAIVER CHART

WAIVER	WAIVER SUBJECT	CODE SECTION	REQUIRED	PROPOSED	DEVIATION
①.	FRONT SETBACK	SEC. 34-766(7)	25'	20'	5'
②.	MIN. LOT AREA	SEC. 34-1064(c)	3 ACRES	1.62 ACRES	1.38 ACRES
③.	MIN. LOT AREA PER D/U (21 D/U'S)	SEC. 34-766(1)	186,000 S.F.	70,562 S.F.	115,438 S.F.

- 1. The request is in harmony with and is consistent with the purpose and intent of the Village's Comprehensive Plan and Land Development Code and that such waiver will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare.***

Waiver 1 Response: The request to allow a 20' Front Setback is in harmony and is consistent with the purpose and intent of the Village's Comprehensive Plan and Land Development Code. It is our opinion that this will not affect the health safety and welfare of the residents or the surrounding community. By allowing the 5' relief from the Front setback, allows the project to be flexible within the tight constraints and odd shape of the subject property.

Waiver 2 Response: The request to allow to develop a lot that differs from the minimum requirement from sec 34-1064(c) on acreage size from the required minimum lot requirements is outside of the Applicant's control and will not affect the public health safety, and welfare.

Waiver 3 Response: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control and will not affect the public health safety, and welfare.

- 2. The request results from innovative design in which other minimum standards are exceeded.***

Waiver 1 Response: By allowing the 5' relief from the Front setback allows the project to be flexible within the tight constraints and odd shape of the subject property. The 5' relief gives an opportunity to meet and exceed other building setbacks where needed for instance along the single family residential to the south and east of the site where maximum distance is provided.

Waiver 2 Response: The request to allow a reduced lot size is not the result of innovative design. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant.

Waiver 3 Response: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control due to size of subject property.

3. The request demonstrates that granting of the waiver will result in preservation of valuable natural resources, including drainage and recharge areas, natural areas, etc.

Waiver 1 Response: The proposed reduction in the front setback by 5' does not adversely affect natural resources, drainage or natural areas.

Waiver 2 Response: The request to allow a reduced lot size will not result in preservation of valuable natural resources. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant.

Waiver 3 Response: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control due to size of subject property.

4. The request demonstrates public benefits to be derived, including but not limited to such benefits as dedication of rights-of-way, extensions of pedestrian linkages outside of the project boundaries, preservation of open areas and use of desirable architectural, building, and site design techniques.

Waiver 1 Response: The request to allow for a 5' reduced front setback allows the applicant to provide desirable architectural buildings and site design techniques within an oddly shaped lot with restricted width.

Waiver 2 Response: The request to allow a reduced lot size does not demonstrate public benefits to be derived. The lot is predisposed to be smaller than the required minimum and is outside the control of the applicant.

Waiver 3 Response: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control due to size of subject property.

5. The request provides sufficient screening and buffering to screen adjacent uses from adverse impacts caused by the granting of a waiver.

Waiver 1 Response: The waiver request will provide sufficient screening and buffering to screen adjacent uses from any adverse impacts created by the reduced front setback. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant and will not jeopardize the screening or buffering of the subject site as it relates to a decreased front setback. All required foundation and buffer landscaping will be provided.

Waiver 2 Response: The request to allow a reduced lot size does not affect screening or buffering. The lot is predisposed to be smaller than the required minimum and is outside of the control of the applicant.

Waiver 3 Response: The request to allow a reduced lot area contrary Sec 34-766(1) from the required minimum lot requirements is outside of the Applicant's control due to size of subject property. It will have no adverse effect on the screening or buffering of adjacent properties.

6. Economic issues may not be used to justify waivers.

Waiver Response: Economic issues are not used as a justification for these requests.

7. The request is compatible with existing and potential land uses adjacent to the development site.

Response: The request is consistent with the existing and potential land uses adjacent to the development site. A majority of the surrounding uses are residential zoned and will not generate compatibility issues. The Medical office building to the east will

provide the required landscape buffer and 6' fence which will assist in the compatibility issues.

8. ***Waiver requests from maximum height limitations shall further demonstrate that the additional height will not adversely impact adjacent properties and appropriate setbacks are provided as building height increases.***

Response: This criterion is not applicable as a waiver is not requested from the height limitation requirements. The development proposal is currently under the maximum height threshold of three stories or 35 feet.

CONCLUSION

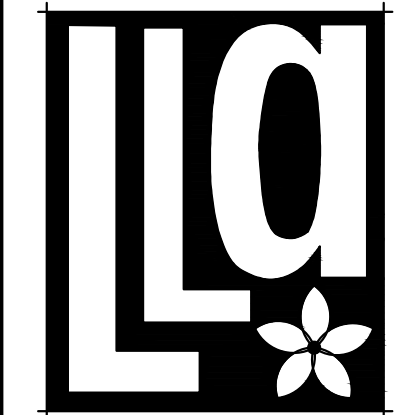
Based on the above justification and attached information, the petitioner respectfully requests approval of the Future Land Use Map Amendment, Rezoning, and Site Plan to allow a Residential Planned Development application for the subject site.



Property Management Narrative
Prince Place
Village of Palm Springs, Florida
September 5th, 2021

Prince Place, a 21 Unit Townhome shall be professionally managed by Rich Properties LLC of Fort Pierce. Rich Properties' corporate office is located at 2552 Peters Road Fort Piece FL and employs over 200 people throughout the state of Florida with a major portfolio concentration of rental communities in Port Saint Lucie County and Palm Beach County. Rich Properties has an apartment rental community called "Palm Springs Apartments" in West Palm Beach with a large leasing office with a full-time staff located 10 minutes away from Prince Place and Rich Properties will manage their operation from this location as well as the corporate office. Rich Properties plans on having a 24/7 phone service line open for the tenants to call for concerns regarding maintenance, security, and anything they need.

Most of the leasing process and paperwork is done electronically from the office however when somebody wants to tour the property to rent a unit at Prince Place Rich Properties will send somebody from one of their offices to conduct the tour at Prince Place.



Litterick Landscape Architecture

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Palm City, FL 34990
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PRINCE PLACE

Village of Palm Springs, Florida

APPLICATION DATA:

NAME OF APPLICATION: PRINCE PLACE
 PARCEL ID: NORTH PARCEL: 70-43-44-30-01-098-0030
 CENTRAL PARCEL: 70-43-44-30-01-098-0040
 SOUTH PARCEL: 70-43-44-30-01-098-0053
 3075 PRINCE DRIVE, PALM SPRINGS

SITE ADDRESS:

EXISTING FUTURE LAND USE: COMMERCIAL
 PROPOSED FUTURE LAND USE: HIGH DENSITY RESIDENTIAL (HDR)
 EXISTING ZONING DESIGNATION: COMMERCIAL GENERAL (CG)
 PROPOSED ZONING DESIGNATION: RESIDENTIAL MULTIPLE FAMILY (RM) (PUD)
 HISTORIC DISTRICT: N/A

EXISTING DISTRICT: VACANT COMMERCIAL
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL (21 UNITS)
 PROPOSED DENSITY: 13.0 D.U./S./ACRE

SITE DATA:

MIN. LOT AREA REQUIRED: 3 ACRES (130,680 S.F.)
 GROSS LOT AREA: *1.62 ACRES (70,562.05 S.F.)
 *WAIVER REQUESTED

MAX. BLDG. HEIGHT: 35' (3 STORIES)
 PROPOSED BLDG. HEIGHT: 23'-5" (2 STORIES)
 (BUILDING HEIGHT MEASURED FROM ADJACENT GRADE AT BASE OF BUILDING TO THE AVG. HEIGHT LEVEL BETWEEN THE EAVES AND THE ROOF RIDGE ON GABLE, HIP OR GAMBREL ROOFS).

MAX. BLDG. LOT COVERAGE ALLOWED: 40% (28,225 S.F.)
 BLDG. COVERAGE PROVIDED: 26.6% (18,760.5 S.F.)

OPEN SPACE REQUIRED: 35% (24,697 S.F.)
 OPEN SPACE PROVIDED: 42.1% (29,729.01 S.F.)

COMMON AMENITY AREA REQUIRED: 4,939.4 S.F. (MIN. 20% OF OPEN SPACE)
 COMMON AMENITY SPACE PROVIDED: 6,038 S.F. (24.4% OF OPEN SPACE)

IMPERVIOUS AREA PROVIDED: 38,903.04 S.F. (55%)
 PERVIOUS AREA PROVIDED: *31,659.01 S.F.(45%)
 *UTILIZES 25% OF PERVIOUS PARKING AREA FOR CALCULATION

SETBACKS

SETBACK	REQUIRED:	PROVIDED:
FRONT	25'	*20' (1)
SIDE	20'	20'
SIDE CORNER	25'	25'
REAR	20'	20'

*WAIVER REQUESTED

PARKING DATA:

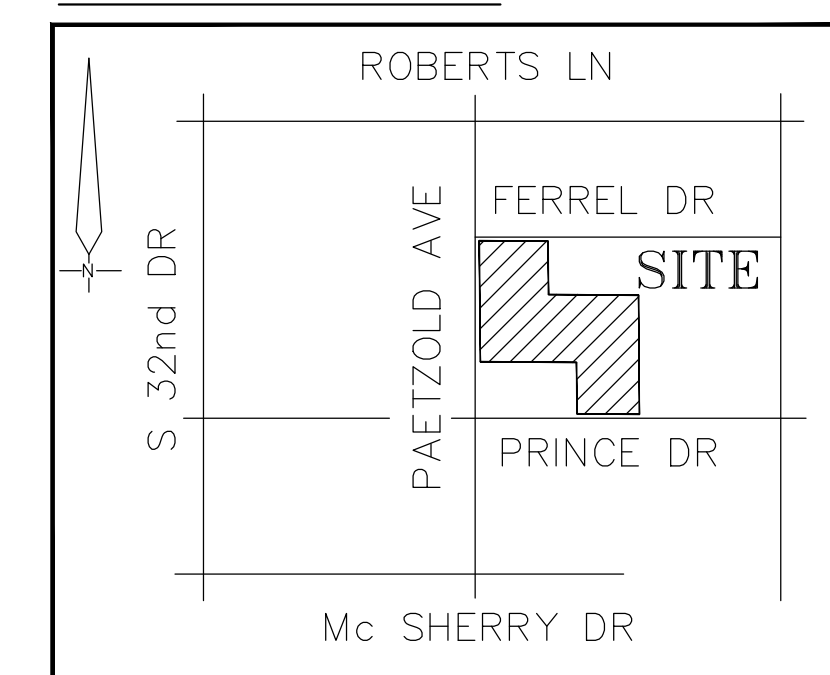
USE	UNITS	PARKING RATE	REQUIRED PARKING
MULTI-FAMILY RESIDENTIAL	21 UNITS	2.5 SP./UNIT	52.5 SPACES
GUEST PARKING		25% OF REQ'D	13 SPACES
		TOTAL PARKING REQUIRED:	66 SPACES
		TOTAL PARKING PROVIDED:	*66 SPACES
		HANDICAP SPACES REQ'D.:	**1 SPACE
		HANDICAP SPACES PROV.:	1 SPACE

*INCLUDES 1 SPACE WITHIN EACH GARAGE
 **BASED ON REQUIRED GUEST SPACES

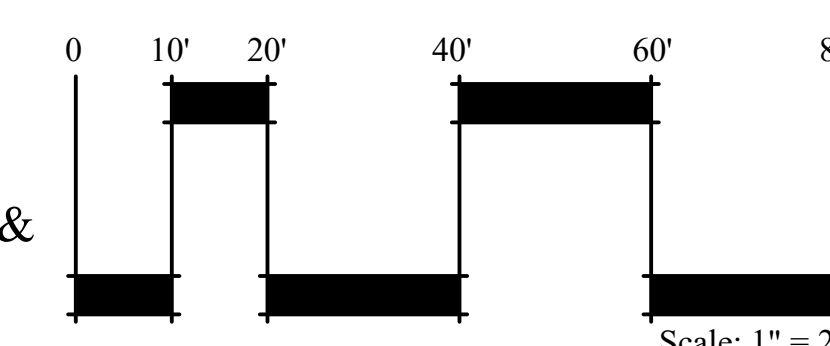
WAIVER CHART

WAIVER	WAIVER SUBJECT	CODE SECTION	REQUIRED	PROPOSED	DEVIATION
(1)	FRONT SETBACK	SEC. 34-766(7)	25'	20'	5'
(2)	MIN. LOT AREA	SEC. 34-1064(c)	3 ACRES	1.62 ACRES	1.38 ACRES
(3)	MIN. LOT AREA PER D/U (21 D/U'S)	SEC. 34-766(1)	8,857 S.F.	3,360 S.F.	5,497 S.F.

LOCATION MAP



Site Plan

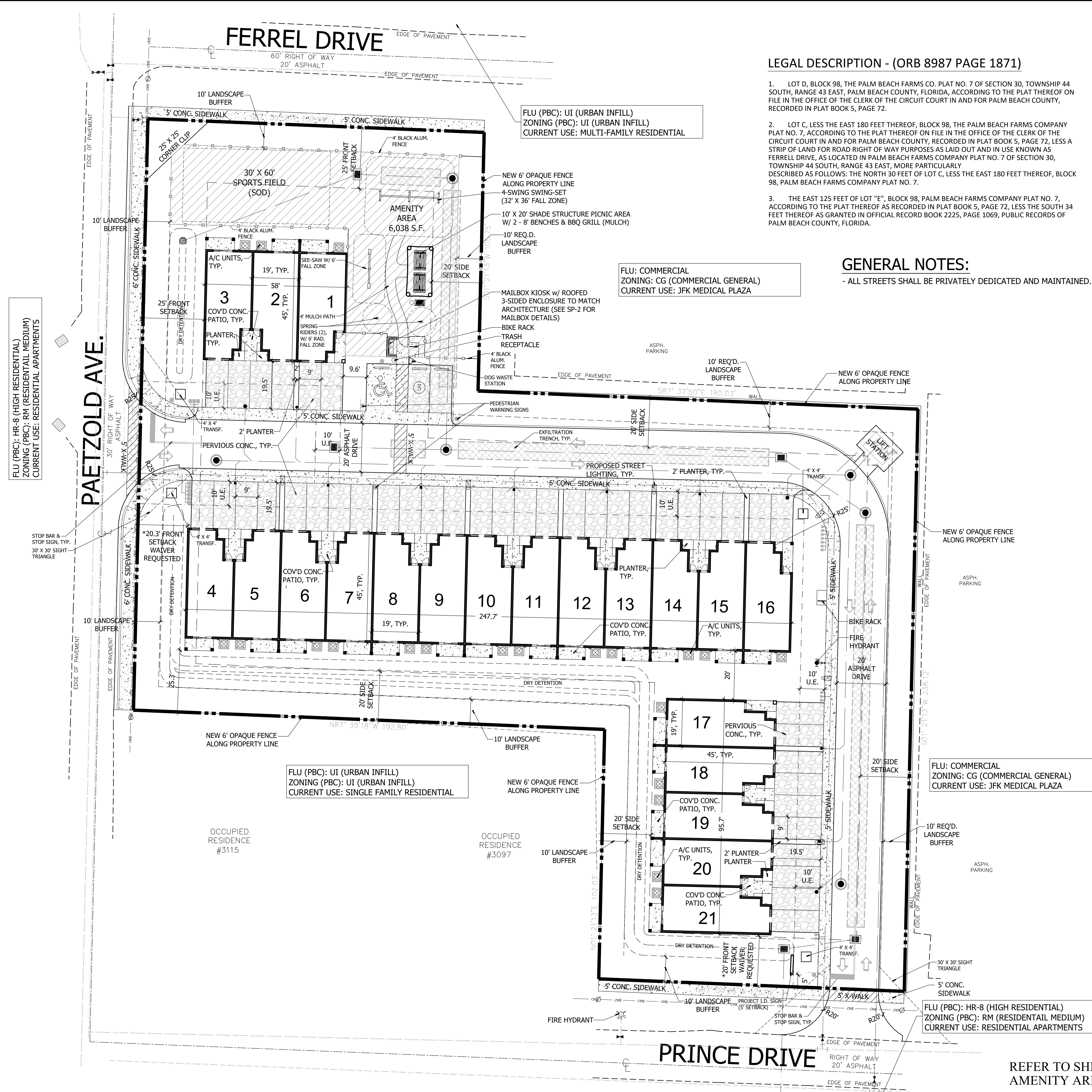


LEGAL DESCRIPTION - (ORB 8987 PAGE 1871)

- LOT D, BLOCK 98, THE PALM BEACH FARMS CO. PLAT NO. 7 OF SECTION 30, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, RECORDED IN PLAT BOOK 5, PAGE 72.
- LOT C, LESS THE EAST 180 FEET THEREOF, BLOCK 98, THE PALM BEACH FARMS COMPANY PLAT NO. 7, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, RECORDED IN PLAT BOOK 5, PAGE 72, LESS A STRIP OF LAND FOR ROAD RIGHT OF WAY PURPOSES AS LAID OUT AND IN USE KNOWN AS FERRELL DRIVE, AS LOCATED IN PALM BEACH FARMS COMPANY PLAT NO. 7 OF SECTION 30, TOWNSHIP 44 SOUTH, RANGE 43 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE NORTH 30 FEET OF LOT C, LESS THE EAST 180 FEET THEREOF, BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7.
- THE EAST 125 FEET OF LOT "E", BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 72, LESS THE SOUTH 34 FEET THEREOF AS GRANTED IN OFFICIAL RECORD BOOK 2225, PAGE 1069, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

GENERAL NOTES:

- ALL STREETS SHALL BE PRIVATELY DEDICATED AND MAINTAINED.



FLU (PBC): UI (URBAN INFILL)
 ZONING (PBC): UI (URBAN INFILL)
 CURRENT USE: MULTI-FAMILY RESIDENTIAL

FLU: COMMERCIAL
 ZONING: CG (COMMERCIAL GENERAL)
 CURRENT USE: JFK MEDICAL PLAZA

FLU: COMMERCIAL
 ZONING: CG (COMMERCIAL GENERAL)
 CURRENT USE: JFK MEDICAL PLAZA

FLU (PBC): HR-8 (HIGH RESIDENTIAL)
 ZONING (PBC): RM (RESIDENTIAL MEDIUM)
 CURRENT USE: RESIDENTIAL APARTMENTS

FLU (PBC): HR-8 (HIGH RESIDENTIAL)
 ZONING (PBC): RM (RESIDENTIAL MEDIUM)
 CURRENT USE: RESIDENTIAL APARTMENTS

FLU (PBC): UI (URBAN INFILL)
 ZONING (PBC): UI (URBAN INFILL)
 CURRENT USE: SINGLE FAMILY RESIDENTIAL

REFER TO SHEET SP-2 FOR SITE & AMENITY AREA DETAILS

Project Name

Landscape Architect of Record



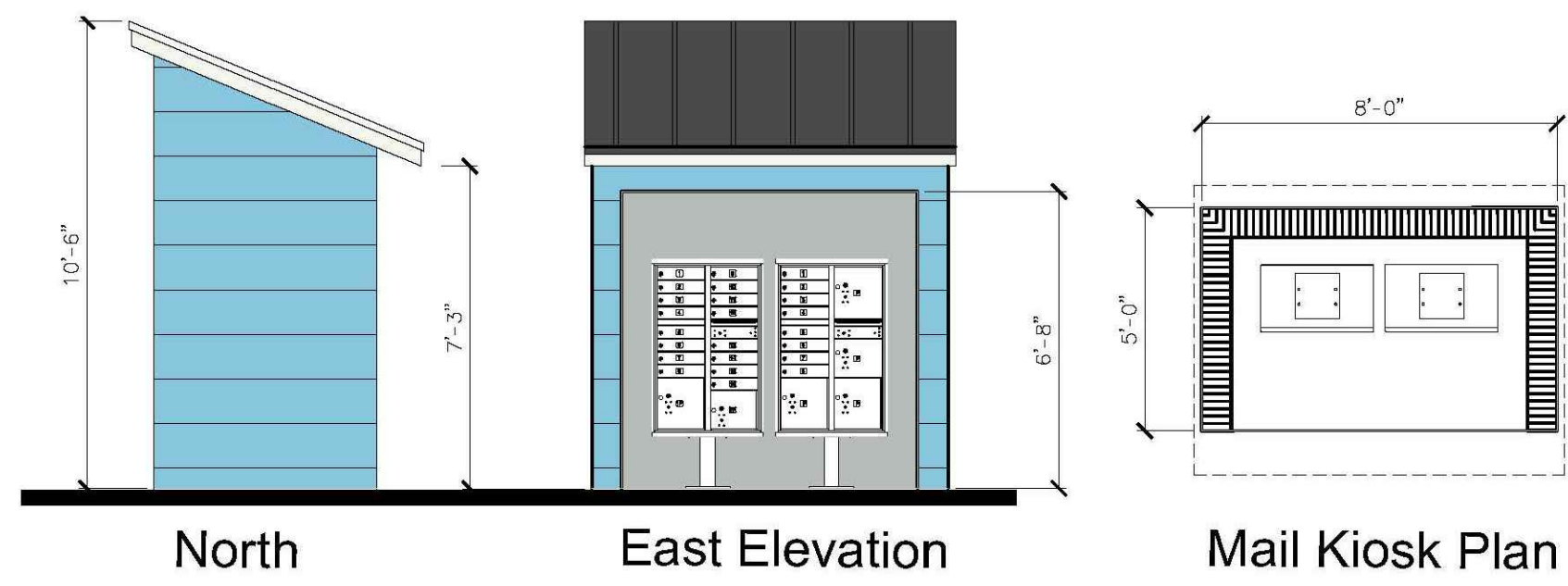
Jason M. Litterick, RLA (LA0001677)

Scale: 1" = 20'-0"

Designed: JML
 Drawn: JML
 Approved: JML
 Date: 6/1/21
 Job no.
 Revisions: 6/30/21
 8/4/21
 8/19/21

Sheet No.

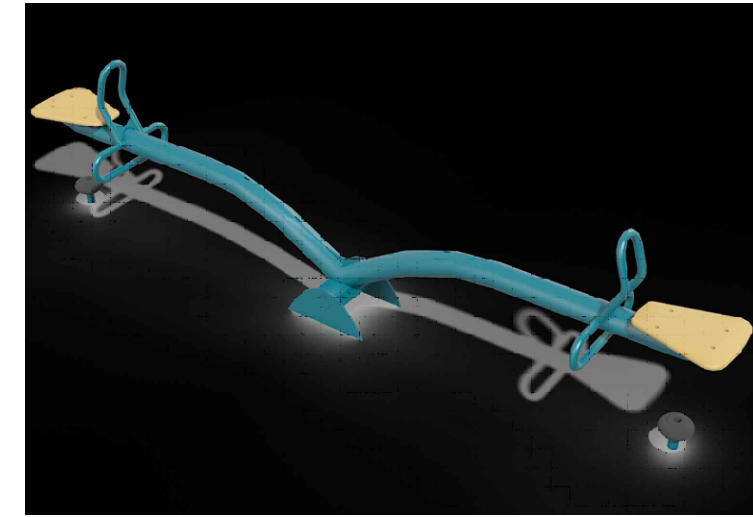
SP-1



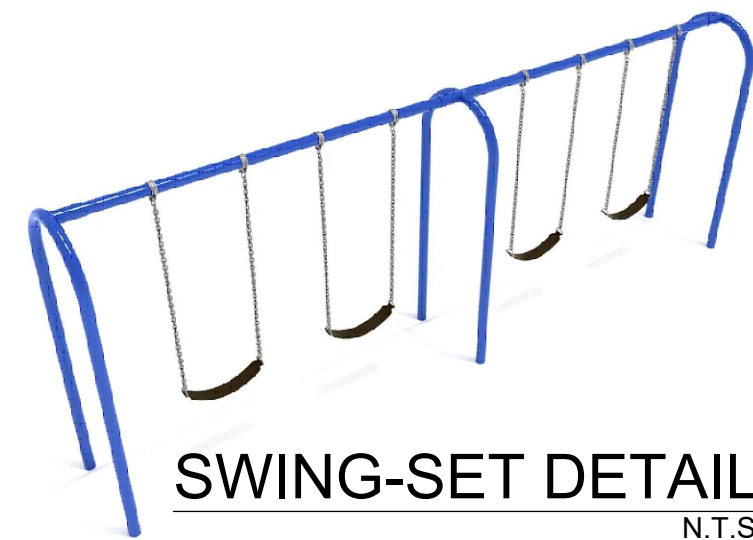
INTERIOR MAIN WALLS, C1
 SHERWIN WILLIAMS
 SW 7663
 MONORAIL SILVER

EXTERIOR WALLS, C3
 W/ STUCCO SCORE TO MATCH BLDG
 SHERWIN WILLIAMS
 SW 9049
 SKY FALL

EXTREME METAL,
 STANDING SEAM ROOFING, C7
 PRE-WEATHERED GALVALUME



SEE-SAW DETAIL
 N.T.S.



SWING-SET DETAIL
 N.T.S.



PERVIOUS SHADE STRUCTURE
 N.T.S.

NOTES (PLAYGROUND EQUIP.)

- ALL FALL ZONES SHALL BE SURFACED WITH ENGINEERED WOOD FIBER MULCH (EWF), POURED IN PLACE RUBBER SURFACING (PIP) OR PLAYGROUND GRASS (PGG)
- MINIMUM 6' FALL ZONES SHALL BE PROVIDED AROUND ALL PLAYGROUND EQUIP EXCEPT SWINGS WHERE 15' IS REQUIRED. (SEE SITE PLAN (SP-1) FOR FALL ZONES) AND SHALL BE SURFACED WITH ONE OF THE ABOVE METHODS.
- FOLLOW MANUFACTURER REQUIREMENTS FOR FALL ZONES FOR ALL PROPOSED PLAYGROUND EQUIPMENT.



SPRING RIDERS
 N.T.S.



All Aluminum Construction



All Aluminum Construction

INCLUDES PEDESTAL

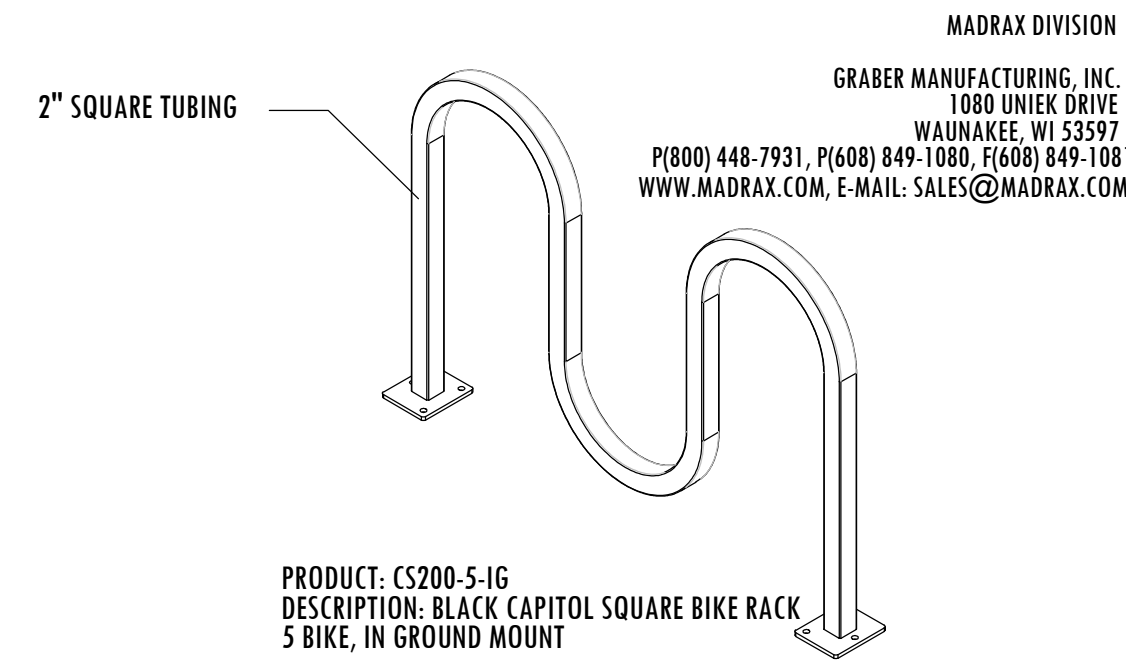
PROVIDE TWO (2) CLUSTER MAILBOXES AT SPECIFIED LOCATION ON SITE PLAN (MIN. 5 PARCEL LOCKERS)

CLUSTER MAILBOX DETAIL
 N.T.S.



6' LONG BLACK METAL PICNIC TABLE (POWDER COATED)

PICNIC TABLE DETAIL
 SCALE: NOT TO SCALE



BIKE RACK DETAIL
 SCALE: NOT TO SCALE



32 GAL. BLACK METAL STRAP TRASH RECEPTACLE

TRASH RECEPTACLE DETAIL
 N.T.S.



6' PLAZA STRAP METAL BENCH W/ BACKREST (BLACK)

BENCH DETAIL
 N.T.S.

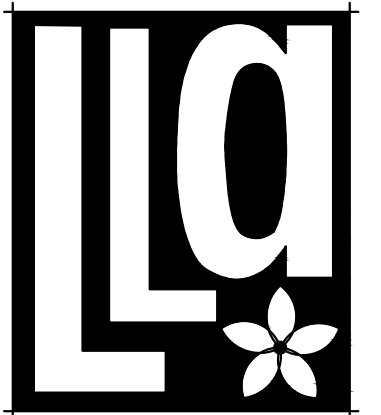
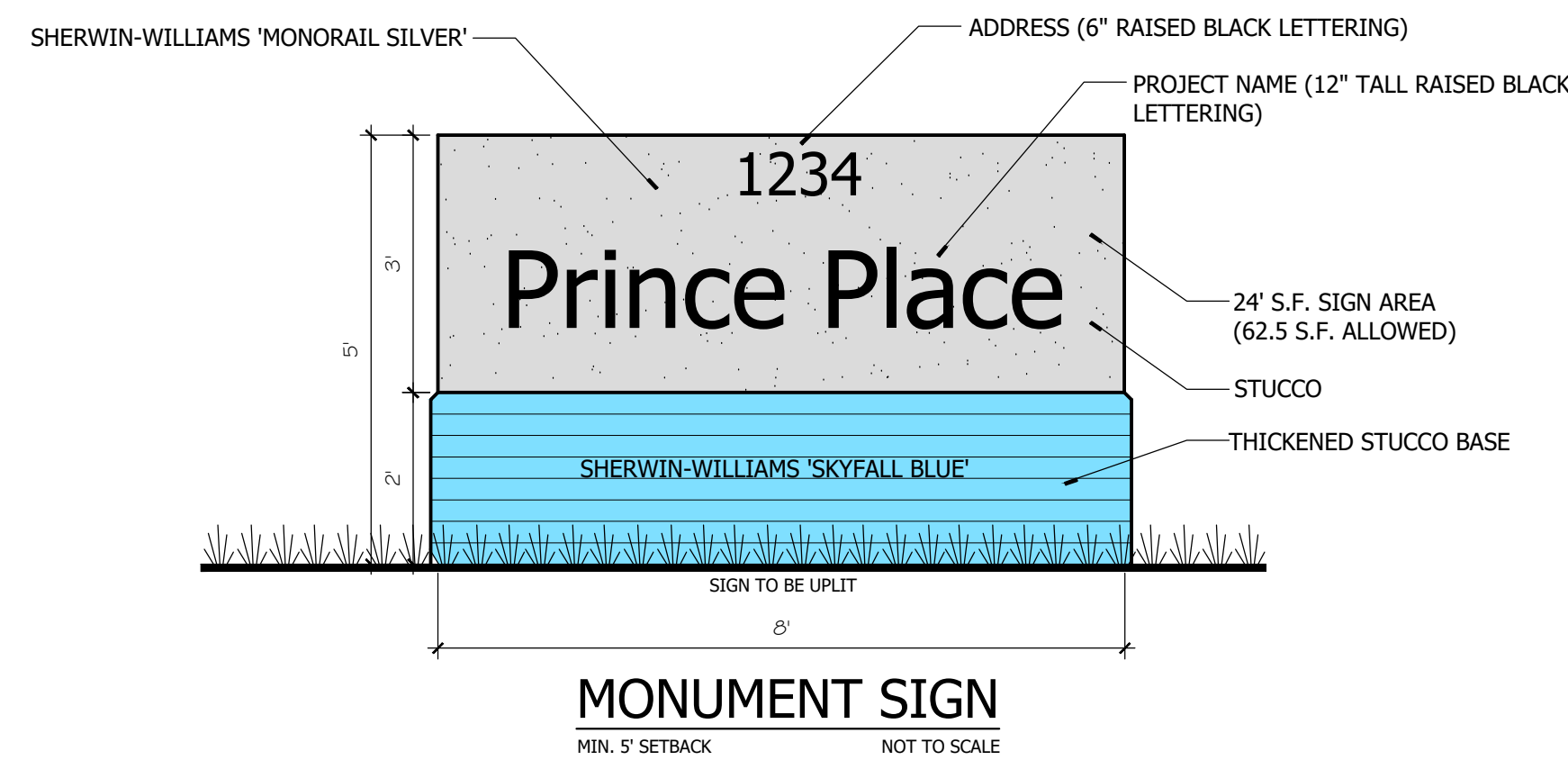


PARK STYLE GRILL ON PEDESTAL

GRILL DETAIL
 N.T.S.



DOG WASTE STATION DETAIL
 SCALE: NOT TO SCALE



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 Landscape
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 JasonLA1677@yahoo.com

PRINCE PLACE
 Village of Palm Springs, Florida

Project Name

Landscape Architect of Record



Jason M. Litterick, RLA (LA0001677)

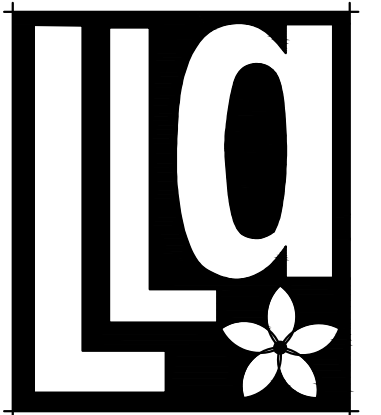
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Designed:	JML
Drawn:	JML
Approved:	JML
Date:	6/1/21
Job no.:	
Revisions:	6/30/21
	7/16/21
	8/4/21
	8/19/21

Sheet No.

SP-2

Site Details



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PRINCE PLACE

Village of Palm Springs, Florida

Project Name

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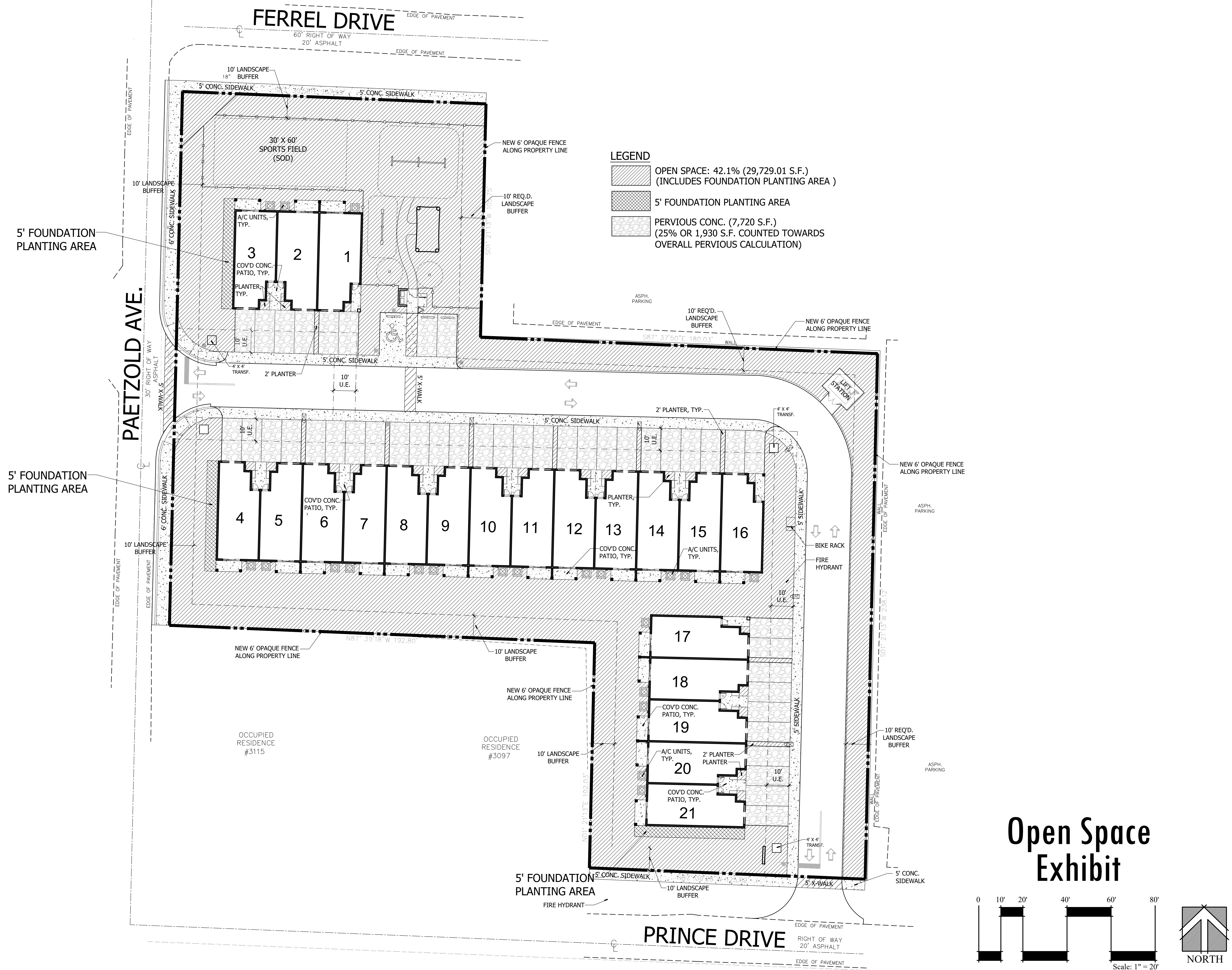


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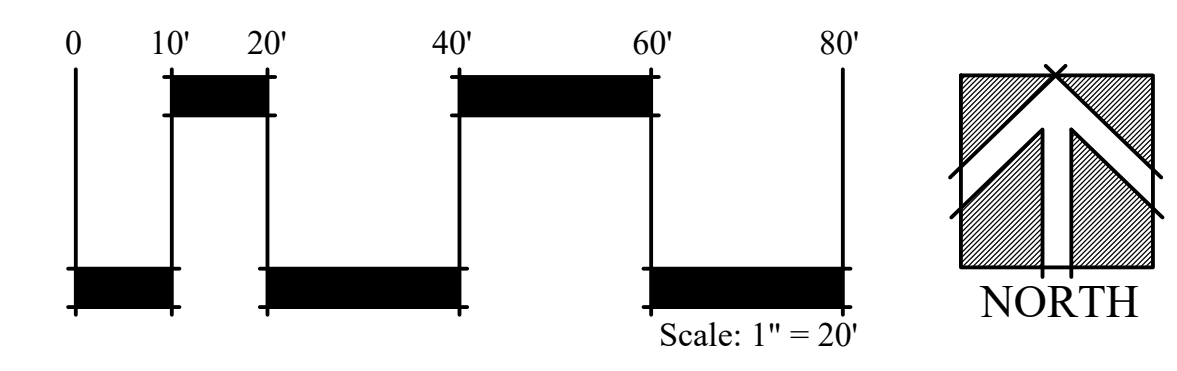
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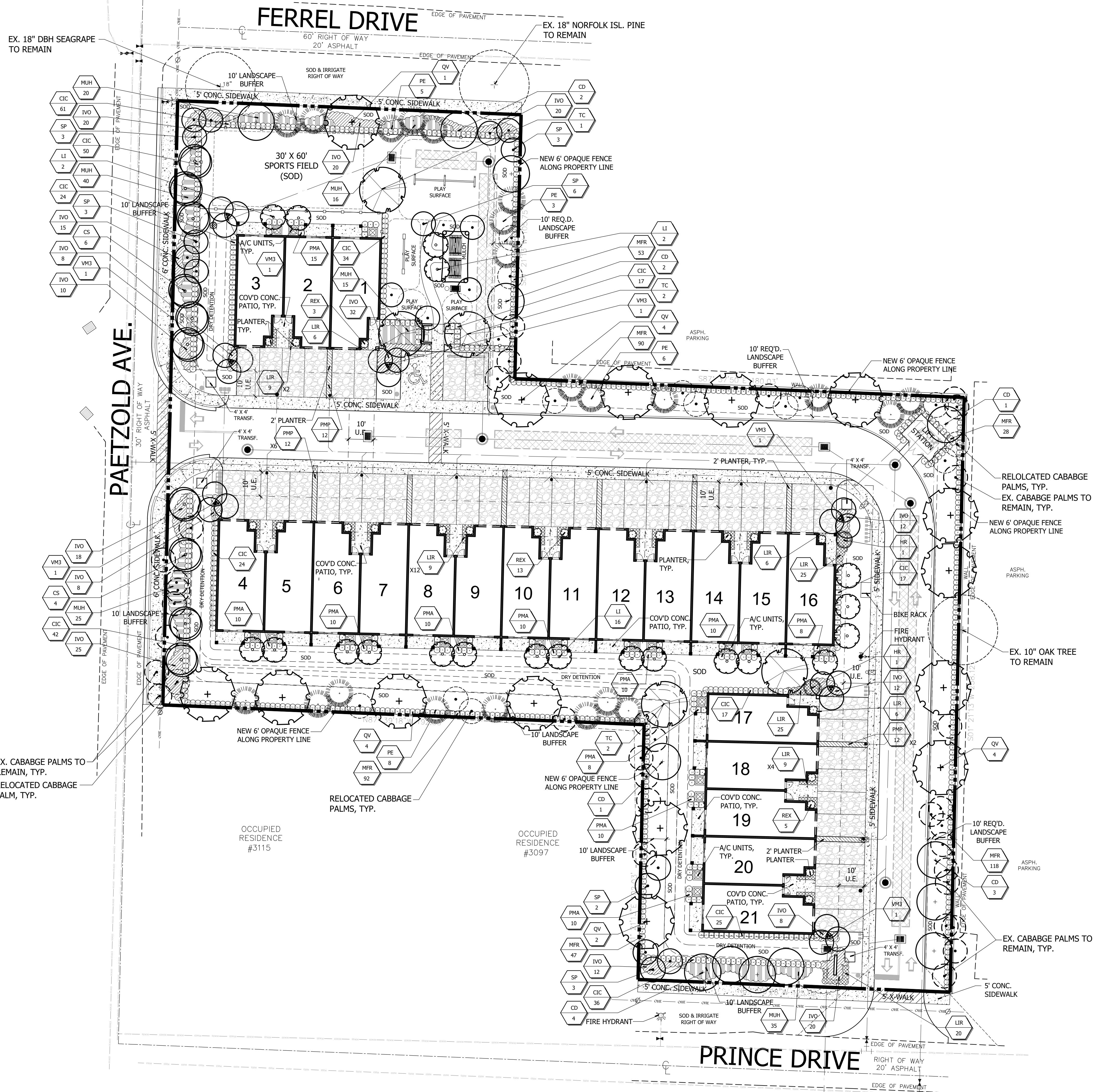
Designed: JML
Drawn: JML
Approved: JML
Date: 6/1/21
Job no.
Revisions: 8/4/21
8/19/21

Sheet No.
SP-3



Open Space Exhibit





LANDSCAPE DATA

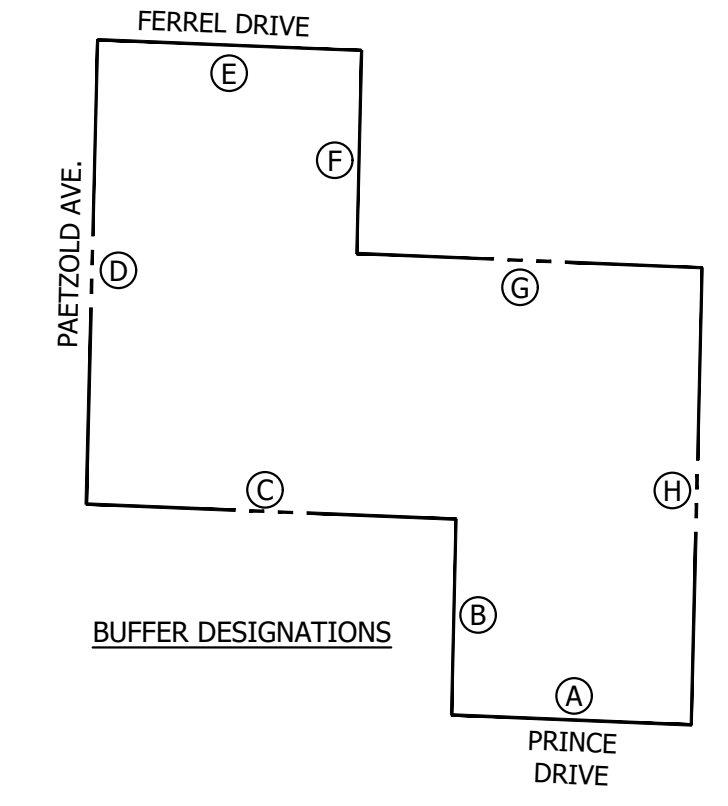
TOTAL # OF TREES REQUIRED: 47 TREES (1/1,500 S.F. OF LOT AREA)
 TOTAL # OF TREES PROVIDED: 94 TREES

VEHICULAR USE LANDSCAPE REQUIREMENTS:
 SITE AREA: 1.62 ACRES (70,562.05 S.F.)
 SURFACE PARKING SPACES: 50 SPACES
 INT. LANDSCAPE AREA REQ'D.: 1,000 S.F. (20 S.F./PARKING SPACE)
 INT. LANDSCAPE AREA PROVIDED: 1,014 S.F.
 INT. TREES REQ'D.: 5 TREES (1/200 S.F. OF REQ'D INT. LAND. AREA)
 INT. TREES PROVIDED: 5 TREES

PERIMETER BUFFER REQUIREMENTS:

DESIGNATION	TYPE	REQ'D WIDTH	PROVIDED WIDTH	LENGTH	REQUIRED TREES	PROVIDED TREES
A	CATEGORY 6	10'	10'	*105.02'	5 (1/20 L.F.)	5
B	CATEGORY 2	10'	10'	102.03'	5 (1/20 L.F.)	5
C	CATEGORY 2	10'	10'	192.8'	10 (1/20 L.F.)	13
D	CATEGORY 6	10'	10'	*221.9'	11 (1/20 L.F.)	12
E	CATEGORY 6	10'	10'	*111.59'	6 (1/20 L.F.)	6
F	NON-RESIDENTIAL	10'	10'	105.75'	4 (1/25 L.F.)	8
G	NON-RESIDENTIAL	10'	10'	180.03'	7 (1/25 L.F.)	12
H	NON-RESIDENTIAL	10'	10'	238.12'	10 (1/25 L.F.)	10

TOTALS: 58 TREES 71 TREES
 *EXCLUDES DRIVEWAY WIDTH

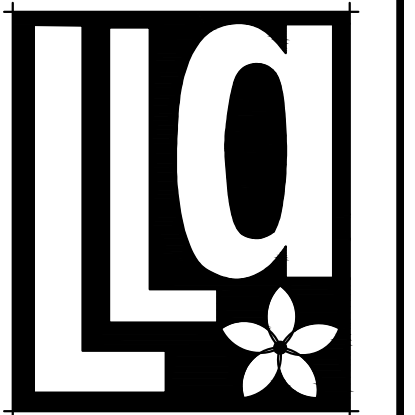
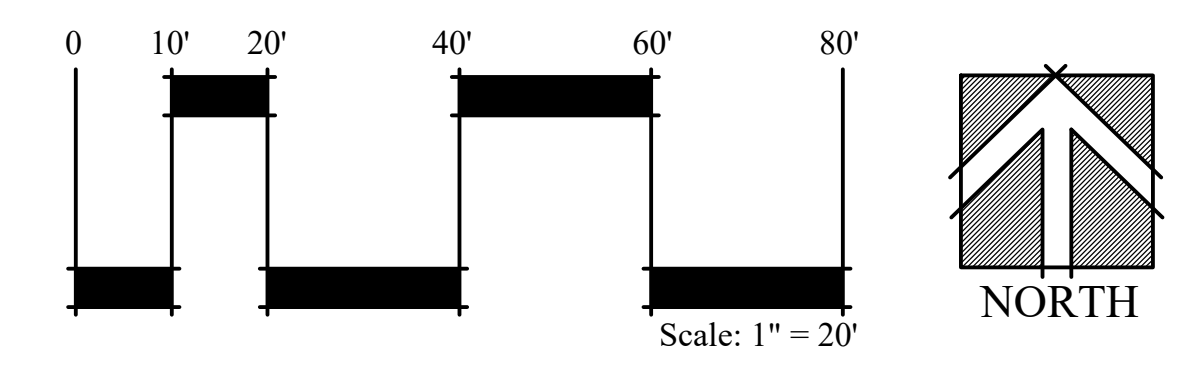


LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY "GRADES AND STANDARDS" LATEST EDITION.
- ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF VILLAGE OF PALM SPRINGS LAND DEVELOPMENT REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS CHANGES WITHOUT THE AUTHORIZATION OF THE VILLAGE OF PALM SPRINGS, THE OWNER AND THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.
- ALL TREES SHALL BE LOCATED WITHIN A MULCH PLANTING BED WITH A MINIMUM OF TWO (2) FEET CLEARANCE TO THE EDGE OF THE BED.
- ALL SOD SHALL BE STENOTAPHRUM SECONDARIUM FLORITAM (ST. AUGUSTINE SOD).
- ALL VEGETATION SHALL BE SELECTED AND POSITIONED SO THAT IT DOES NOT PRESENT OBSTRUCTIONS TO THE LINE OF SIGHT AT INTERSECTIONS PURSUANT TO FLORIDA DEPARTMENT OF TRANSPORTATION SIGHT LINE GUIDELINES.
- CLEAR VISIBILITY SHALL BE MAINTAINED BETWEEN 18" AND 8' WITHIN SIGHT VISIBILITY TRIANGLES. TWENTY FOOT SIGHT VISIBILITY TRIANGLES SHALL BE PROVIDED AT THE INTERSECTIONS WITH THE PUBLIC RIGHT OF WAY. IN ADDITION, ALL LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF FOOT INDEX 546.
- ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS, EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN NATIVE SOILS AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.
- ALL PROPOSED LANDSCAPE AREAS SHALL RECEIVE 100% OVERLAP COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSING DEVICE ACCORDING TO LOCAL AND STATE CODES. IRRIGATION WATER SHALL BE PULLED FROM A WELL SOURCE.
- ALL ABOVE GROUND UTILITIES SHALL BE SCREENED FROM VIEW ON THREE SIDES WITH AN APPROPRIATE HEDGE MATERIAL. HEIGHT OF PLANT MATERIAL AT TIME OF INSTALLATION SHALL BE AT LEAST AS TALL AS THE UTILITY BEING SCREENED AND SHALL BE SPACED APPROPRIATELY IN ORDER TO PROVIDE COMPLETE SCREENING OF UTILITY WITHIN ONE YEAR OF INSTALLATION.
- ALL TREES NOT LOCATED WITHIN A LANDSCAPE BED SHALL RECEIVE A 4-5" DIA. MULCH RING.
- ALL EXOTIC AND NUISANCE VEGETATION SHALL BE REMOVED FROM SUBJECT PROPERTY PRIOR TO ANY CERTIFICATE OF OCCUPANCY.

Landscape Plan

REFER TO SHEET LP-2 FOR PLANT LIST



Litterick Landscape Architecture

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PRINCE PLACE

Village of Palm Springs, Florida

Project Name

Landscape Architect of Record



Jason M. Litterick, RLA (LA0001677)

Scale: 1" = 20'-0"

Designed: JML
 Drawn: JML
 Approved: JML
 Date: 4/2/21
 Job no.
 Revisions: 4/22/21
 6/1/21
 6/30/21
 8/4/21
 8/19/21

Sheet No.

LP-1

PLANT LIST

TREES/PALMS	SYM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPR.	NOTES:
* V	SP	20	SABAL PALMETO	CABBAGE PALM	10-18' C.T.	-	HURRICANE CUT, STAGGER HEIGHTS, SLICK TRUNK
* V	QV	15	QUERCUS VIRGINIANA	LIVE OAK	12-14' HT.	5' MIN.	2.5" CALIPER, 5" CLEAR TRUNK AT PLANTING
* V	PE	22	PINUS ELLIOTTII 'DENS A'	S. FLA. SLASH PINE	12' O.A.	5' MIN.	FULL & THICK, 2.5" CAL.
* V	CS	10	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	12' HT.	5' MIN.	FULL & THICK, SINGLE TRUNK
* V	CD	13	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	12' HT.	5' MIN.	FULL & THICK, 2.5" CAL.
M	TC	5	TABEUIA CARABA	YELLOW TABEUIA	12' HT.	5' MIN.	FULL & THICK
M	VM3	6	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	12-18' O.A.	-	FULL & THICK, TRIPLE TRUNK
M	LI	20	LAGERSTROMIA INDICA 'MUSKOGEE'	CRAPPE MYRTLE STANDARD	12' O.A.	5' MIN.	FULL & THICK, SINGLE TRUNK STD., 6' C.T.
M	HR	2	HIBISCUS ROSA-SINENSIS	PINK HIBISCUS STD.	6-7' O.A.	3' MIN.	FULL & THICK, SINGLE TRUNK STD., 3. C.T.

SHRUBS & GROUNDCOVERS	KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPR.	O.C.	REMARKS
* V	CIC	347	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	36" MIN.	18" MIN.	24"	FULL & THICK TO BASE
* V	MFR	428	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	36" MIN.	18" MIN.	24"	FULL & THICK TO BASE
* V	MUH	151	MUHLENBERGIA CAPPULARIS	MUHY GRASS	#3, 18" O.A.	16"	30"	FULL & THICK TO BASE
M	PMA	111	PODOCARPUS MACROPHYLLUS	JAPANESE YEW	#3, 36" O.A.	24"	24"	FULL & THICK TO BASE
* V	IYO	240	ILEX VOMITORIA	DWF. YAUPON HOLLY	#3, 14" O.A.	14"	24"	FULL & THICK TO BASE
M	LIR	250	LIRIOPE MUSCARI	GREEN LIRIOPE	#3, 14" O.A.	14"	24"	FULL & THICK TO BASE
M	REX	21	RHAPS EXCELSA	LADY PALM	#15, 4-5' O.A.	40"	A.S.	FULL & THICK TO BASE
M	PMP	108	PODOCARPUS MACROPHYLLUS 'PRINGLES'	DWF. PODOCARPUS	#3, 14" O.A.	14"	18-24"	FULL & THICK TO BASE

* ASTERISK DENOTES NATIVE PLANT MATERIAL
 V INDICATES VERY DROUGHT TOLERANT PLANT MATERIAL
 M INDICATES MODERATELY DROUGHT TOLERANT PLANT MATERIAL

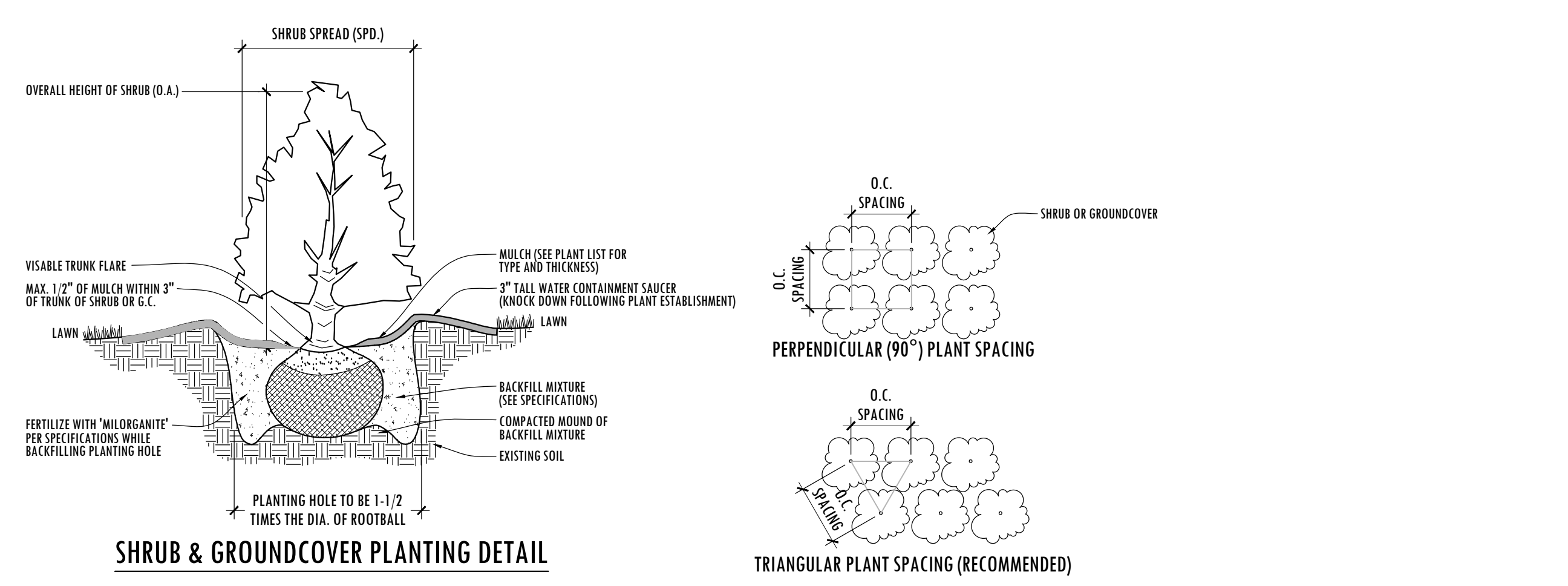
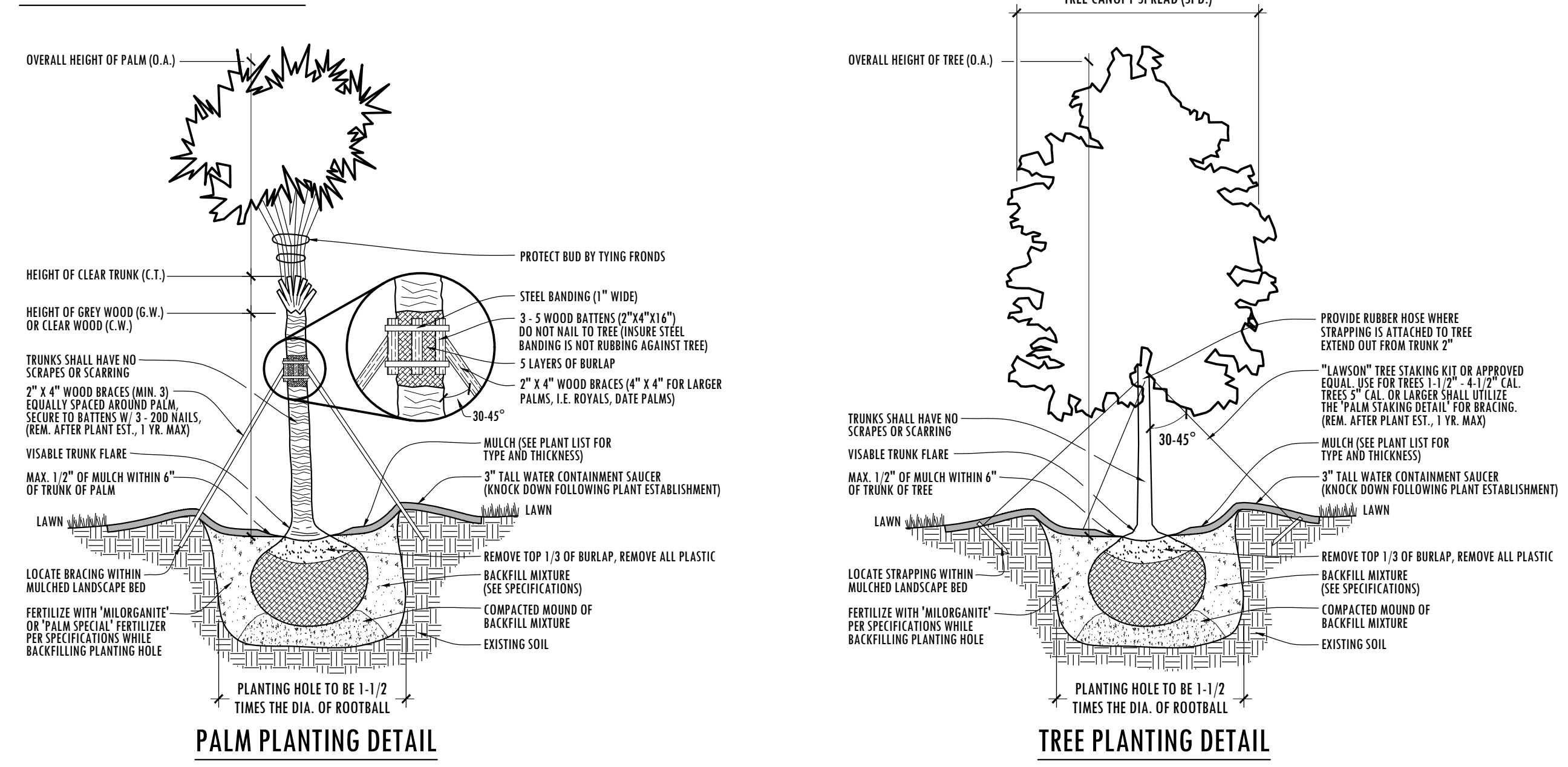
NATIVE VEGETATION CALCULATIONS

PERCENTAGE OF NATIVE TREES:	70%
PERCENTAGE OF NATIVE SHRUBS:	70%
TOTAL PERCENTAGE OF NATIVE VEGETATION:	70%

SOD: ST. AUGUSTINE 'FLORITAM'
 MULCH: 3" SHREDDED MELALEUCA MULCH (OR APPROVED RECYCLED MULCH) TO BE APPLIED TO ALL PLANTING BEDS.

IRRIGATION NOTE:
 ALL NEW LANDSCAPE AREAS SHALL BE RECEIVE 100% OVERLAP COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.
 IRRIGATION WATER SOURCE: WELL & PUMP

PLANTING DETAILS



PLANTING SPECIFICATIONS

1. SCOPE OF WORK
 LANDSCAPE CONTRACTOR WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

2. QUALITY ASSURANCE
 LANDSCAPE CONTRACTOR MUST BE REGULARLY ENGAGED IN THE INSTALLATION OF LIVING PLANT MATERIAL. LABOR CREWS SHALL BE CONTROLLED AND DIRECTED BY A LANDSCAPE FOREMAN WELL VERSED IN LANDSCAPE INSTALLATION, PLANT MATERIALS, READING PLANS AND COORDINATION BETWEEN THE JOB AND NURSERY.

THE LANDSCAPE CONTRACTOR AND IRRIGATION CONTRACTOR SHALL REVIEW LAYOUT AND SCHEDULING PRIOR TO INSTALLATION OF MATERIAL. MINOR ADJUSTMENT TO IRRIGATION DESIGN MAY BE MADE IN RESPONSE TO THE NEEDS OF SPECIFIC PLANT MATERIAL. THE LANDSCAPE ARCHITECT MUST BE NOTIFIED OF SUCH CHANGES.

3. MATERIALS
PLANT SIZE AND QUALITY
 PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRASSES AND STANDARDS FOR NURSERY PLANTS PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND IT IS OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DIG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES AND PALMS FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE FREE OF WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

CONTAINER GROWN PLANTS SHALL HAVE A DEVELOPED ROOT STRUCTURE SO THAT THE ROOT MASS STAYS IN TACT WHEN REMOVED FROM CONTAINER. IN NO CASE SHALL THE PLANT CONTAIN CIRCLING ROOTS NOR BE ROOT-BOUND.

MULCH
 MULCH SHALL BE A SHREDDED VARIETY AS SPECIFIED IN THE PLANT LIST. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3" EXCEPT FOR THOSE SPECIFIC SITUATIONS SHOWN BELOW IN SECTION 4 AND IN PLANTING DETAILS.

FERTILIZER
 FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF "MILORGANITE" ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS. FERTILIZE ALL NEW PLANTINGS PER RATES SHOWN BELOW.

TREES:
 FERTILIZE NEW TREES WITH "MILORGANITE" AT THE FOLLOWING RATES:
 - 8" AND SMALLER: 2 LBS.
 - 8-12" TALL: 4 LBS.
 - 12" AND TALLER: 6-8 LBS.
 (3 CUPS = 1 LB.)

SHRUBS:
 FERTILIZE NEW SHRUBS AND ACCENTS WITH "MILORGANITE" AT THE FOLLOWING RATES:
 - 4-4" POTS: 1 CUP
 - 1 GAL.: 1 CUP
 - 2 GAL.: 1 CUP
 - 7-10 GAL.: 2 CUPS
 - 15 GAL. AND GREATER: 3 CUPS

PALM TREES:
 FERTILIZE NEW PALM TREES WITH A "PALM SPECIAL" FERTILIZER IN SLOW RELEASE FORM. FERTILIZER SHALL CONTAIN AN ADDITIONAL MAGNESIUM AND MICRO-NUTRIENT AMENDMENT

SOIL
 PLANTING SOIL SHALL BE SANDY LOAM AND SHALL CONTAIN A 25% MINIMUM AMOUNT OF DECOMPOSED ORGANIC MATTER. PLANTING SOIL SHALL BE FREE OF CLAY, STONES, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

WATER
 WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER. LANDSCAPE CONTRACTOR SHALL NOT ASSUME THAT THE IRRIGATION SYSTEM WILL BE OPERATIONAL AT THE TIME OF PLANTING. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROVIDE ALL THE REQUIRED WATER NECESSARY TO MAINTAIN THE PLANT MATERIAL IN A HEALTHY GROWING CONDITION. THE WATERING MAY INCLUDE DEEP WATERING OF TREES AND THE WATERING OF SHRUB AND GROUND COVER AREAS. ANY PLANT MATERIAL THAT DIE OR THAT ARE NOT IN A HEALTHY GROWING CONDITION DUE TO LACK OF WATER SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

4. EXECUTION
 FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.
 PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORSEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 6 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.
 AFTER FINAL SETTLING OF BALLED AND BURLAPED PLANTS, LOOSEN BURLAP WRAPPING EXPOSING THE TOP OF THE ROOTBALL, LEAVING THE BALL UNBROKEN. REMOVE EXCESS AMOUNTS OF BURLAP TO ELIMINATE VOIDS WHICH MAY BE CAUSED UPON DECOMPOSITION.

CONTAINER GROWN PLANTS SHALL, WHEN DELIVERED, SHALL HAVE SUFFICIENCY GROWTH TO HOLD EARTH INTACT WHEN REMOVED FROM CONTAINER AND SHALL NOT BE ROOT BOUND. PLANT PITS FOR CONTAINER MATERIALS SHALL BE FORMED FLAT ON THE BOTTOM TO AVOID AIR POCKETS AT THE BOTTOM OF ROOT BALLS AND CONTAINERS SHALL BE REMOVED CAREFULLY TO PREVENT DAMAGE TO THE PLANT OR ROOT SYSTEMS.

TEST TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. PITS WHICH ARE FOUND NOT TO BE ADEQUATELY DRAINING SHALL BE EXCAVATED TO A DEPTH SUFFICIENT FOR DRAINAGE AND BACKFILLING WITH GRAVEL OR CRUSHED ROCK. NO ALLOWANCES WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE.

PLANTING BED PREPARATION
 ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (PANICUM REPENS) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.

PLANTING TREES
 EXCAVATE PIT AS PER PLANTING DETAILS. COMPACT LAYER OF TOPSOIL IN PIT WITH A SLIGHTLY DISHED GRADE TO CENTER.

BACKFILL AROUND BALL WITH TOPSOIL AND SLIGHTLY COMPACT. WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF TOPSOIL BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEADER.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

PLANTING SHRUBS
 LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF TOPSOIL IN BOTTOM BEFORE PLACING PLANTS. BACKFILL AROUND PLANTS WITH PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

PLANTING GROUND COVER
 LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH. PURPLE QUEEN GROUND COVER, IF SPECIFIED, SHALL ONLY RECEIVE 1" OF MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

PLANTING SOD
 SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING. SOD SHALL BE FIRM, TOUGH TEXTURE, HAVING A COMPACT GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT, AND SHALL CONTAIN NO BERMUDA GRASS, WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH GRADE ALL LANDSCAPE AREAS, ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE (CALIBRATED) TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS IN ADJACENT COURSES. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDOD AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

5. MISCELLANEOUS LANDSCAPE WORK
LANDSCAPE MAINTENANCE
 MAINTAIN LANDSCAPE WORK IMMEDIATELY AFTER PLANTING AND UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

IN THE EVENT OF SERIOUS DAMAGE FROM INSECTS OR DISEASE PRIOR TO FINAL ACCEPTANCE, THE PLANTS SHALL BE TREATED BY PREVENTATIVE OR REMEDIAL MEASURES APPROVED FOR GOOD HORTICULTURAL PRACTICE AT NO ADDITIONAL COST TO THE OWNER.

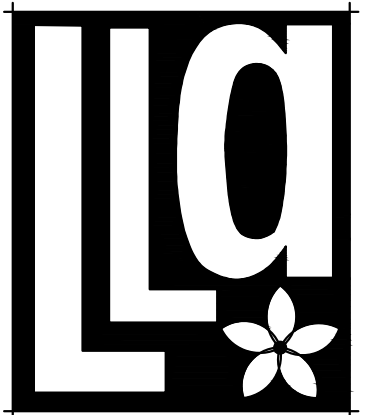
CLEAN UP
 THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

ANY SOIL, PEAT OR SIMILAR MATERIAL WHICH HAS BEEN BROUGHT ONTO ANY PAVED AREAS SHALL BE REMOVED PROMPTLY KEEPING THESE AREAS CLEAN AS THE WORK PROGRESSES. UPON COMPLETION OF THE PLANTING, ALL EXCESS SOIL, STONES AND DEBRIS WHICH HAS NOT BEEN PREVIOUSLY CLEANED UP SHALL BE REMOVED FROM THE SITE.

INSPECTION & ACCEPTANCE
 THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT UPON COMPLETION OF THE WORK TO REQUEST A FINAL INSPECTION OF THE INSTALLATION AND PLANT MATERIALS. THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WILL NOTIFY THE LANDSCAPE CONTRACTOR OF ANY DEFICIENCIES VIA A "PUNCH LIST" WHICH SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR. CONDITIONAL LANDSCAPE ACCEPTANCE OF ALL PLANT MATERIAL AND WORKMANSHIP WILL BE GIVEN IN WRITING BY THE LANDSCAPE ARCHITECT AFTER ALL "PUNCH LIST" ITEMS HAVE BEEN CORRECTED AND ANY PLANT REPLACEMENTS MADE. THIS ACCEPTANCE WILL BEGIN THE WARRANTY PERIOD. DEFICIENCIES NOTED AFTER THE CONDITIONAL LANDSCAPE ACCEPTANCE SHALL BE RECTIFIED DURING THE WARRANTY PERIOD AND PRIOR TO FINAL LANDSCAPE ACCEPTANCE.

GUARANTEE AND REPLACEMENT
 ALL PLANT MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL LANDSCAPE ACCEPTANCE BY THE LANDSCAPE ARCHITECT. ANY PLANT MATERIAL OR WORKMANSHIP THAT IS DEFICIENT OR HAS DIED SHALL BE REPLACED AT THE SAME SPECIFICATION NOTED IN THE APPROVED LANDSCAPE PLANS. REPLACEMENTS SHALL BE MADE BY THE LANDSCAPE CONTRACTOR WITHIN TWO (2) WEEKS OF NOTIFICATION BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER. WARRANTIES OF REPLACEMENT MATERIAL SHALL BE SIX (6) MONTHS FROM THE DATE OF REPLACEMENT INSTALLATION. DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM OR AUTOMOBILES OR BY NEGLIGENCE BY THE OWNER SHALL NOT BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE ARRANGED WITH THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR GENERAL PLANT MAINTENANCE INCLUDING WATERING AND MOWING UP UNTIL THE DATE OF CONDITIONAL ACCEPTANCE.

PLANT MATERIAL SUBSTITUTION
 THERE WILL BE NO SUBSTITUTION OF PLANT MATERIAL UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. THIS INCLUDES SPECIES AND SIZE OF PLANT MATERIAL.



Litterick Landscape Architecture

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 561-719-3876
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PRINCE PLACE
 Village of Palm Springs, Florida

Project Name

Landscape Architect of Record



Jason M. Litterick, RLA (LA0001677)

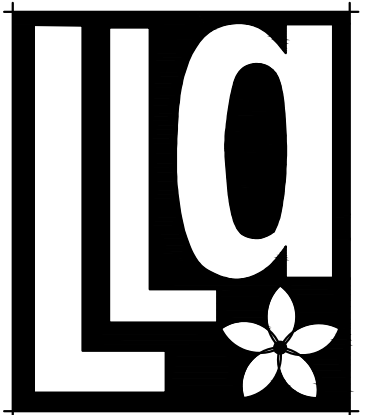
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Designed:	JML
Drawn:	JML
Approved:	JML
Date:	4/2/21
Job no.	
Revisions:	4/22/21
	6/1/21
	6/30/21
	8/4/21
	8/19/21

Sheet No.

LP-2

Landscape Specifications & Planting Details

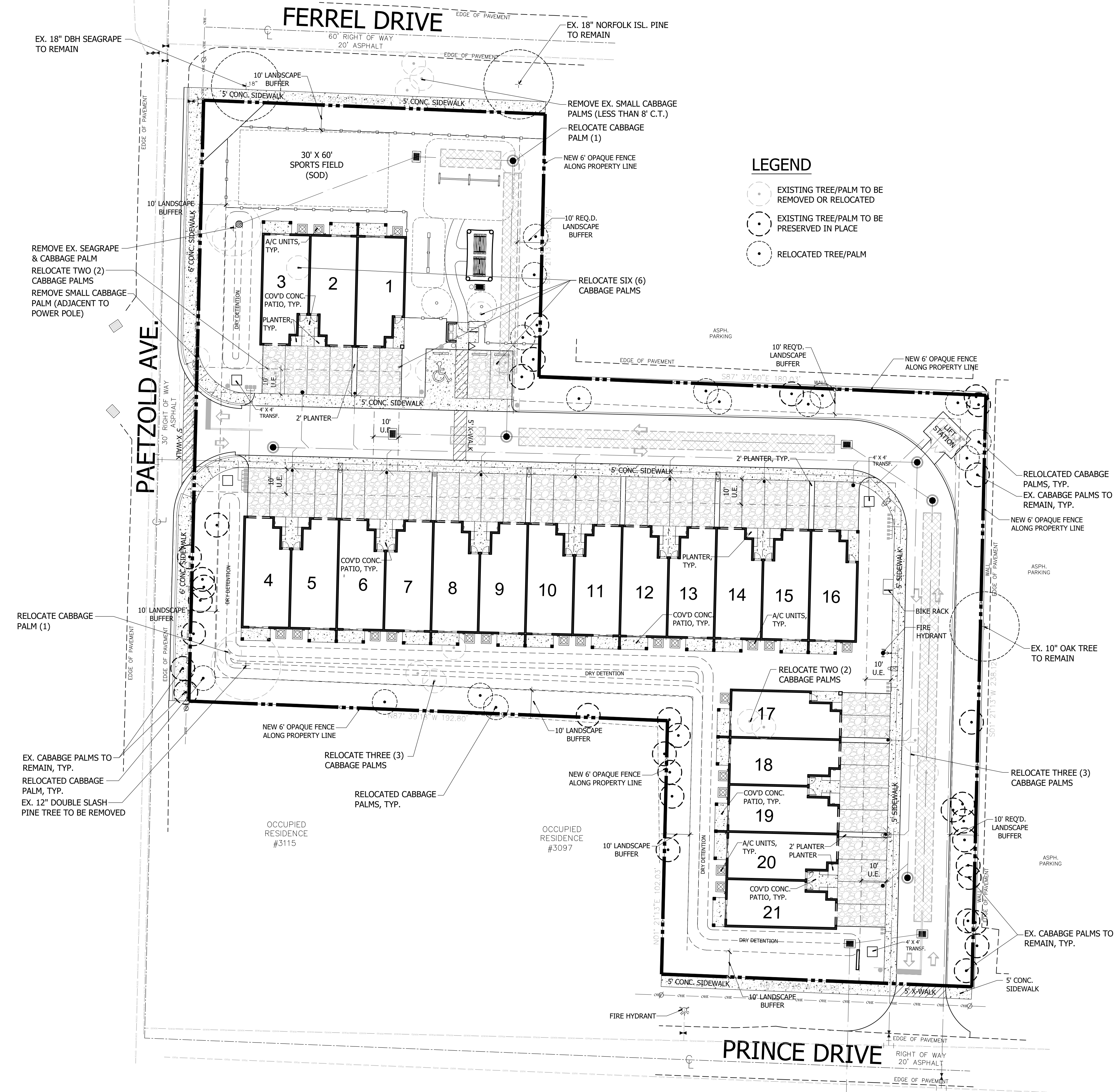


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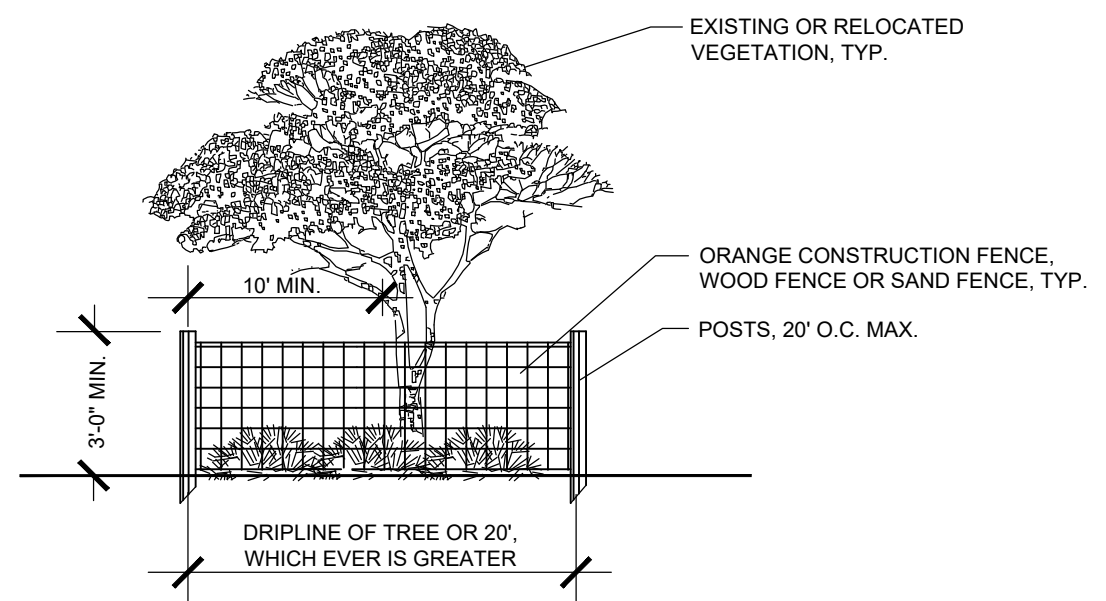
PRINCE PLACE

Village of Palm Springs, Florida



LEGEND

- EXISTING TREE/PALM TO BE REMOVED OR RELOCATED
- EXISTING TREE/PALM TO BE PRESERVED IN PLACE
- RELOCATED TREE/PALM



FENCING OF UNDISTURBED AREAS AND/OR EXISTING TREES:

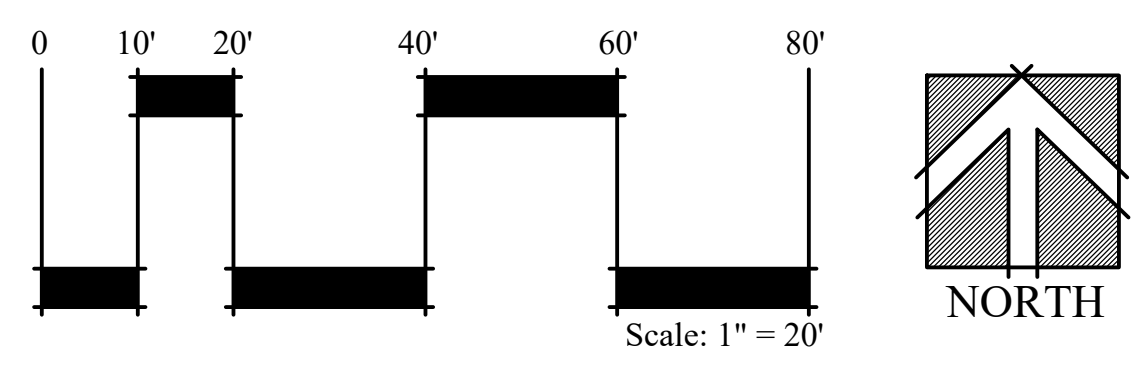
PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL ENCLOSE THE ENTIRE UNDISTURBED AREA, OR TREE, WITHIN A FENCE OR SIMILAR BARRIER AS SHOWN. THE PLACEMENT OF SUCH BARRIER OR FENCE SHALL BE LOCATED NO CLOSER THAN THE DRIP LINE OF THE PRESERVED OR RELOCATED TREE OR A MIN. OF 10' FROM TRUNK, WHICHEVER IS GREATER. WOODEN (OR EQUIVALENT) POSTS AT LEAST 2 x 2 INCHES SHALL BE IMPLANTED IN THE GROUND DEEP ENOUGH TO BE STABLE AND WITH AT LEAST 3 FEET VISIBLE ABOVE THE GROUND. THE PROTECTIVE POSTS SHALL BE PLACED NOT MORE THAN 20 FEET APART, AND SHALL BE LINKED TOGETHER BY ORANGE NET FENCE FABRIC, OR OTHER. NO HEAVY EQUIPMENT, VEHICLES, STORAGE OF MATERIALS, ETC., SHALL OCCUR WITHIN THE VEG. PROTECTION ZONE. EXTREME CARE SHALL BE TAKEN WHEN WORKING NEAR THE BASE OF TREES. NO FINISH GRADE FILL SHALL BE PLACED WITHIN A ZONE OF 2/3 THE DIAMETER OF THE TREE CANOPY.

CONSTRUCTION WITHIN CANOPY & TREE BARRICADE SHALL BE DONE WITH EXTREME CARE TO MINIMIZE DISTURBANCE TO THE ROOTS BY EXCAVATING, COMPACTING OR ADDING FILL.

UTILITY WORK (TRENCHING) WITHIN THE CANOPY & TREE BARRICADE SHALL BE DONE WITH EXTREME CARE TO MINIMIZE DISTURBANCE TO THE ROOTS BY EXCAVATING, COMPACTING OR ADDING FILL. THE TREE BARRICADE WILL BE MODIFIED TEMPORARILY TO ALLOW ONLY THE MINIMUM WORK ZONE TRESPASS INTO THE CANOPY AREA, CONTINUING TO PROTECT THE REST OF THE CANOPY AREA WITH BARRICADE. NO FILL, EVEN TEMPORARY, SHALL BE PLACED IN ANY PROTECTED ZONE. AT THE CONCLUSION OF SAID ACTIVITY, THE WORKZONE SHALL BE CLEANED UP & TREE BARRICADES REPLACED TO THEIR ORIGINAL CONFIGURATION.

TREE PROTECTION DETAIL

Tree Disposition Plan



Project Name

Landscape Architect of Record



Jason M. Litterick, RLA (LA0001677)

Scale: 1" = 20'-0"

Designed:	JML
Drawn:	JML
Approved:	JML
Date:	6/1/21
Job no.:	
Revisions:	6/30/21
	8/4/21
	8/19/21

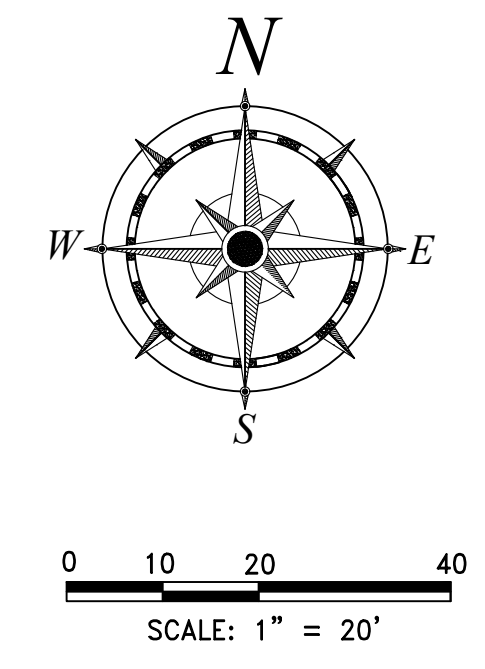
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LP-3



**McLeod • McCarthy
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LEGEND

PROP. SIGN	
SURFACE FLOW ARROW	
PROP. ASPHALT PAVEMENT	
PROP. CONCRETE PAVEMENT	
PAVEMENT RESTORATION	
PERVIOUS CONCRETE	
PROPOSED ELEVATION	
EXIST. ELEVATION	
RWL	
RAIN WATER LEADER	

NOTES:

- EXIST. UTILITIES, DRAINAGE, & ELEVATIONS BASED ON SURVEY PREPARED BY BUGGEE SURVEYING. CONTRACTOR SHALL VERIFY INVERTS, PIPE SIZES, AND STRUCTURE LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
- CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
- WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
- MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
- ALL BUFFER, DETENTION, SWALE, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
- REFER TO SITE PLAN PREPARED BY CONTIN ARCHITECTS FOR ADDITIONAL SITE REQUIREMENTS.
- ALL CULVERTS LEADING TO EXFILTRATION TRENCH SHALL BE FITTED WITH A POLLUTION RETARDANT Baffle (PRB) PER THE ENCLOSED DETAIL.
- ALL OFFSITE DISTURBED AREAS SHALL BE SODDED BY CONTRACTOR. ALL DAMAGED CURBING, PAVEMENT, STRIPING, SIGNAGE, LANDSCAPING, ETC. SHALL BE RESTORED BY CONTRACTOR.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MAINTENANCE OF TRAFFIC (MOT) PLANS AND OBTAINING ALL REGULATORY APPROVALS FOR MOT PLANS. COPIES OF APPROVED MOT PLANS SHALL BE PROVIDED TO ENGINEER PRIOR TO COMMENCING WORK.
- EXIST. PAVEMENT AREAS WILL BE OVERLAD/OVERBUILT TO ACHIEVE SHEET FLOW PATTERNS SHOWN IN ADJACENT PLAN.
- ALL ELEVATIONS REFER TO NAVD 1988 SURVEY DATUM.

DRY UTILITY NOTES:

- ALL EXISTING AND PROPOSED UTILITY BOXES AND/OR CABINETS SHALL BE SCREENED FROM VIEW. BOXES SHALL BE WRAPPED WITH A PATTERN MATCHING THE EXISTING SURROUNDING LOCATION.
- ALL NEW OR RELOCATED ELECTRIC UTILITIES SHALL BE PLACED UNDERGROUND.

ACCESSIBILITY NOTES:

- ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - ACCESSIBILITY.
- ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - ACCESSIBILITY.
- CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 304. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
- DETECTABLE WARNING SHALL BE THE WIDTH OF THE WALKING SURFACE AND 3' IN LONGITUDINAL LENGTH (DIRECTION OF TRAVEL). DETECTABLE WARNING MATS SHALL PER THE FDOT APPROVED PRODUCTS LIST (APL), LATEST EDITION.

ALL ELEVATIONS REFER TO NAVD 1988 DATUM.

**CONCEPTUAL DRAINAGE PLAN
PRINCE PLACE
RESIDENTIAL SUBDIVISION
PALM SPRINGS, FLORIDA**

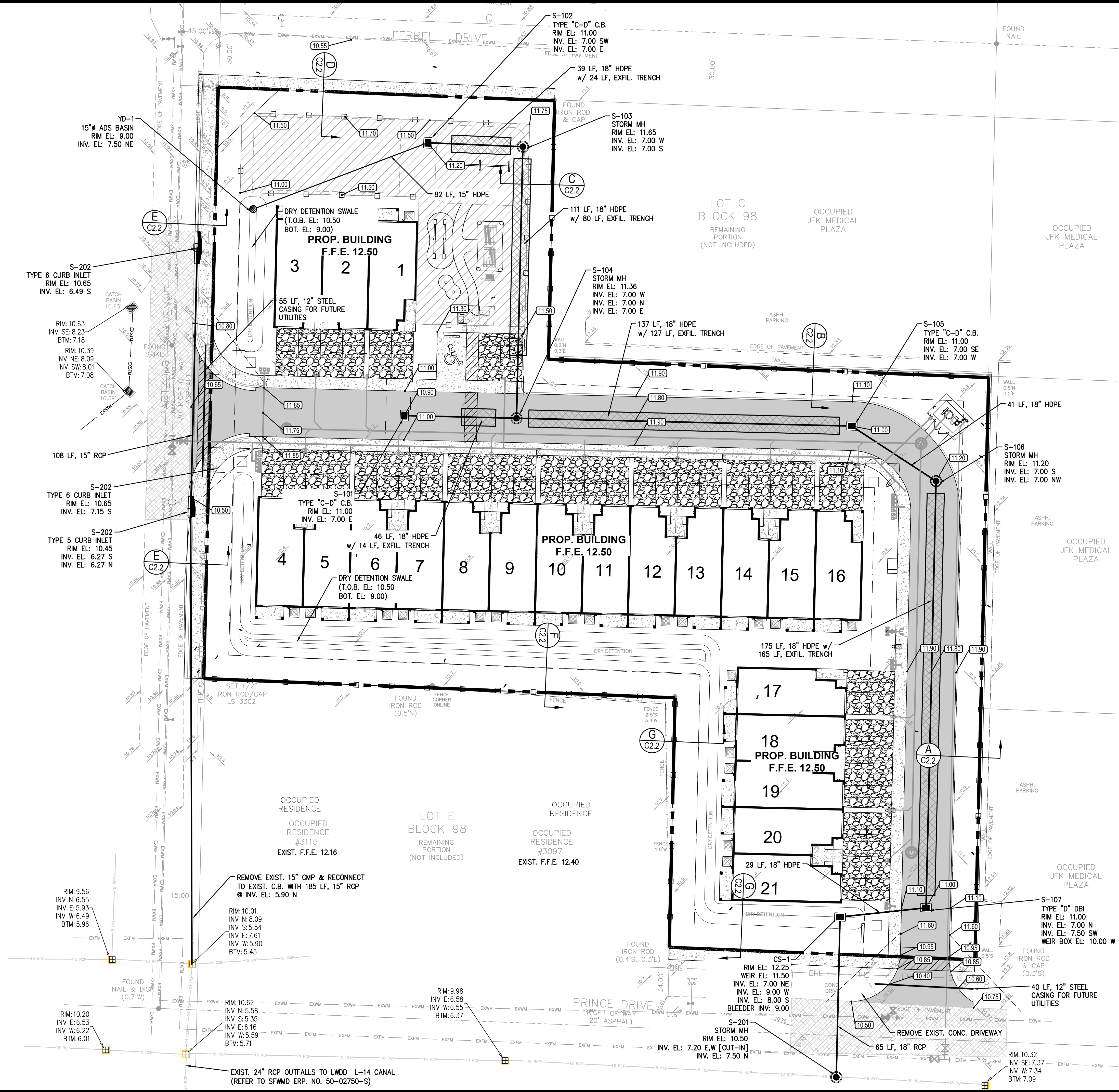
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OF 19



TODD N. McLEOD, P.E.
FL LICENSE #12000
PROJECT #21-006

NO.	DATE	REVISIONS
4	7/28/21	REV PER NEW SITEPLAN
3	7/16/21	S. DRIVEWAY REV PER VPS COMMENT
2	6/28/21	REV PER NEW SP & VPS COMMENTS
1	6/1/21	REV PER NEW SP & VPS COMMENTS



REMOVE EXIST. 15" CMP & RECONNECT TO EXIST. C.B. WITH 185 LF, 15" RCP @ INV. EL: 5.90 N

EXIST. 24" RCP OUTFALLS TO LWDD L-14 CANAL (REFER TO SFMWD ERP. NO. 50-02750-S)

S-201 STORM MH
RIM EL: 10.50
INV. EL: 7.20 E,W [OUT-IN]
INV. EL: 7.50 N

S-107 TYPE "D" DBI
RIM EL: 11.00
INV. EL: 7.00 N
INV. EL: 7.50 SW
WEIR BOX EL: 10.00 W

S-202 TYPE 6 CURB INLET
RIM EL: 10.65
INV. EL: 6.49 S

S-202 TYPE 6 CURB INLET
RIM EL: 10.65
INV. EL: 7.15 S

S-202 TYPE 5 CURB INLET
RIM EL: 10.45
INV. EL: 6.27 S
INV. EL: 6.27 N

RIM: 9.56
INV N: 6.55
INV E: 5.93
INV W: 6.49
BTM: 5.96

RIM: 10.01
INV N: 8.09
INV S: 5.54
INV E: 7.61
INV W: 5.90
BTM: 5.45

RIM: 9.98
INV E: 6.58
INV W: 6.55
BTM: 6.37

CS-1
RIM EL: 12.25
WEIR EL: 11.50
INV. EL: 7.00 NE
INV. EL: 9.00 W
INV. EL: 8.00 S
BLEEDER INV: 9.00

RIM: 10.32
INV SE: 7.37
INV W: 7.34
BTM: 7.09



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FIELD: DRAWN: P. Seiffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #21-006
TODD N. McLEOD, P.E.
FL LICENSE #18228 (E) CA 605 30635
THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND IS VALID IN ACCORDANCE WITH THE SHA-1 AUTHENTICATION CODE THAT MUST BE VERIFIED ON ANY ELECTRONIC COPIES

NO.	DATE	REVISIONS
4	7/20/21	REV PER NEW SITE PLAN
2	6/20/21	REV PER NEW SP & VPS COMMENTS
1	6/10/21	REV PER NEW SP & VPS COMMENTS

CONCEPTUAL STRIPING PLAN
PRINCE PLACE
RESIDENTIAL SUBDIVISION
PALM SPRINGS, FLORIDA

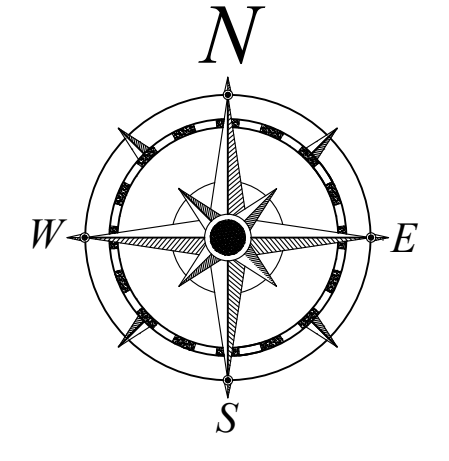
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OF 19

- NOTES:
- PAVEMENT MARKINGS & SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD) AND VILLAGE OF PALM SPRINGS LAND DEVELOPMENT CODE.
 - CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX FOR ROAD CONSTRUCTION NO. 522-02.
 - DETECTABLE WARNING SHALL BE THE WIDTH OF THE WALKING SURFACE AND 3' IN LONGITUDINAL LENGTH (DIRECTION OF TRAVEL). DETECTABLE WARNING MATS SHALL PER THE FDOT APPROVED PRODUCTS LIST (APL), LATEST EDITION.
 - PARKING STALL STRIPING SHALL BE TRAFFIC PAINT PER FDOT SPECIFICATIONS, LATEST EDITION. ALL OTHER STRIPING SHALL BE THERMOPLASTIC.
 - STOP BARS TO BE LOCATED A MIN. OF 4' FROM CROSSWALKS.

LEGEND

- PROP. SIGN: CR-X
- PROP. CONCRETE PAVEMENT: [Pattern]
- PROP. ASPHALT PAVEMENT: [Pattern]
- PAVEMENT RESTORATION & RESURFACING: [Pattern]

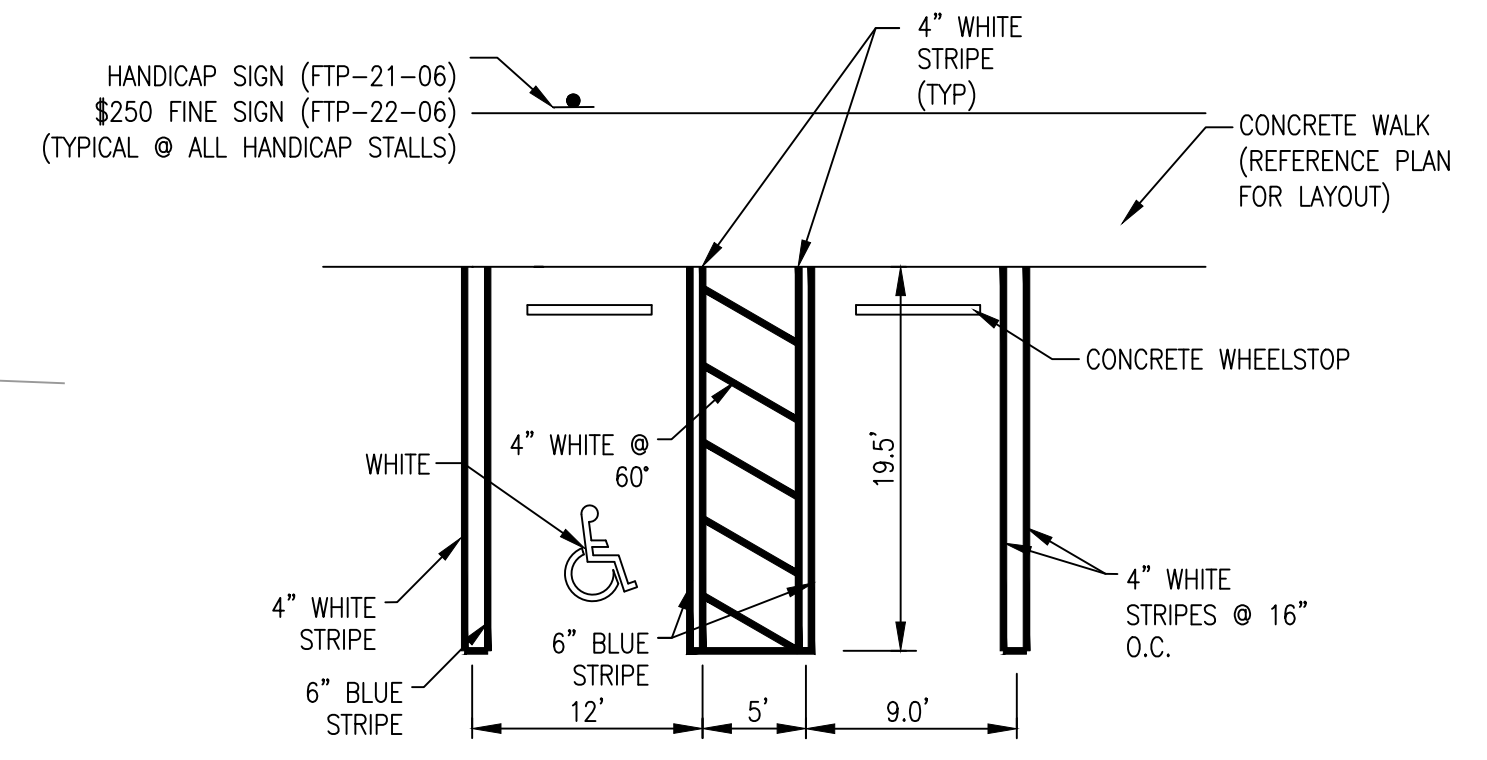


STRIPING LEGEND

- | | |
|-----------------------------|------------------------------------|
| 6" SOLID WHITE STRIPE (A) | 6" SKIP YELLOW (10'-30') (L) |
| 8" SOLID WHITE STRIPE (B) | 6" SKIP YELLOW (6'-10') (M) |
| 12" SOLID WHITE STRIPE (C) | 6" SKIP YELLOW (2'-4') (N) |
| 18" SOLID WHITE STRIPE (D) | RPM BI-DIRECTIONAL AMBER/AMBER (P) |
| 24" SOLID WHITE STRIPE (E) | FDP WHITE (R) |
| 6" SKIP WHITE (10'-30') (F) | FDP YELLOW (S) |
| 6" SKIP WHITE (6'-10') (G) | RPM BI-DIRECTIONAL WHITE/RED (T) |
| 6" SKIP WHITE (2'-4') (H) | RPM BI-DIRECTIONAL RED/YELLOW (U) |

CURBING LEGEND

- | | |
|----------------------|----------------------------|
| 6" SOLID YELLOW (I) | TYPE "D" CURB (1) |
| 18" SOLID YELLOW (J) | TYPE "F" CURB & GUTTER (2) |
| 6" DOUBLE YELLOW (K) | 2' VALLEY GUTTER (3) |
| | 12" HEADER CURB (4) |
| | DETECTABLE WARNING (5) |

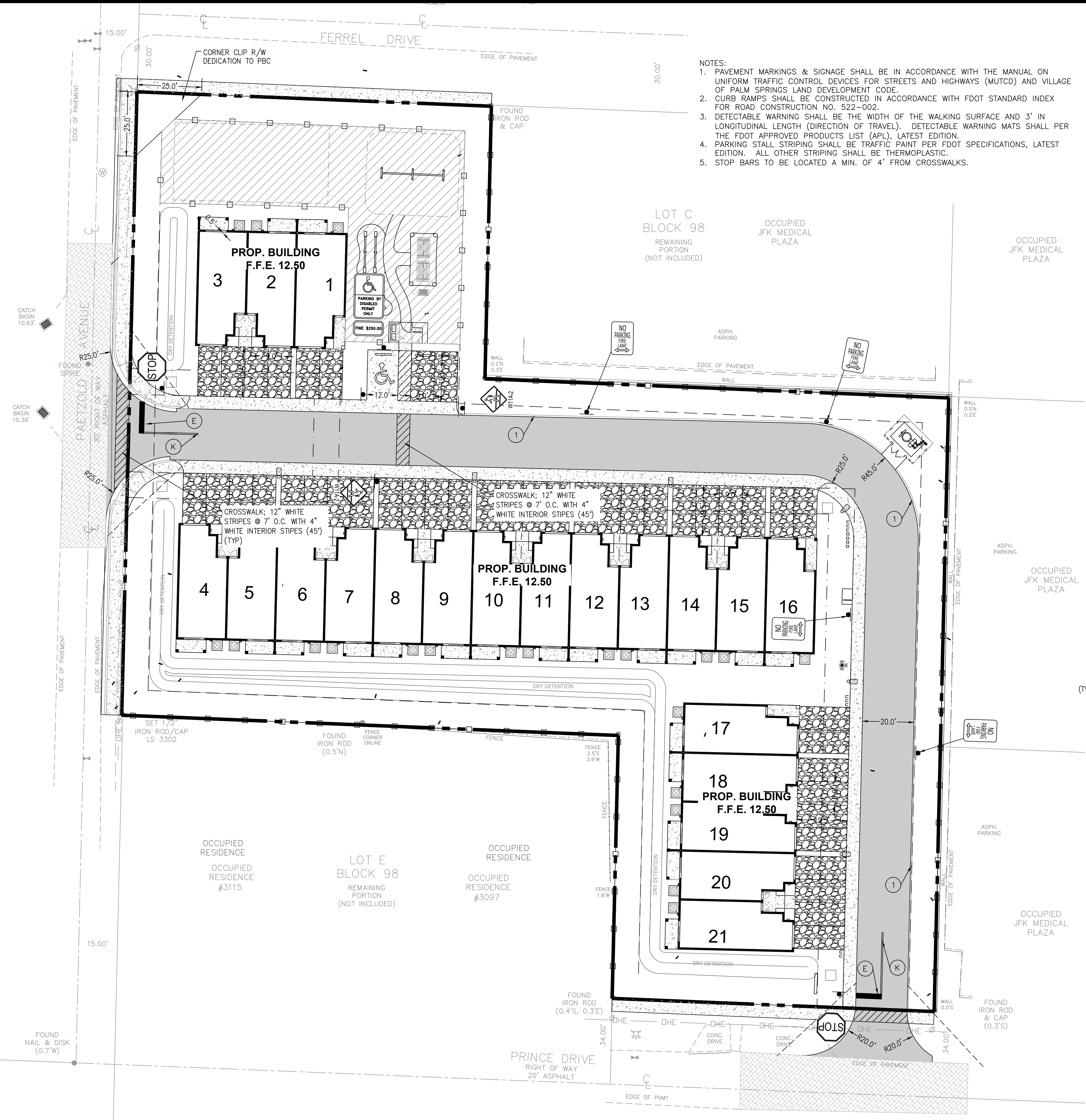


TYPICAL 90° PARKING STALL AND HANDICAP SPACE DETAIL
NOTE: MAXIMUM 2.0% SLOPE IN ANY DIRECTION AT HANDICAP STALLS.
NOTE: ALL PARKING STRIPING SHALL BE IN ACCORDANCE WITH VILLAGE OF PALM SPRINGS LAND DEVELOPMENT CODE.

ACCESSIBILITY NOTES:

- ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - ACCESSIBILITY.
- ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - ACCESSIBILITY.
- CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 304. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
- DETECTABLE WARNING SHALL BE THE WIDTH OF THE WALKING SURFACE AND 3' IN LONGITUDINAL LENGTH (DIRECTION OF TRAVEL). DETECTABLE WARNING MATS SHALL PER THE FDOT APPROVED PRODUCTS LIST (APL), LATEST EDITION.

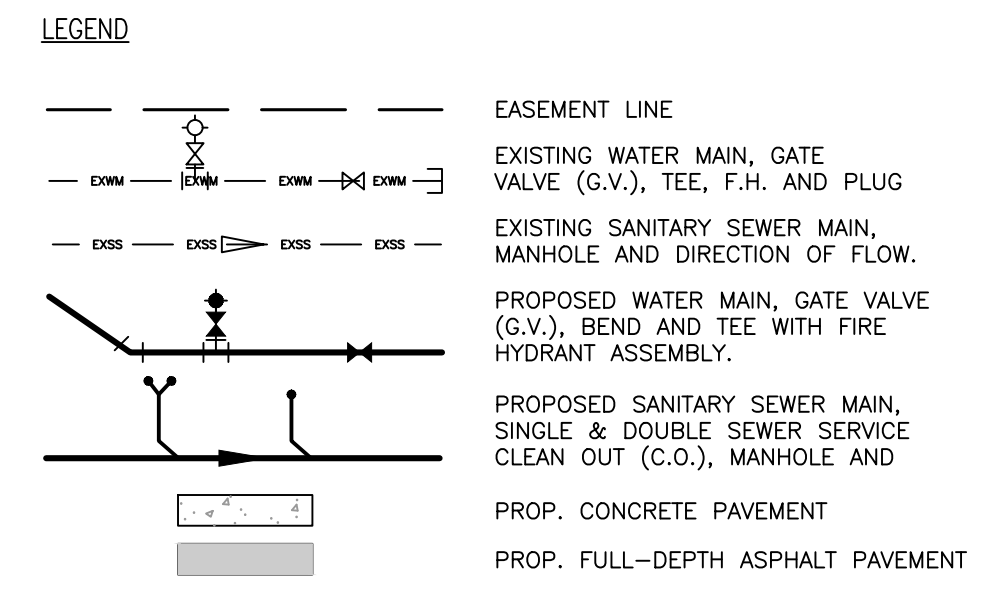
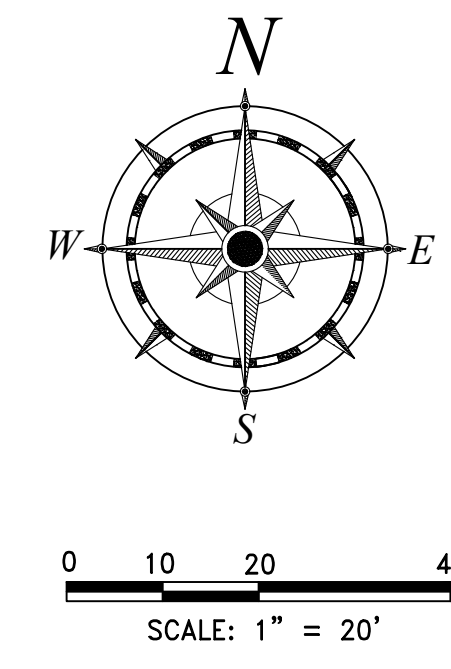
ALL ELEVATIONS REFER TO NAVD 1988 DATUM.





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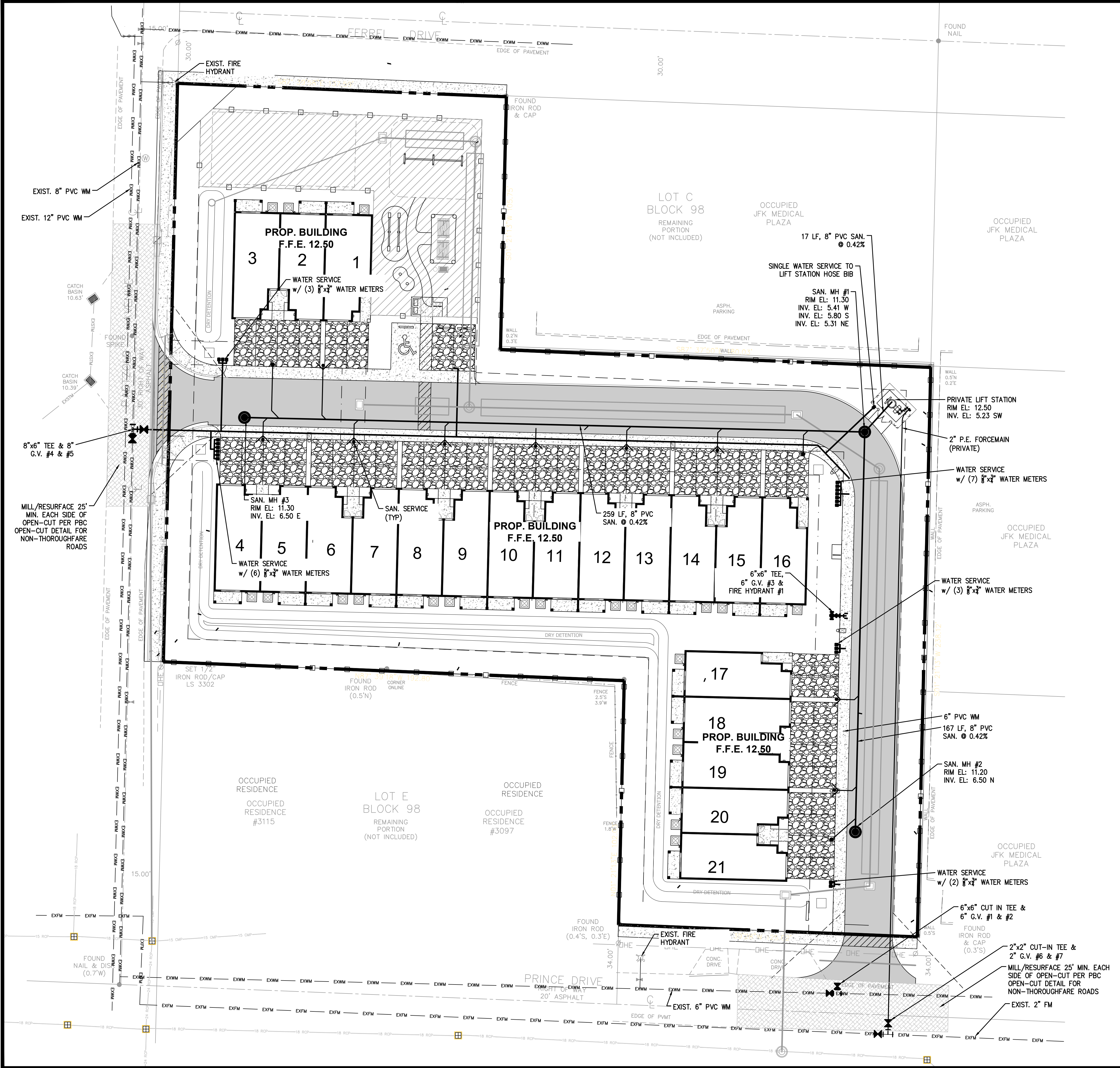
FIELD:
DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #21-006

NO.	DATE	REVISIONS
4	7/20/21	REV PER NEW SITEPLAN
2	6/20/21	REV PER NEW SP & VPS COMMENTS
1	6/10/21	REV PER NEW SP & VPS COMMENTS

**CONCEPTUAL WATER & WASTEWATER PLAN
PRINCE PLACE
RESIDENTIAL SUBDIVISION
PALM SPRINGS, FLORIDA**

SCALE: AS SHOWN
DATE: 4/22/2021

SHEET
C1.3
OF 19



- NOTES:**
- PRIOR TO CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
 - ALL SANITARY SEWER SHALL BE P.V.C. SDR 26 (UNLESS OTHERWISE NOTED).
 - ALL WATER MAINS & FORCE MAINS SHALL BE DIP UNLESS OTHERWISE NOTED.
 - FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 7' AND A MAXIMUM OF 12' FROM EDGE OF PAVEMENT.
 - VALVES SHALL NOT BE PLACED IN CURBS.
 - ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
 - MAGNETIC TAPE IS REQUIRED FOR ALL WATER & FORCE MAINS AND SHALL BE 6" WIDE, IMPRINTED WITH 2" HIGH LETTERING READING "CAUTION - WATER MAIN BURIED BELOW" OR "CAUTION - FORCE MAIN BURIED BELOW", AS REQUIRED.
 - RECORD DRAWINGS MUST HAVE DATA FOR TAP AND METER LOCATIONS FOR ALL NON-PERPENDICULAR WATER MAIN SERVICES.
 - PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW CITY OF ATLANTIS UTILITIES DEPARTMENT MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS, LATEST EDITION.
 - ALL WATERMANS TO CROSS OVER SANITARY SEWER SERVICES. WHERE 18" MINIMUM CLEARANCE CANNOT BE MAINTAINED, 20 LINEAR FEET OF DUCTILE IRON WATERMAIN SHALL BE CENTERED ON THE CROSSING AND THE SEWER SERVICE SHALL BE C-900, SDR-18. IN NO CASE SHALL THERE BE LESS THAN 6" CLEARANCE.

- RECORD DRAWING NOTES:**
- RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLANE COORDINATE SYSTEM.
 - ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
 - STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURES SPECIFIED IN THE CITY STANDARDS.
 - STATE PLANE COORDINATES SHALL BE SHOWN ON PROPERTY CORNERS.

- GENERAL WATER NOTES:**
- ALL WATER MAIN DUCTILE IRON PIPE (DIP) AND PIPE FITTINGS SHALL BE PAINTED WITH A 4" WIDE CONTINUOUS BLUE LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND IS LOCATED ALONG THE TOP OF THE PIPE.
 - ALL WATER MAINS SHALL BE MARKED WITH ONE CONTINUOUS STRIP OF 6" WIDE MAGNETIC BLUE CODED TAPE IMPRINTED WITH TWO (2) INCH HIGH LETTERING READING "CAUTION - POTABLE WATER LINE BURIED BELOW" AND LOCATED APPROXIMATELY TWELVE (12) INCHES ABOVE THE CROWN OF THE PIPE. THE WORDING SHALL OCCUR EVERY THREE (3) FEET.
 - ALL WATER SERVICE BRASS ARE REQUIRED TO BE LEAD FREE.
 - ALL EXISTING CITY FACILITIES (IE VALVES) TO BE OPERATED BY CITY PERSONNEL ONLY.

- GENERAL SEWER NOTES:**
- ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED UP TO POINT-OF-SERVICE CLEANOUT AT PROPERTY LINE.
 - SEWER CLEANOUT MINI-MANHOLES ARE REQUIRED ON ALL CLEANOUTS WITHIN PAVEMENT AREAS.

ALL ELEVATIONS REFER TO NAVD 1988 DATUM.

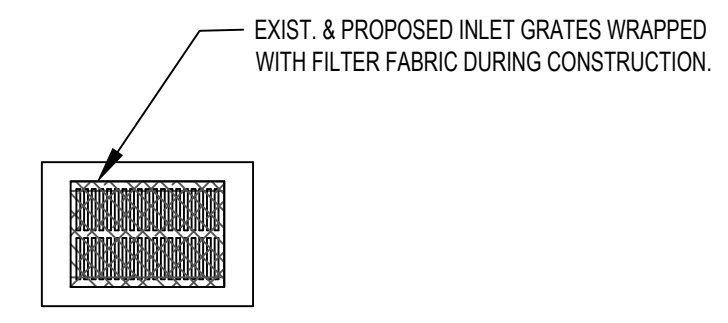
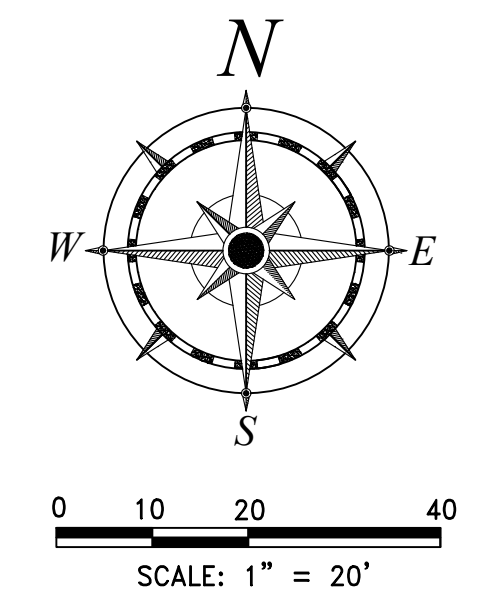


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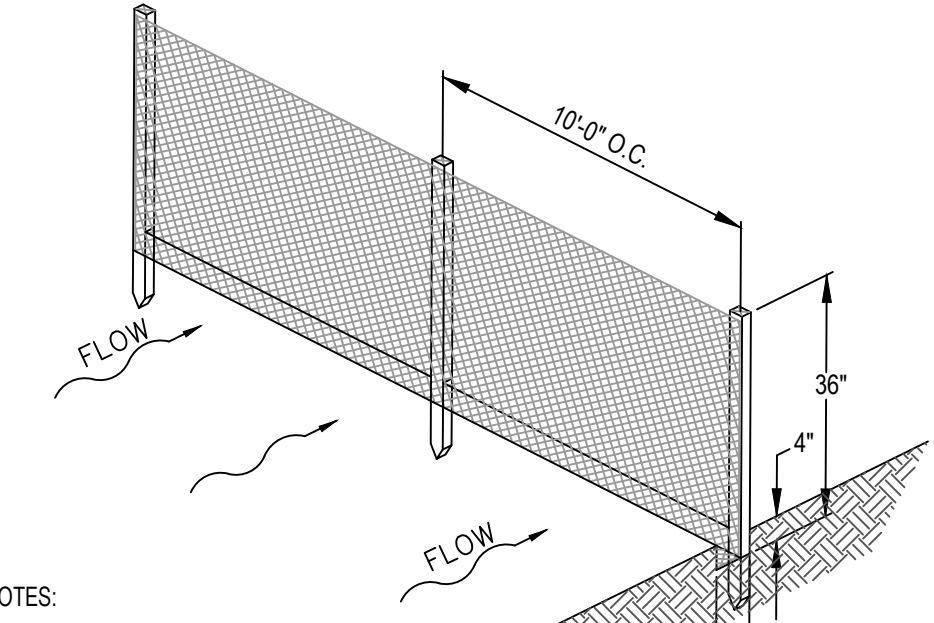
FIELD: DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #21-006
TODD N. McLEOD, P.E.
FL LICENSE #12000 (C) CA 005 30635
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INLET PROTECTION
N.T.S.

NOTES:

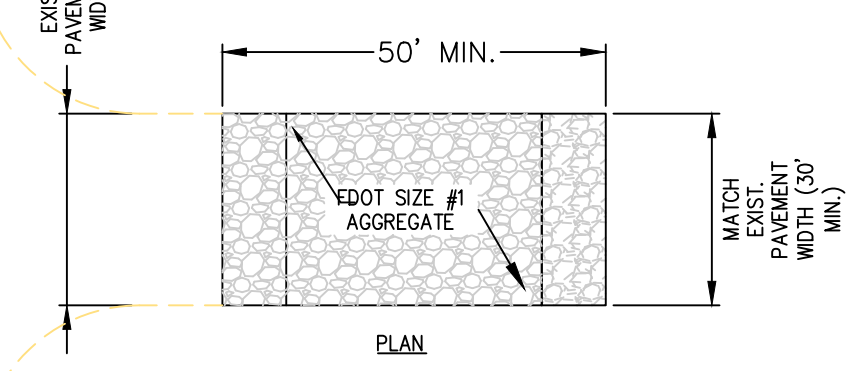
1. PROTECT EXISTING AND PROPOSED INLETS DURING CONSTRUCTION.
2. SWEEP ROADS AND CONSTRUCTION SITE PERIODICALLY TO REMOVE CONSTRUCTION DEBRIS AND SEDIMENT.
3. STORM DRAINAGE (EXIST. & PROP.) TO BE SEDIMENT AND SILT FREE DURING CONSTRUCTION AND AT FINAL SITE WALK THROUGH.
4. ALL EXISTING CURBING, PAVEMENT, CONCRETE & BASEROCK TO BE REMOVED IN THEIR ENTIRETY WHERE INDICATED. BACKFILL WITH CLEAN, SUITABLE MATERIAL APPROPRIATE TO THE FUTURE APPLICATION AND IN COMPLIANCE WITH THE RESPECTIVE REQUIREMENTS (i.e. STRUCTURAL BUILDING FILL, LANDSCAPE FILL, PARKING LOT SUBGRADE).
5. EXISTING BASEROCK MAY NOT BE REUSED FOR PROPOSED PARKING LOT. HOWEVER, IT MAY BE USED FOR SUBGRADE STABILIZATION.
6. ALL EXISTING DRAINAGE PIPE & STRUCTURES WITHIN BOUNDARY TO REMAIN (UNLESS OTHERWISE NOTED).
7. DEMOLITION LIMITS ARE SHOWN FOR THE CONTRACTOR'S REFERENCE ONLY. ADDITIONAL DEMOLITION MAY BE REQUIRED & SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF REQUIRED IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE & ALL REQUIRED DEMOLITION PRIOR TO BID SUBMITTAL. ALL DEMOLISHED/REMOVED MATERIALS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATORY REQUIREMENTS.
8. UTILITIES AND STORM DRAINAGE MAY NOT BE ABANDONED IN PLACE UNLESS SPECIFICALLY STATED WITHIN THESE PLANS AND PREVIOUSLY APPROVED BY THE APPLICABLE GOVERNING AGENCIES AND THE ENGINEER OF RECORD.
9. DISTURBED GRASSED AREAS SHALL BE RESODDED & RESTORED PRIOR TO PROJECT TURN-OVER. RESTORATION AND RESODDING SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF REQUIRED IMPROVEMENTS.
10. ALL AREAS DISTURBED, DAMAGED, OR DEGRADED BY THE CONTRACTOR SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL REQUIREMENTS OF THE FDEP NPDES PERMIT FOR STORMWATER DISCHARGE FROM LARGE & SMALL CONSTRUCTION ACTIVITIES AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). ALL DISCHARGE FROM DEWATERING OPERATIONS SHALL BE CONTAINED ON-SITE.
12. REFER TO LANDSCAPE PLANS FOR TREE PRESERVATION OR REMOVAL.



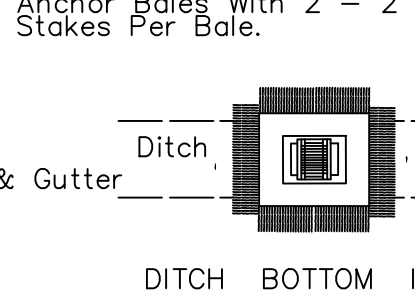
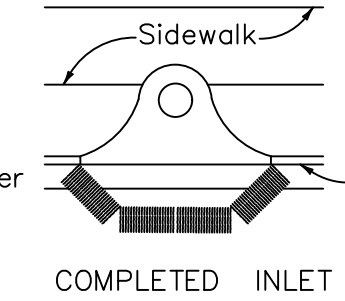
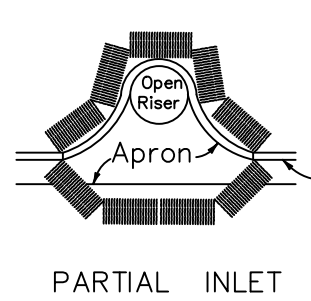
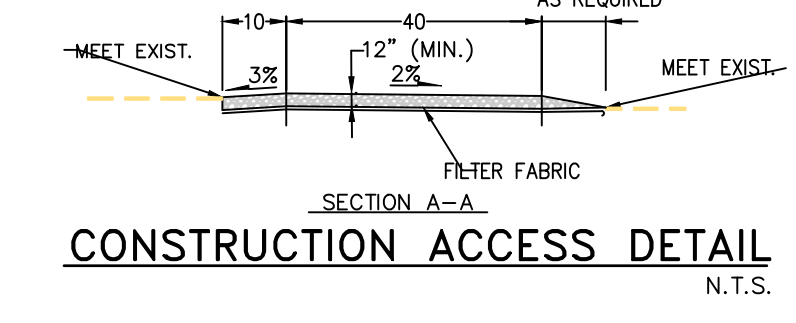
NOTES:

1. MESH TO BE BENT, LAID FLAT ON BOTTOM OF TRENCH AND BACKFILLED.
2. POSTS TO BE DRIVEN A MIN. OF TWO (2) FEET INTO THE GROUND.
3. SILT FENCE TO BE PLACED ALL AROUND CLEARING PERIMETERS.

FILTER FABRIC SILT FENCE DETAIL
N.T.S.



CONSTRUCTION ACCESS DETAIL
N.T.S.



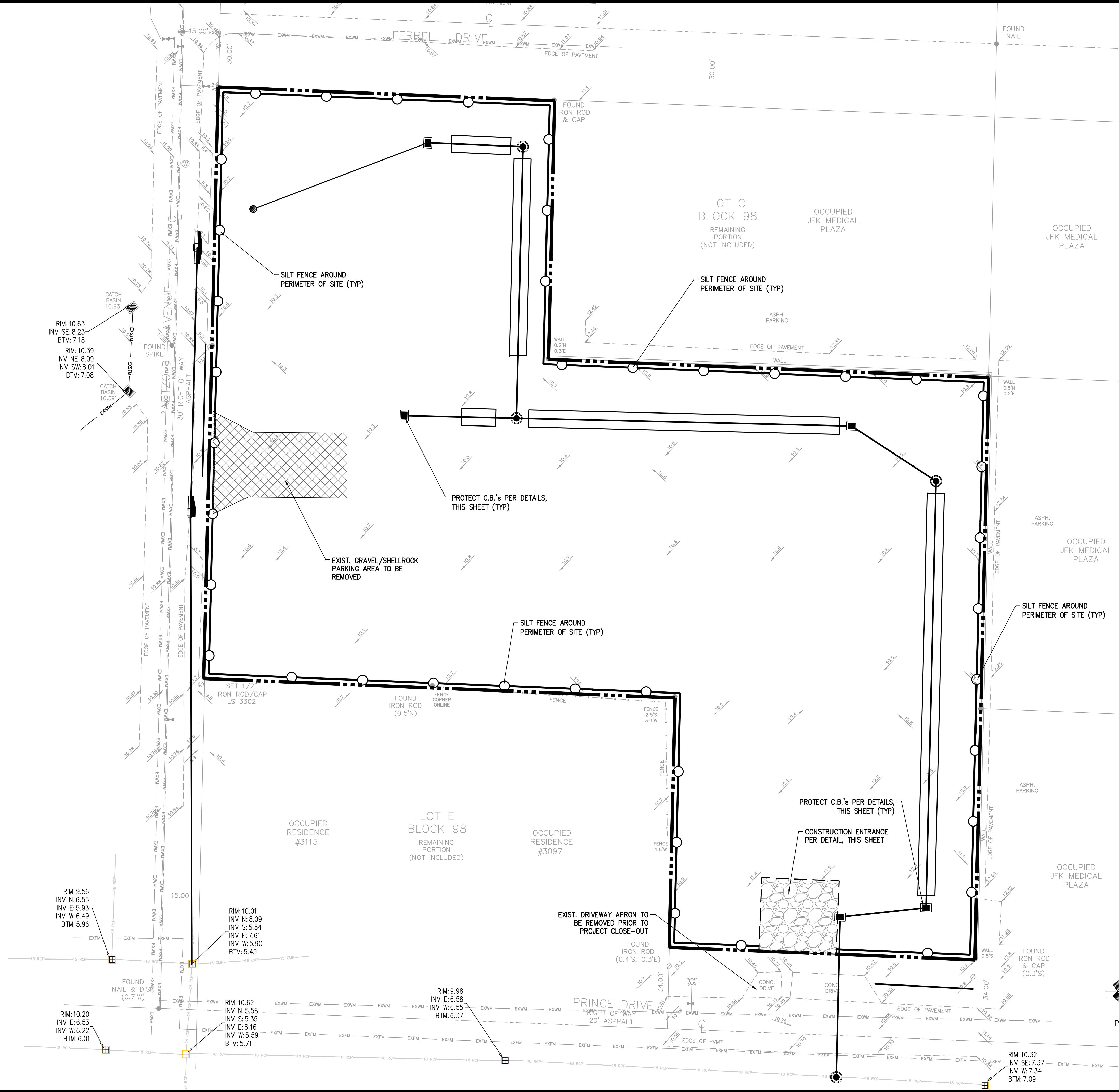
PARTIAL INLET

COMPLETED INLET

DITCH BOTTOM INLET

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
CONTRACTOR TO PROTECT ALL SIM STRUCTURES FROM SEDIMENTATION DURING CONSTRUCTION. N.T.S.

ALL ELEVATIONS REFER TO NAVD 1988 DATUM.



NO.	DATE	REVISIONS

PRELIMINARY EROSION CONTROL PLAN
PRINCE PLACE
RESIDENTIAL SUBDIVISION
PALM SPRINGS, FLORIDA

SCALE: AS SHOWN
DATE: 4/22/2021

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FIELD: DRAWN: P. Seiffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #21-006

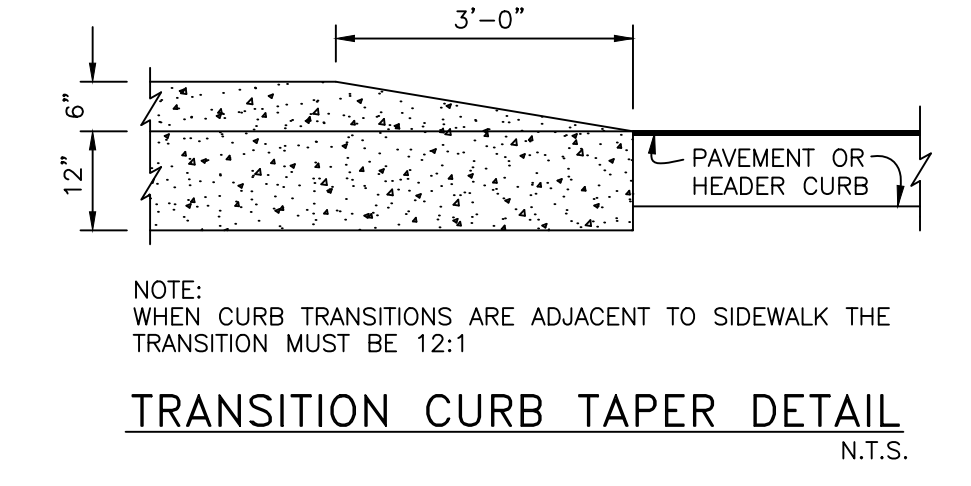
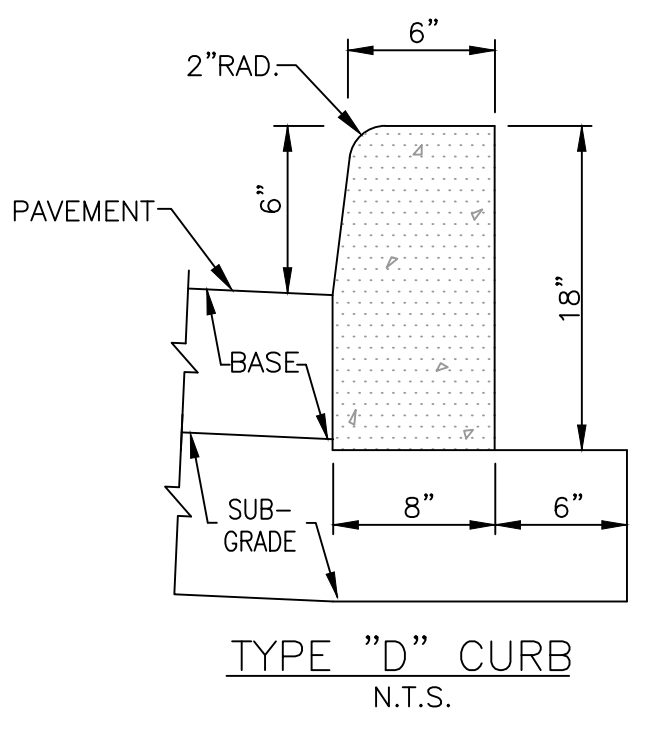
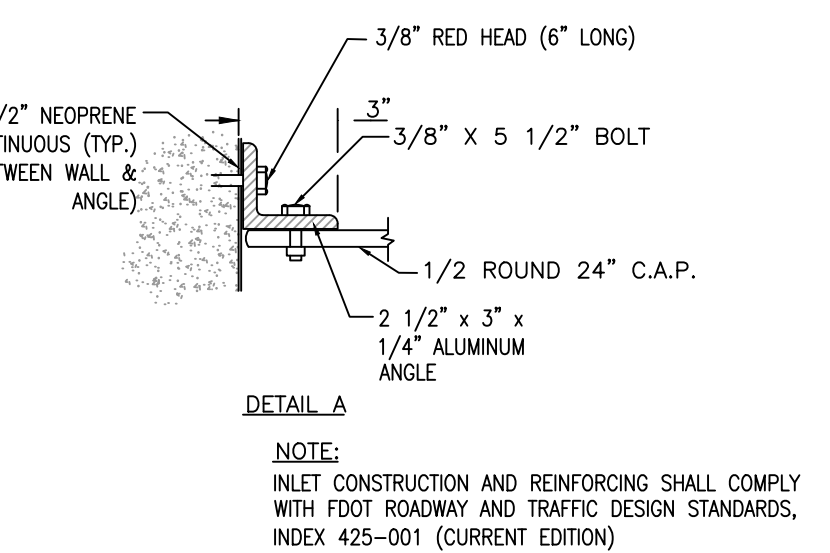
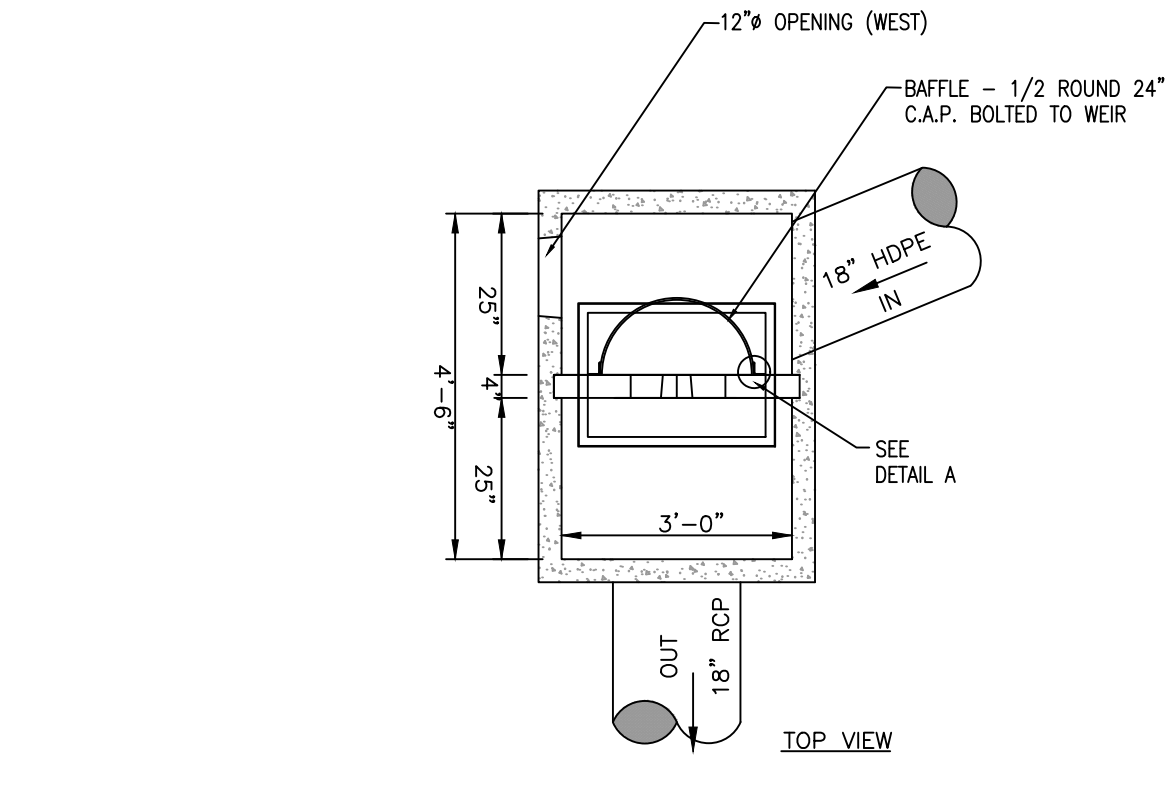
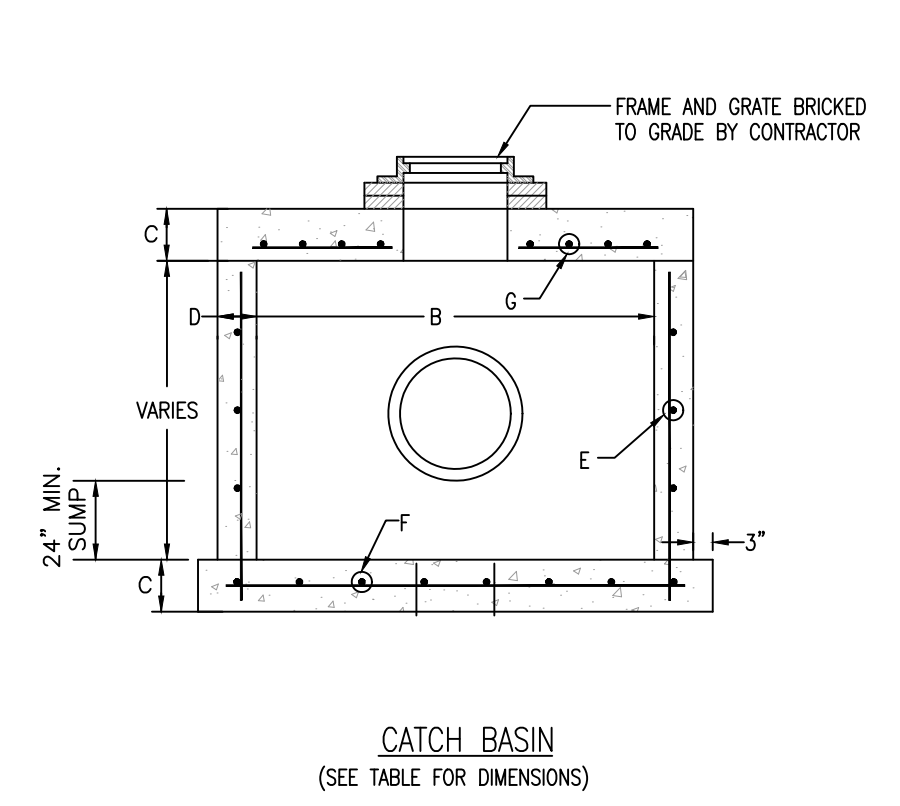
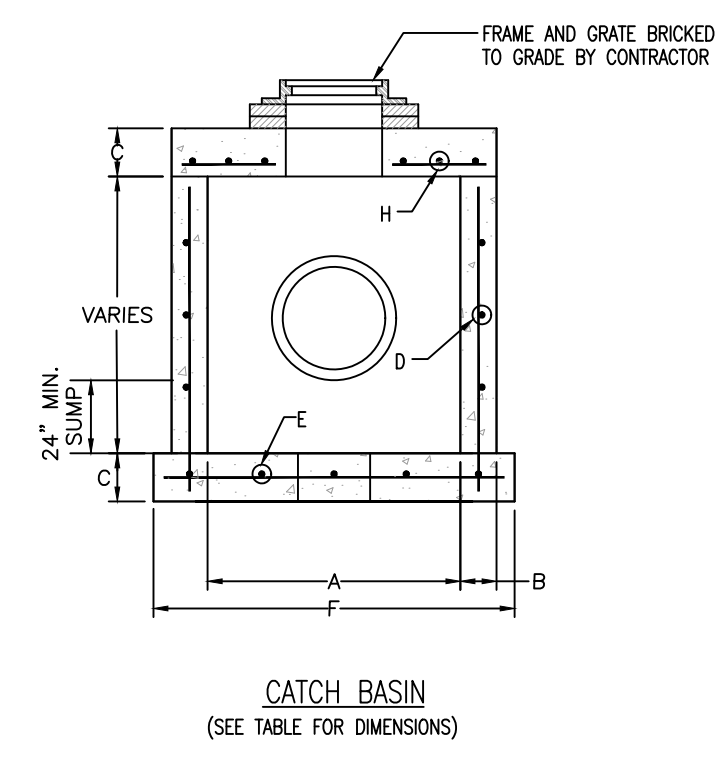
NO.	DATE	REVISIONS
2	6/20/21	REV PER NEW SP & VPS COMMENTS
1	6/10/21	REV PER NEW SP & VPS COMMENTS

PRELIMINARY ENGINEERING DETAILS
PRINCE PLACE
RESIDENTIAL SUBDIVISION
PALM SPRINGS, FLORIDA

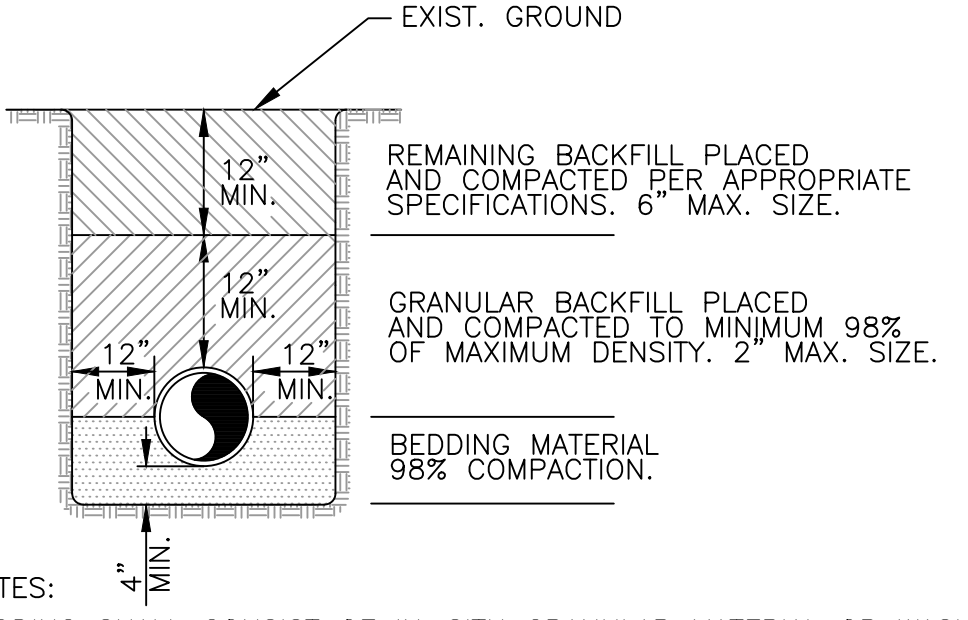
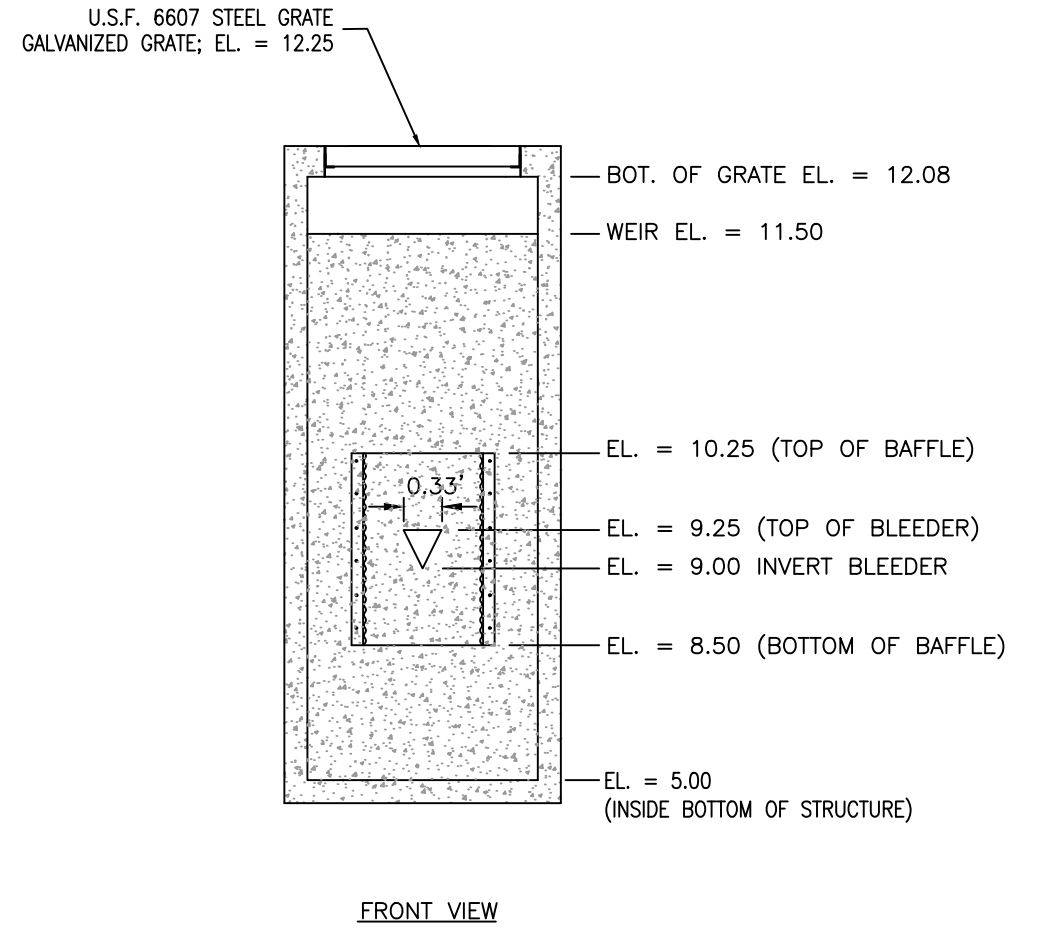
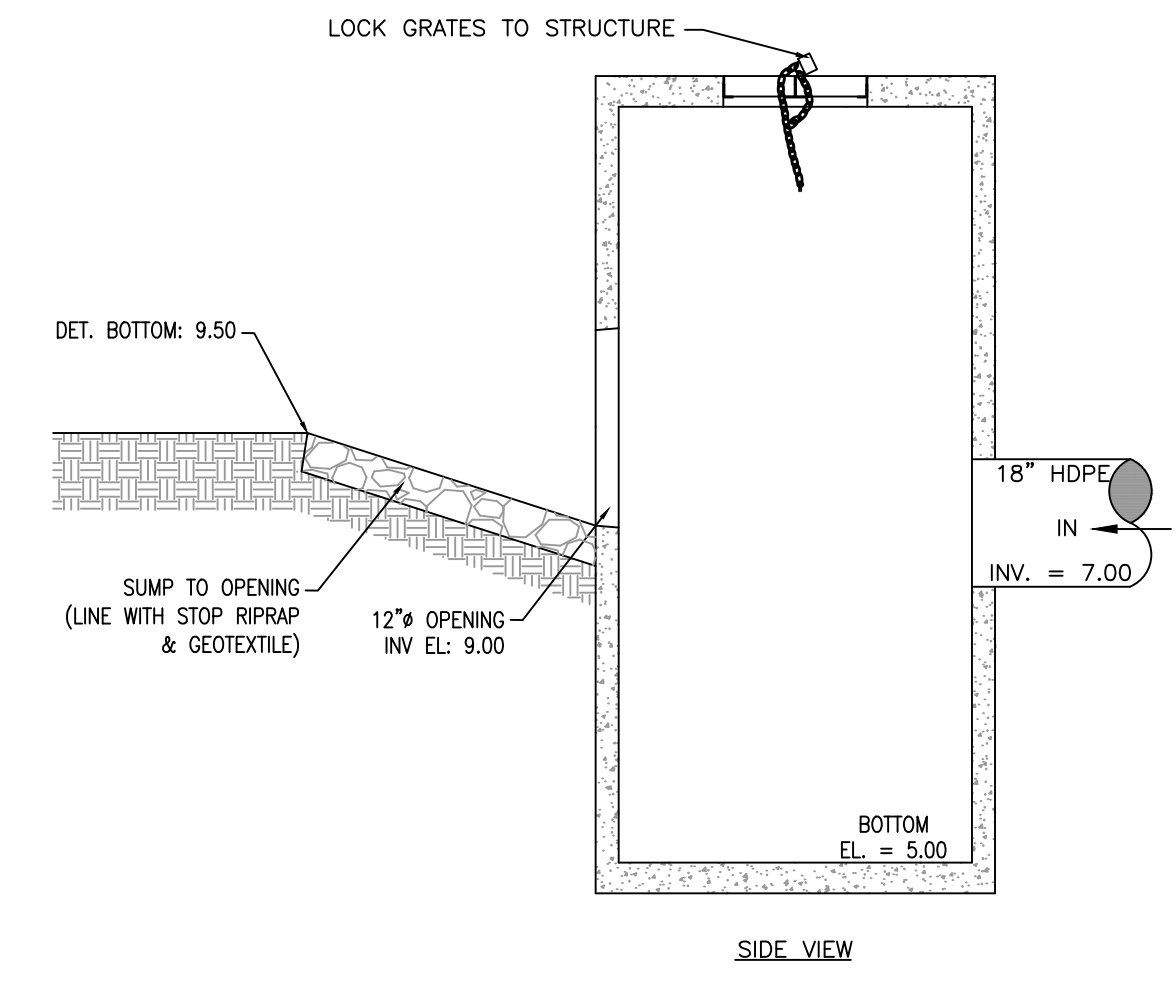
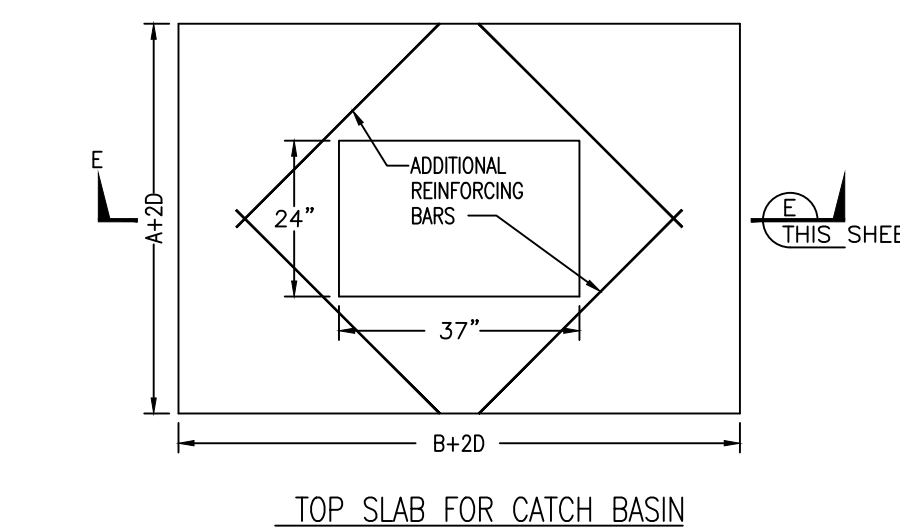
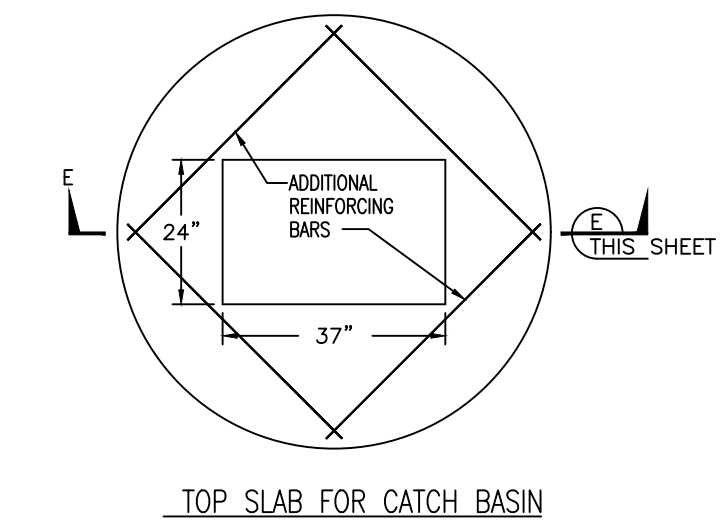
SCALE: AS SHOWN
DATE: 4/22/2021

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OF 19

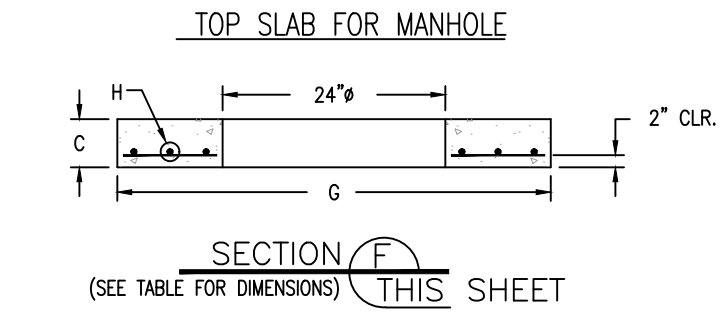
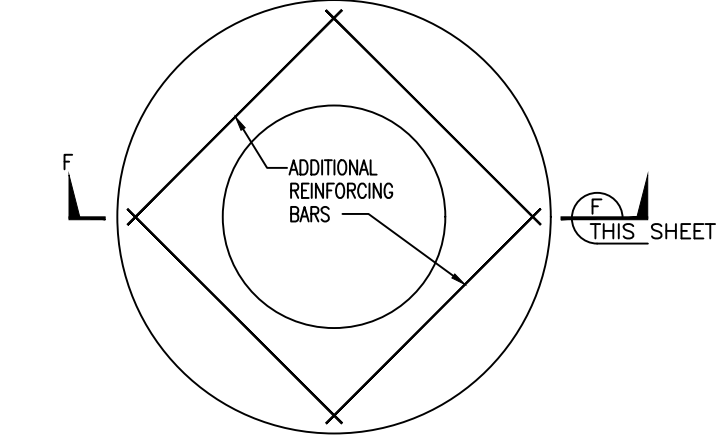
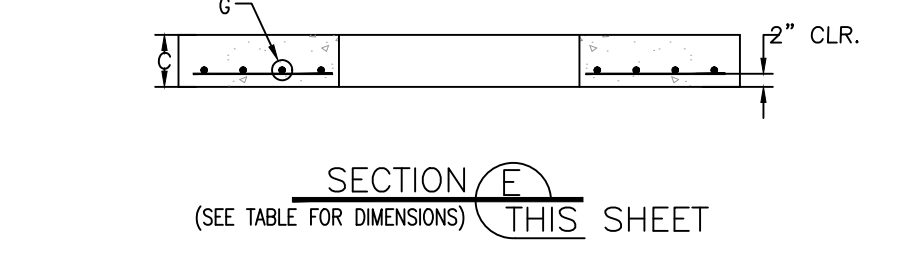
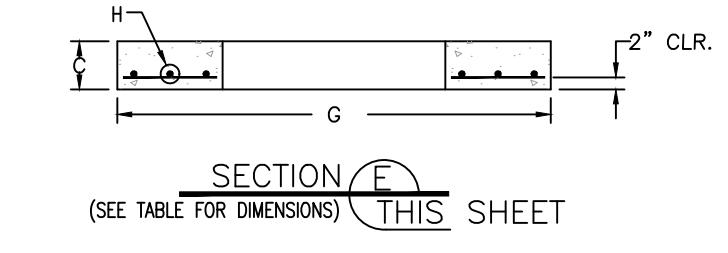
ALL ELEVATIONS REFER TO NAVD 1988 DATUM.



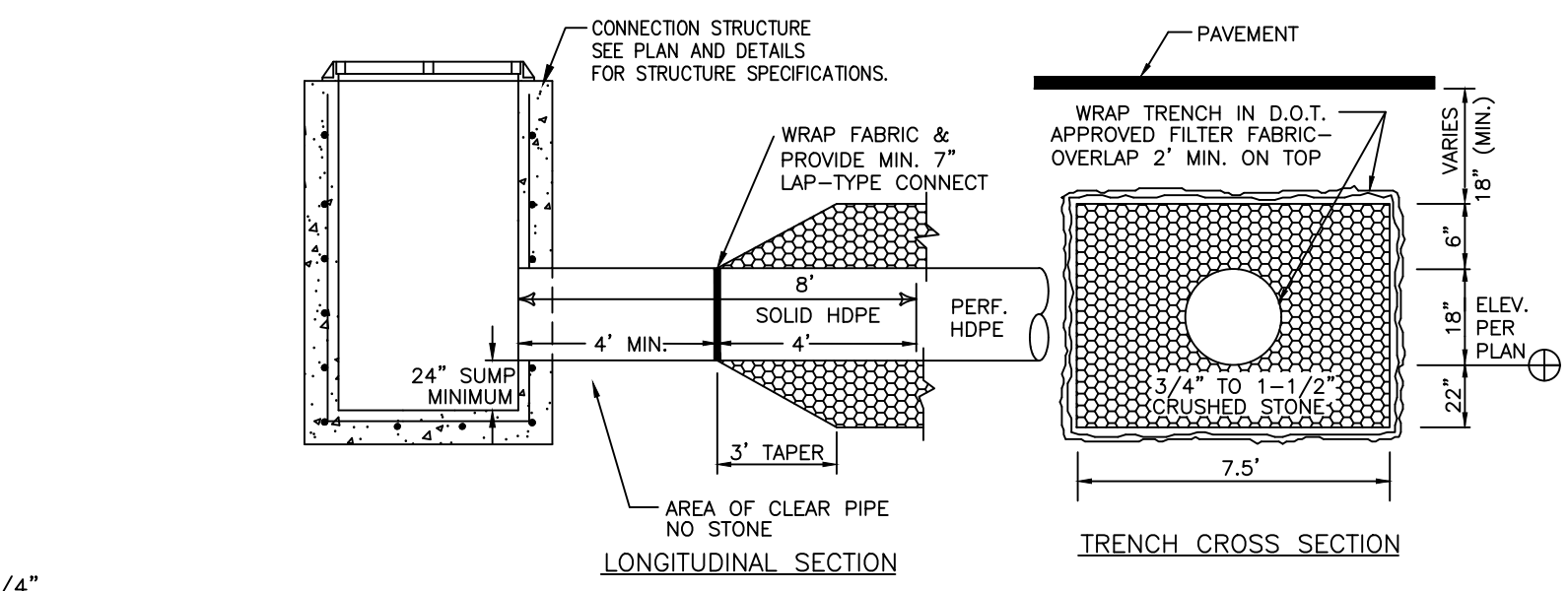
NOTE: WHEN CURB TRANSITIONS ARE ADJACENT TO SIDEWALK THE TRANSITION MUST BE 12:1



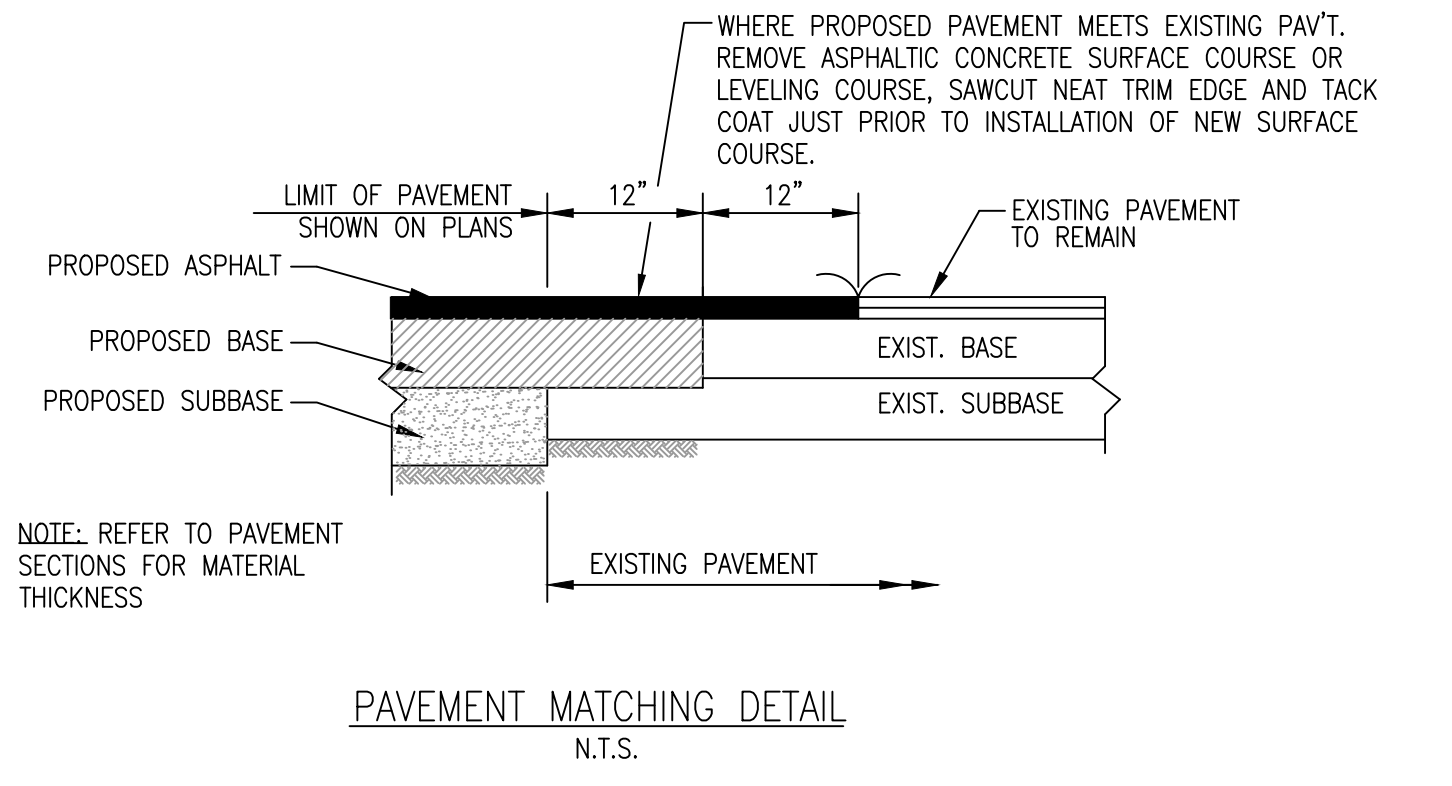
- NOTES:
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCK SHALL BE REMOVED.
 - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
 - THE PIPE SHALL BE PLACED IN A DRY TRENCH.
 - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIALS SUCH AS LARGER ROCK, MUCK AND DEBRIS.
 - SEE GENERAL NOTES FOR PIPE BACKFILL BENEATH PROPOSED PAVEMENT.



A	B	C	D	E*	F*	G*
3'-6"	3'-6"	8"	6"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-0"	4'-0"	8"	6"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-10"	5'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
6'-0"	6'-0"	8"	8"	#4 @ 12" V	#6 @ 12"	#6 @ 6"
8'-0"	8'-0"	10"	8"	#4 @ 12" V	#6 @ 12"	#6 @ 6"
10'-0"	10'-0"	10"	8"	#4 @ 12" V	#6 @ 6"	#7 @ 6"
3'-0"	4'-8"	8"	8"	#4 @ 12" V	#4 @ 12"	#4 @ 6"
3'-6"	6'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
4'-0"	6'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
3'-6"	8'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
4'-0"	8'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
5'-0"	7'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
6'-0"	8'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
6'-0"	12'-0"	8"	8"	#4 @ 12" V	#6 @ 12"	#6 @ 6"



NOTES:
COMPACT TRENCH BACKFILL AND SOIL WITHIN MIN. 5' OF TRENCH TO MIN. 98% OF MAX. DRY DENSITY PER ASTM D-1557.



NOTE: REFER TO PAVEMENT SECTIONS FOR MATERIAL THICKNESS

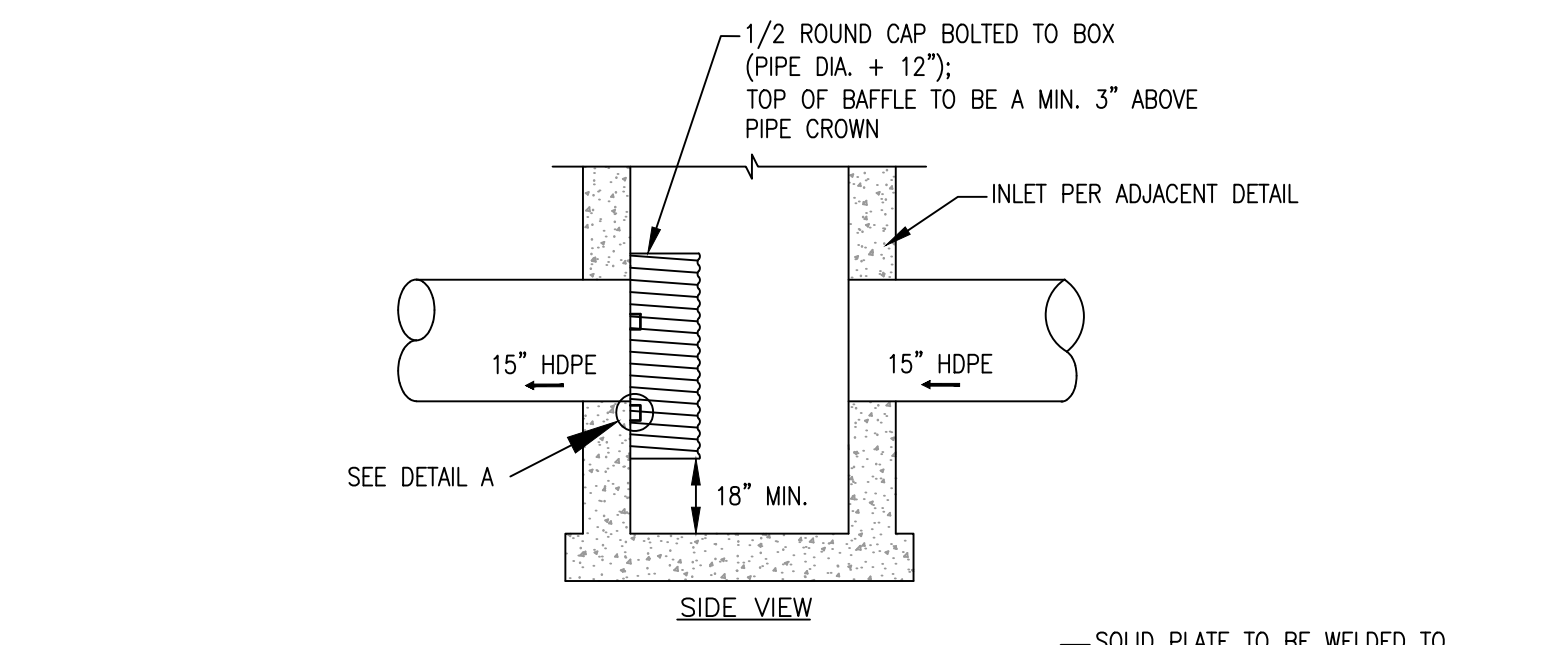
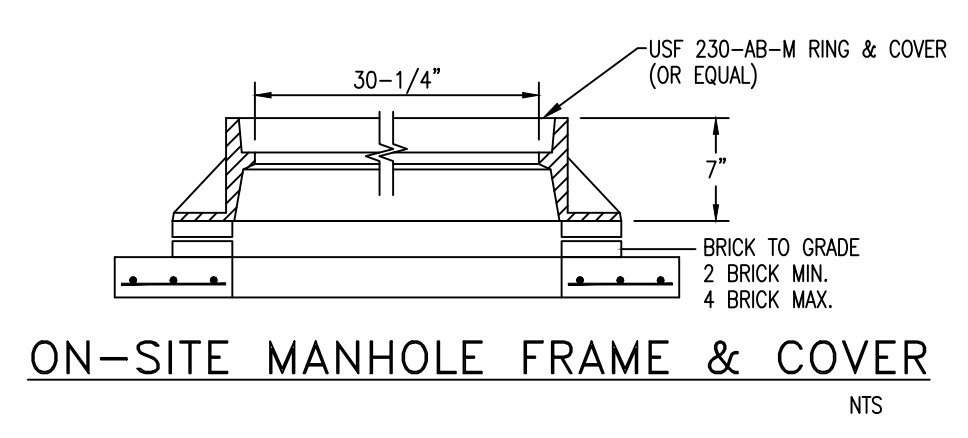
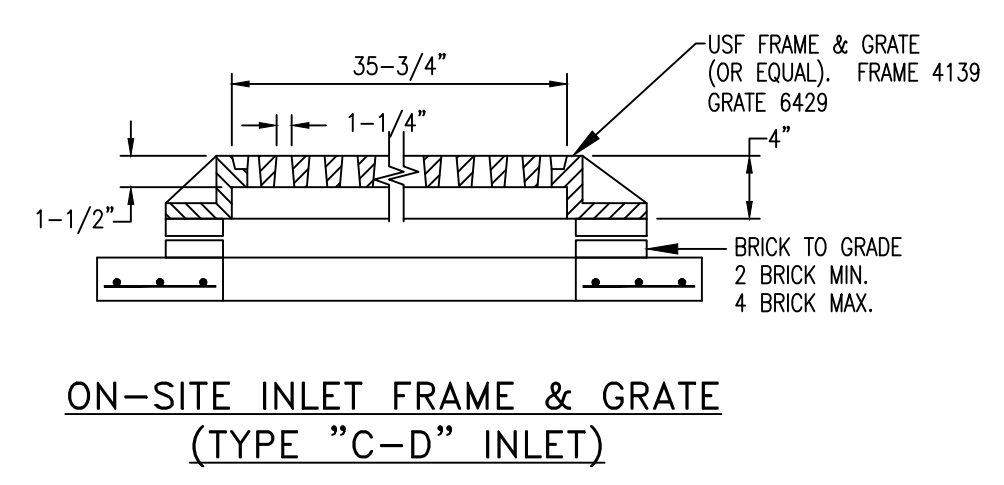
A	B	C	D	E*	F	G	H*
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3'-6"	6"	8"	ASTM C-478	#4 @ 12"	5'-0"	4'-6"	#4 @ 6"
4'x	6"	8"	ASTM C-478	#4 @ 12"	6'-0"	5'-0"	#4 @ 6"
4'x	8"	8"	ASTM C-478	#4 @ 12"	6'-4"	5'-4"	#4 @ 6"
5'-0"	8"	8"	ASTM C-478	#5 @ 12"	7'-4"	6'-4"	#5 @ 6"
6'-0"	6"	8"	ASTM C-478	#5 @ 6"	8'-0"	7'-0"	#5 @ 6"
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7'-0"	8"	8"	ASTM C-478	#5 @ 6"	9'-4"	8'-4"	#5 @ 6"
8'-0"	10"	10"	ASTM C-478	#5 @ 6"	10'-8"	9'-8"	#6 @ 6"
10'-0"	12"	12"	ASTM C-478	#5 @ 6"	12'-0"	12'-0"	#6 @ 6"

INLET NOTES
BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS.
MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

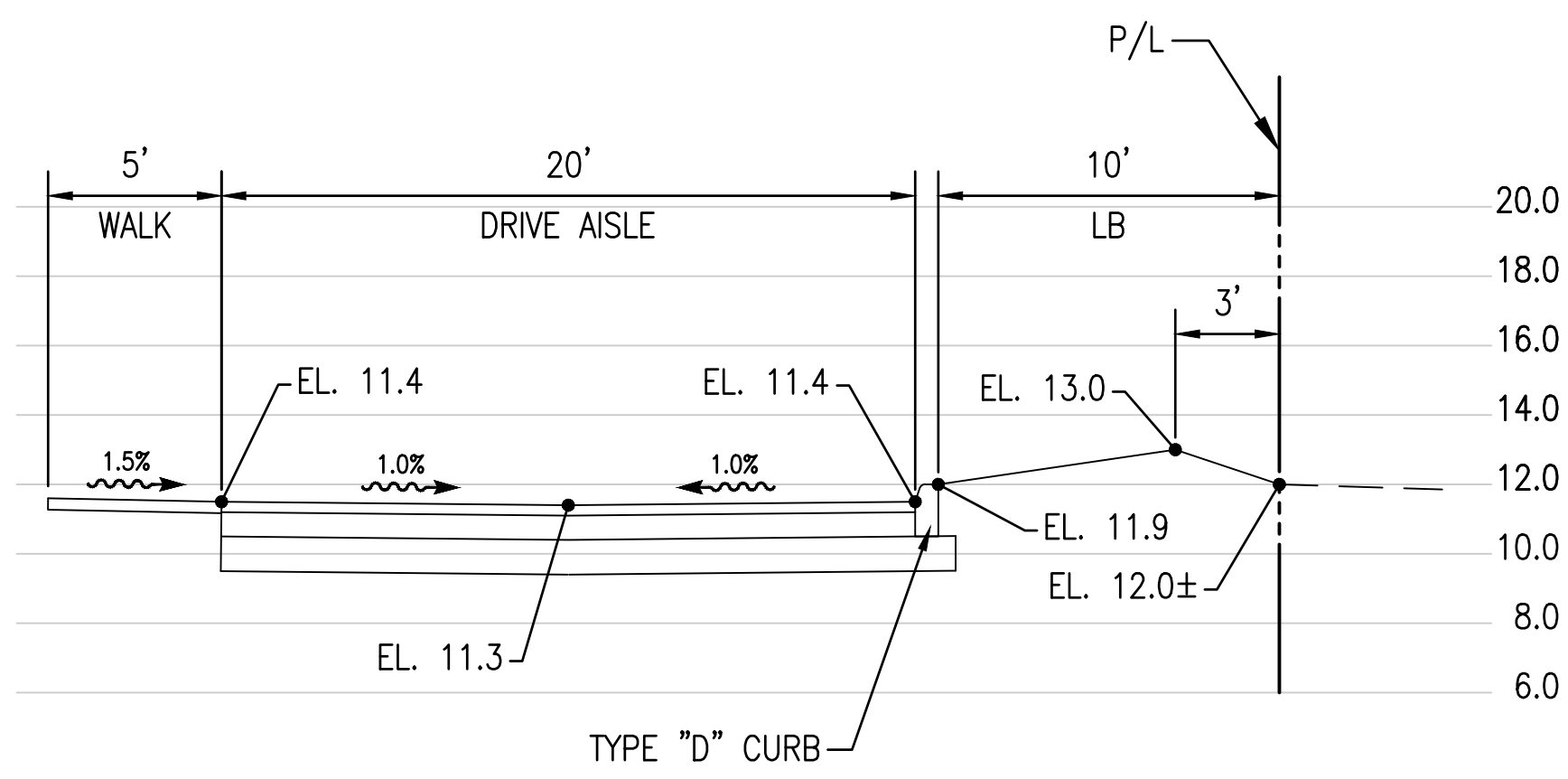
RECTANGULAR CATCH BASIN (ON-SITE)

INLET NOTES
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FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
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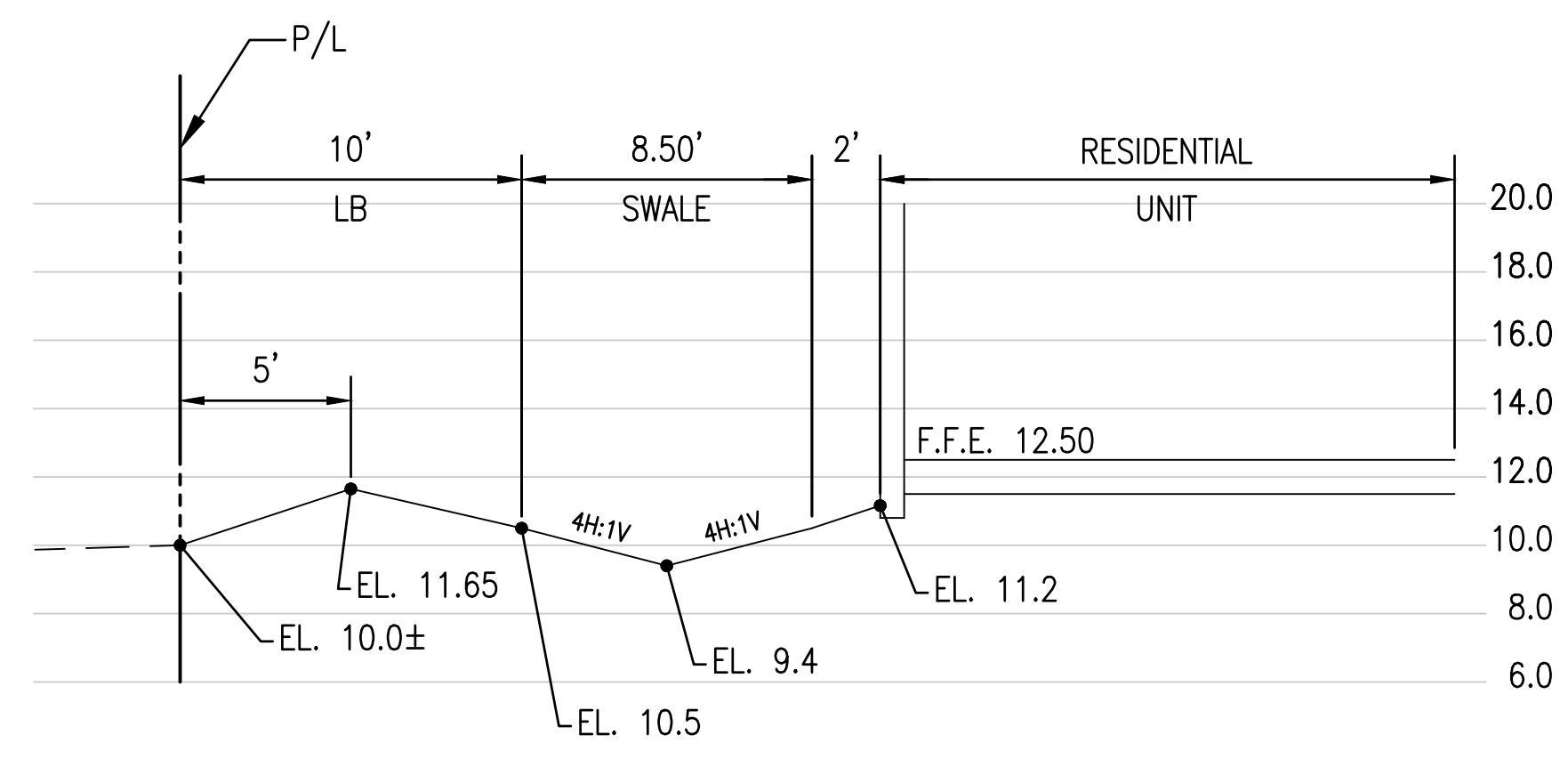
CIRCULAR CATCH BASIN (ON-SITE)



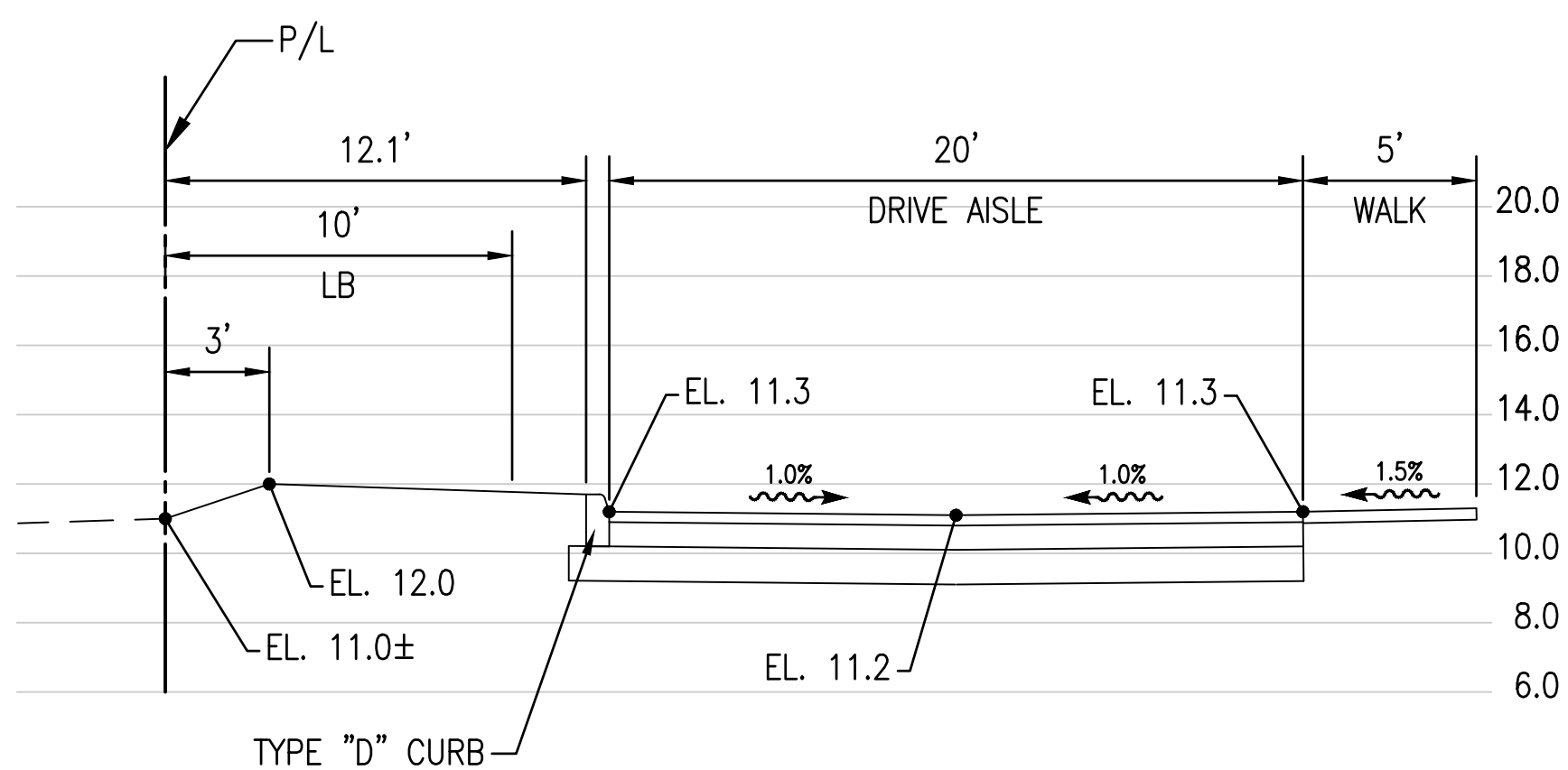
NOTE: BAFFLE TO BE USED ON ALL PIPE INVERTS CONNECTING TO EXFILTRATION TRENCH.



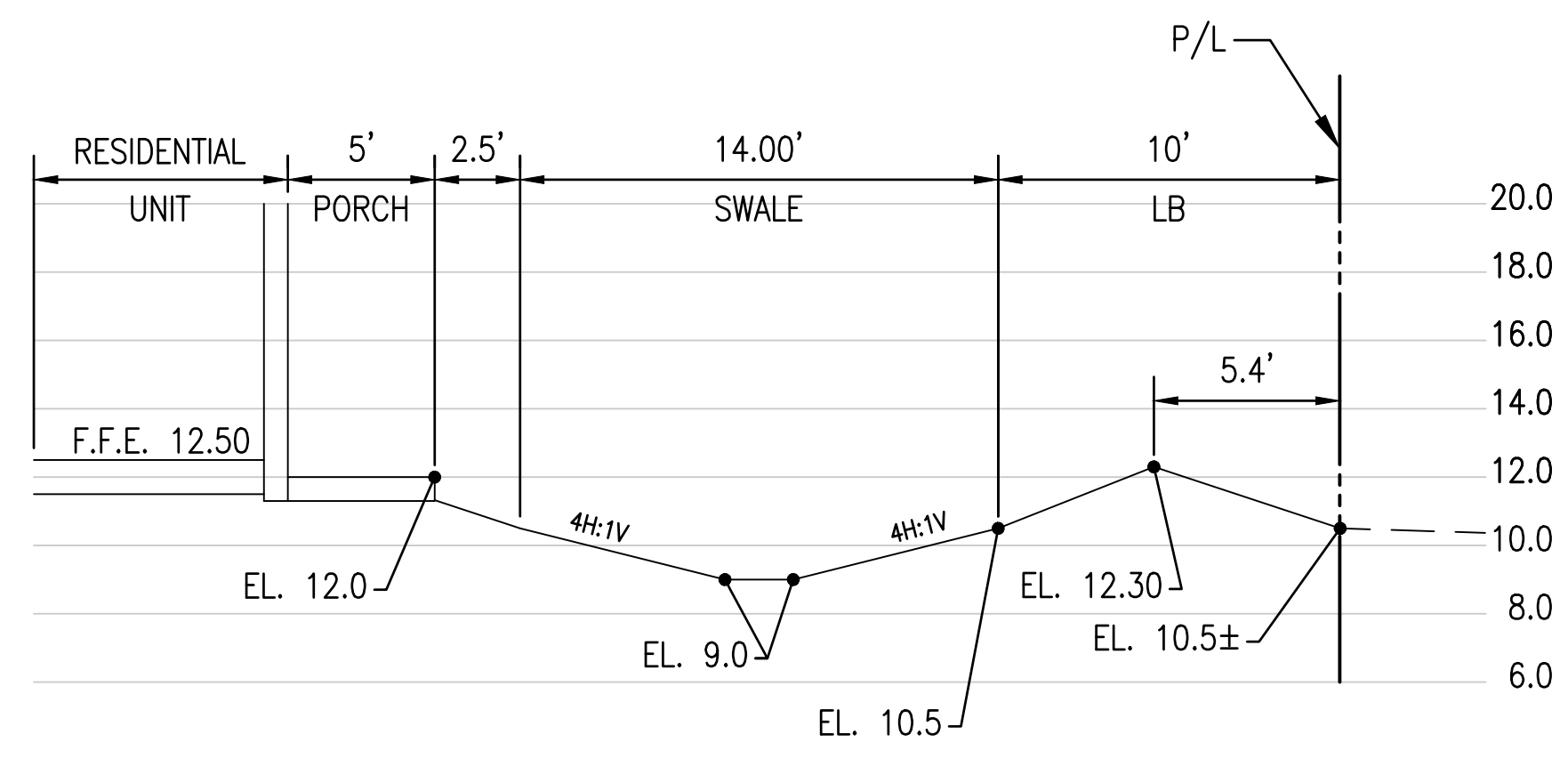
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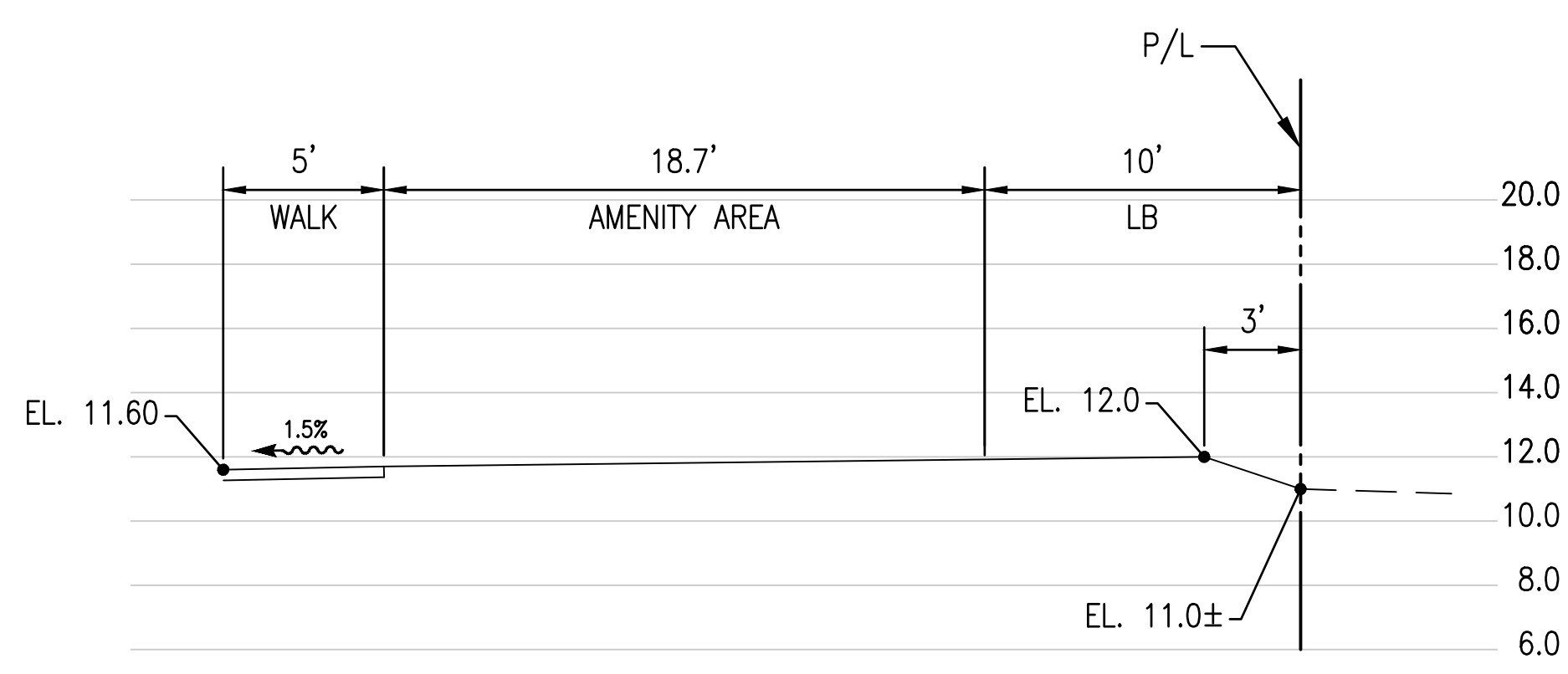
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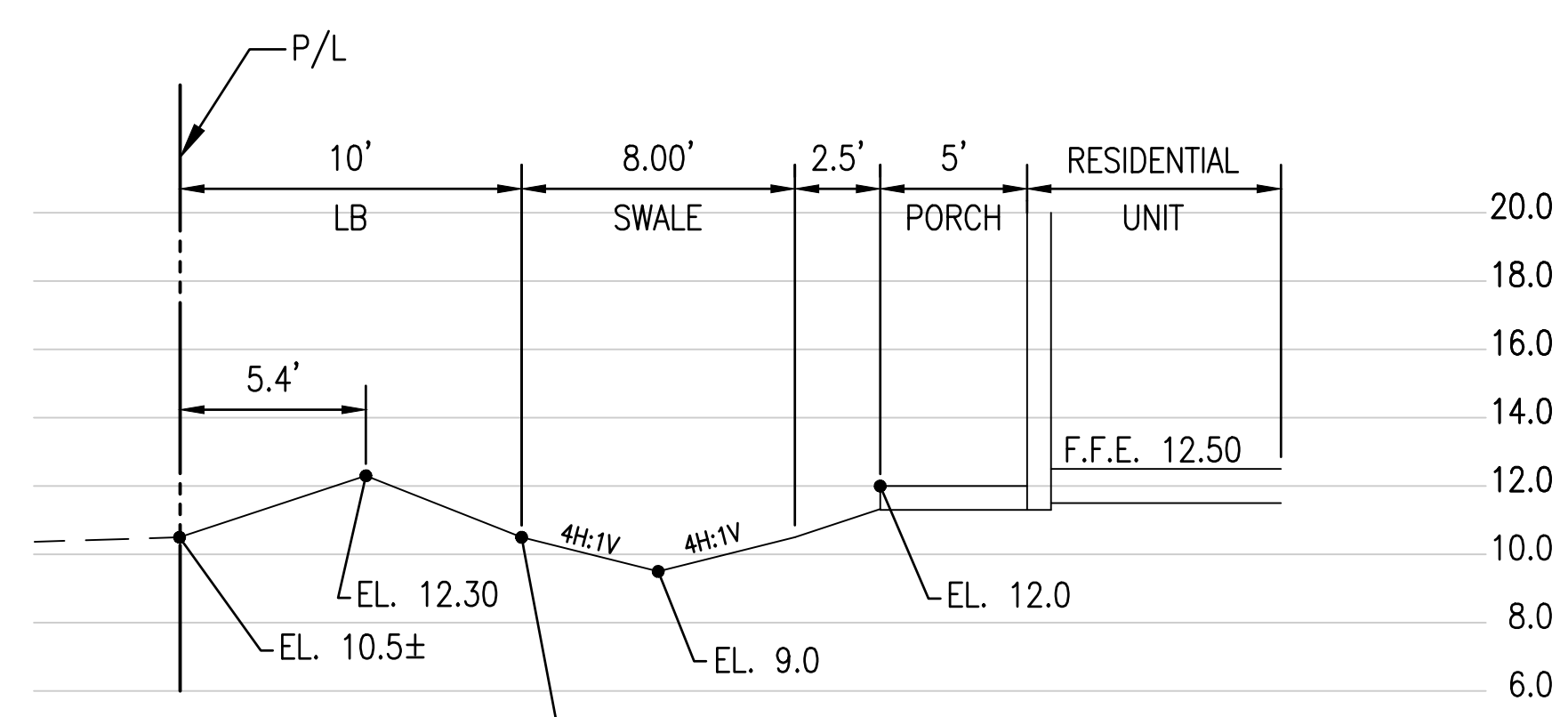
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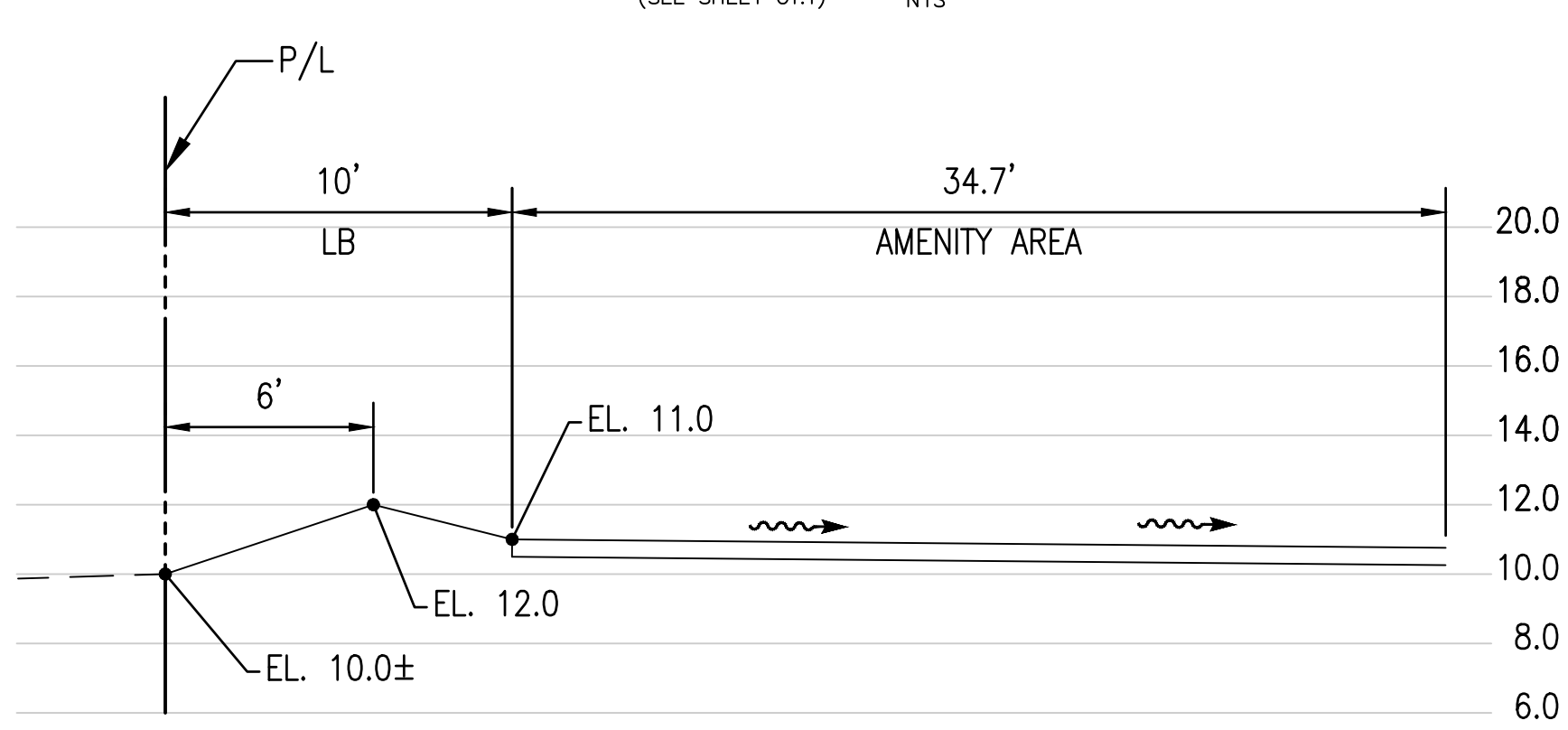
SECTION F
(SEE SHEET C1.1) NTS



SECTION C
(SEE SHEET C1.1) NTS



SECTION G
(SEE SHEET C1.1) NTS



SECTION D
(SEE SHEET C1.1) NTS



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& Associates, P.A.**
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FIELD: P. Seifold
DRAWN: P. Seifold
DESIGNED: TNM
APPROVED: TNM
PROJECT #21-006
TODD N. McLEOD, P.E.
FL LICENSE NO. 12822

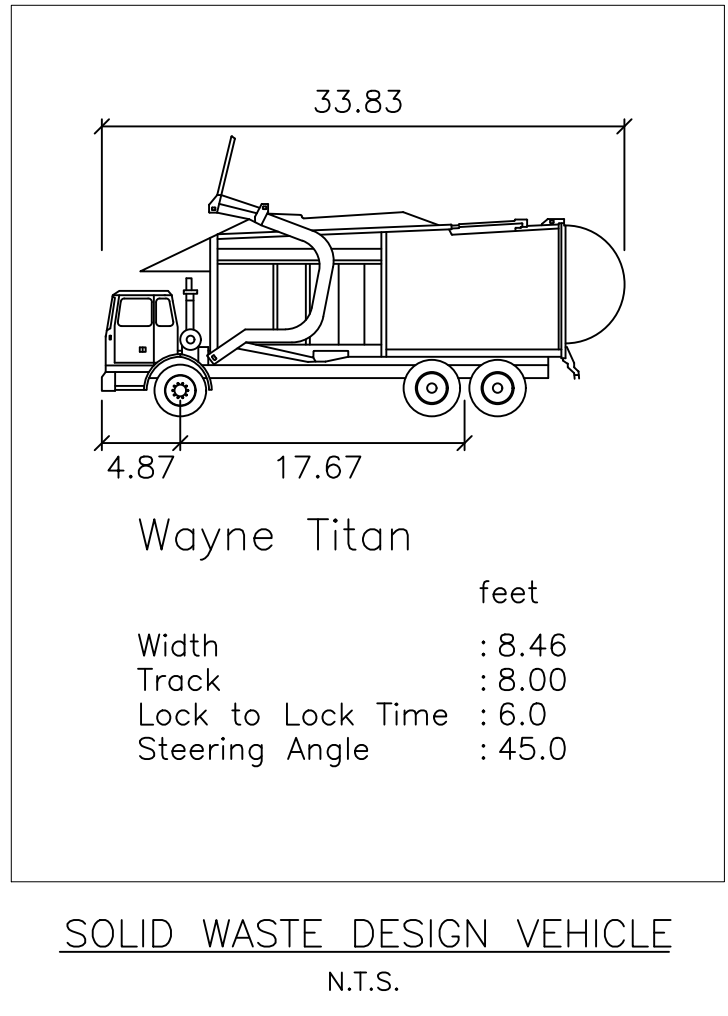
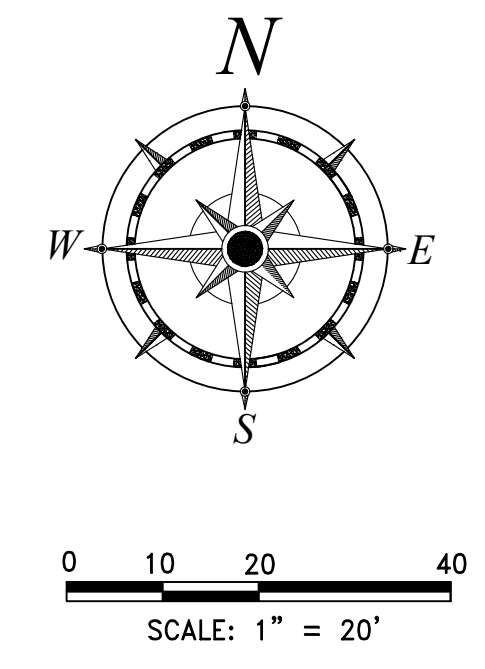
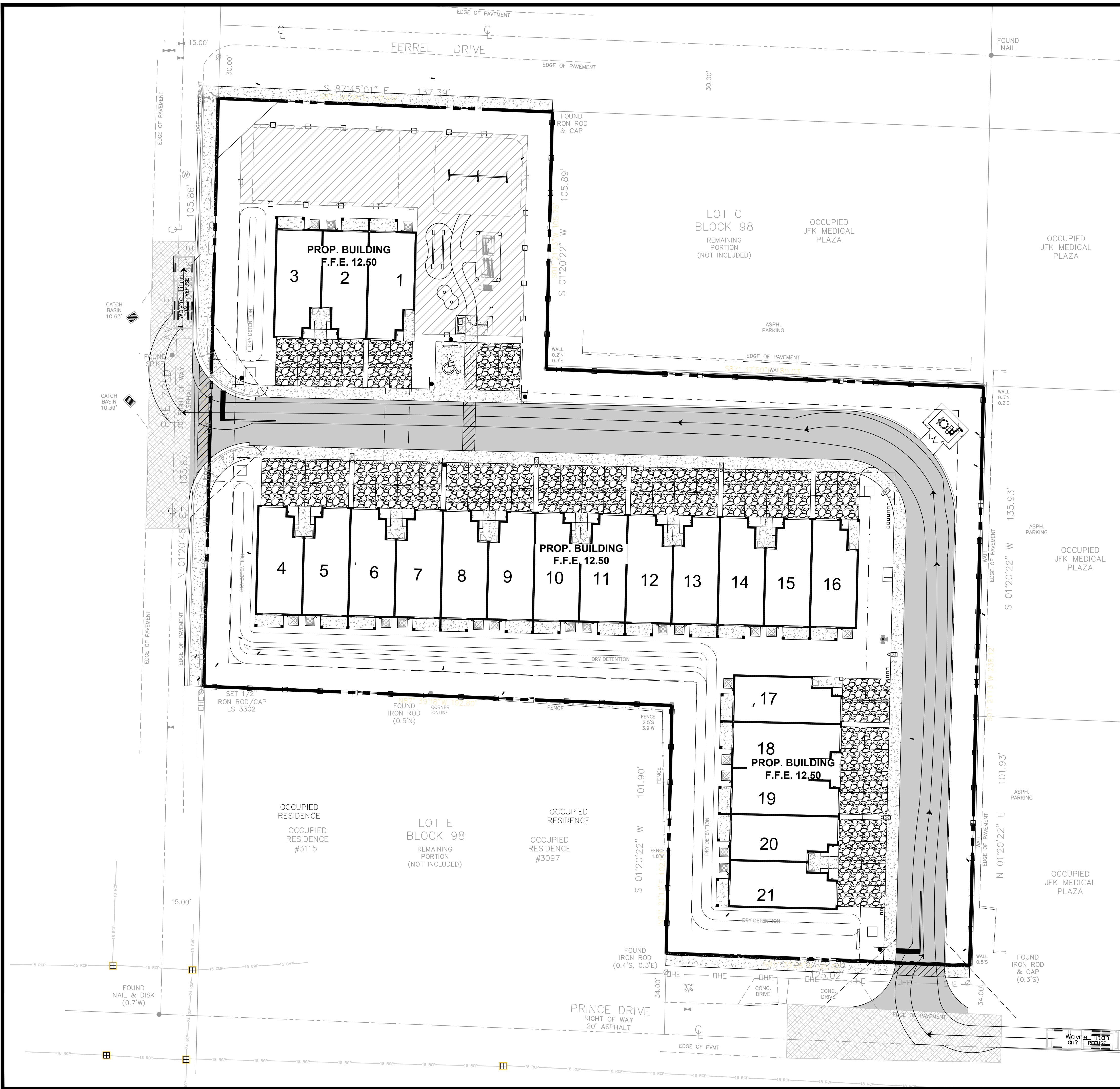
NO.	DATE	REVISIONS
2	6/20/21	REV PER NEW SP & VPS COMMENTS
1	6/1/21	REV PER NEW SP & VPS COMMENTS

PRELIMINARY ENGINEERING DETAILS
PRINCE PLACE
RESIDENTIAL SUBDIVISION
PALM SPRINGS, FLORIDA

SCALE: AS SHOWN
DATE: 4/22/2021

SHEET
C2.2
OF 19

ALL ELEVATIONS REFER TO NAVD 1988 DATUM.



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FIELD:
 DRAWN: P. Saffold
 DESIGNED: TMM
 APPROVED: TMM
 PROJECT #21-006
 TODD N. McLEOD, P.E.
 FL LICENSE NOT VALID FOR THE CA 605 30635
 THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND IS VALID FOR PRINTING IN THE USA
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND VALID UNLESS THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

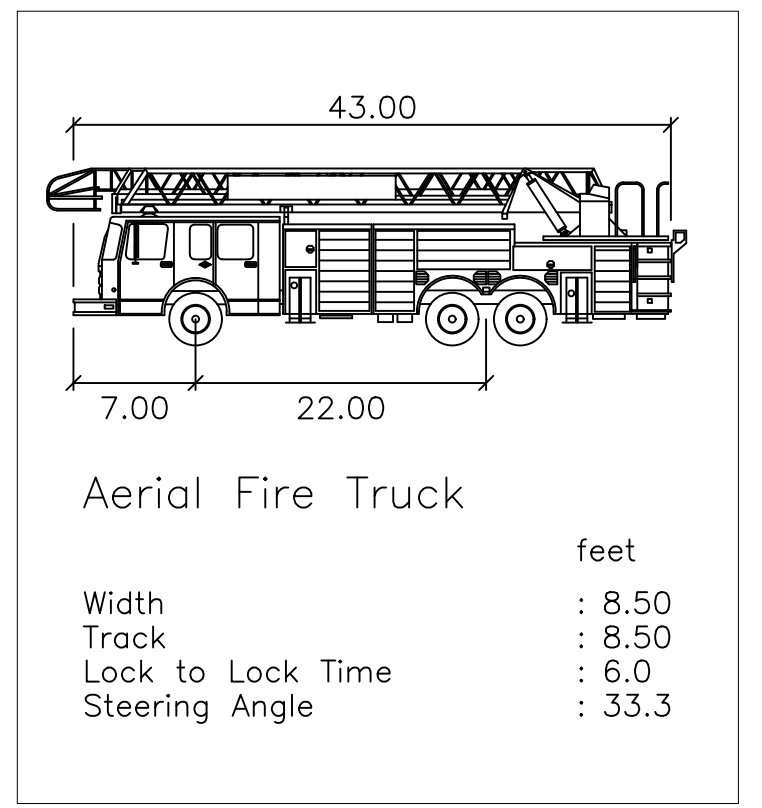
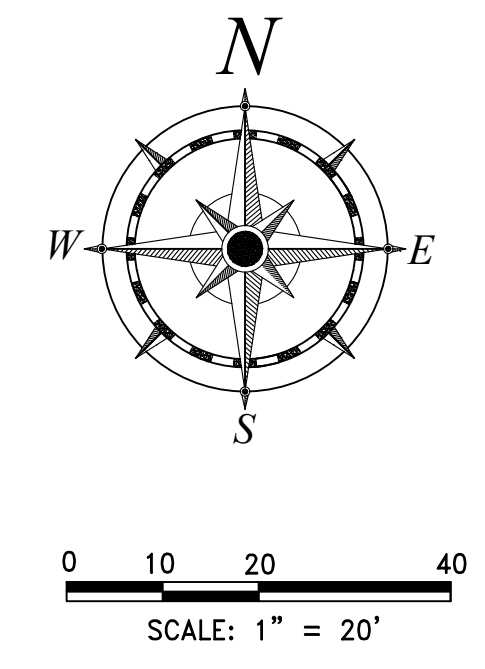
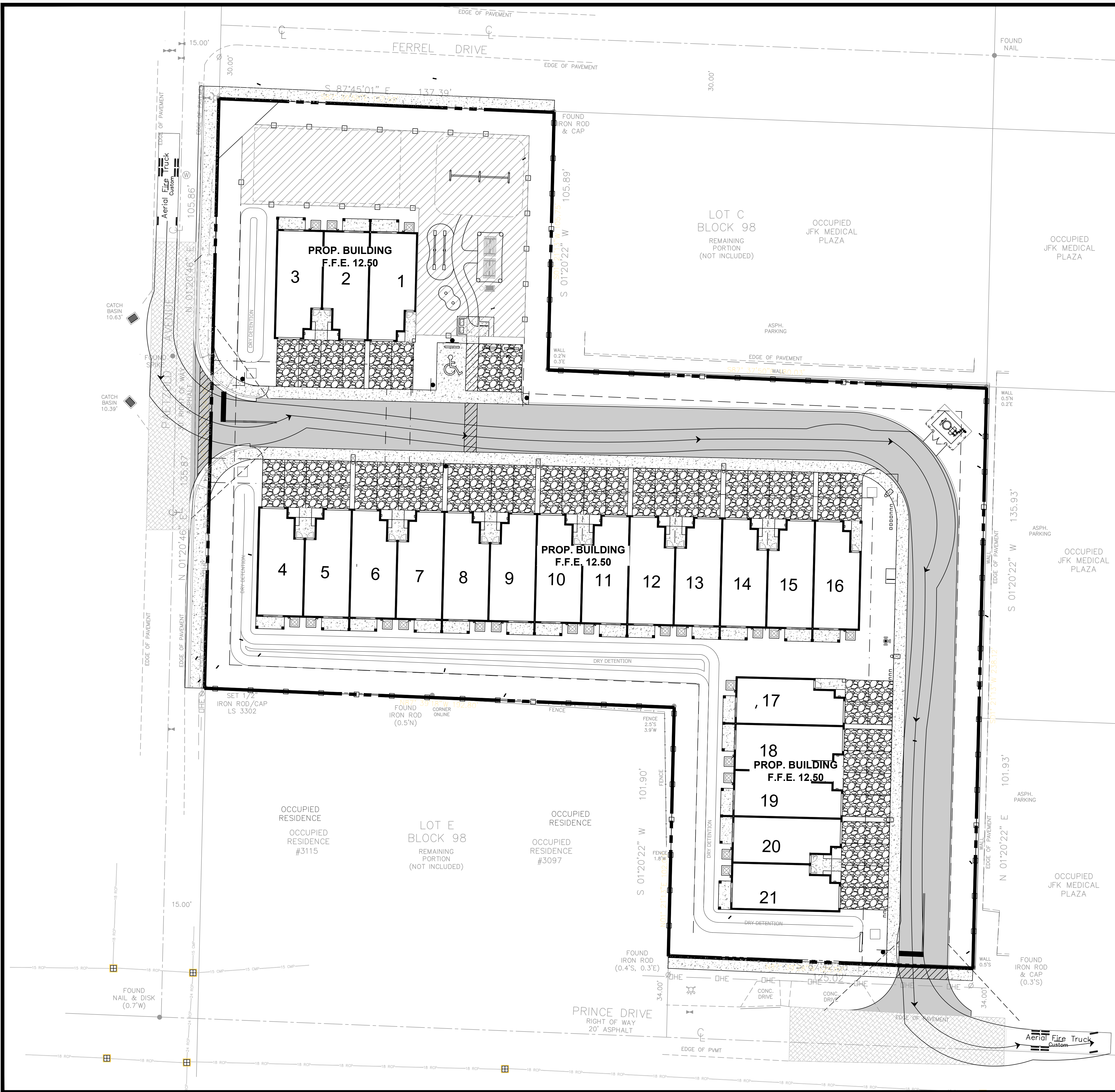
NO.	DATE	REVISIONS
1	6/1/21	REV PER NEW SP & VPS COMMENTS

**AUTOTURN EXHIBIT: SOLID WASTE
 PRINCE PLACE
 RESIDENTIAL SUBDIVISION
 PALM SPRINGS, FLORIDA**

SCALE: AS SHOWN
 DATE: 4/22/2021

SHEET
EX1
 OF 19

ALL ELEVATIONS REFER TO NAVD 1988 DATUM.



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FIELD: Scaffolding
DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #21-006
TODD N. McLEOD, P.E.
FL LICENSE NUMBER: 68121

NO.	DATE	REVISIONS
1	6/1/21	REV PER NEW SP & VPS COMMENTS

AUTOTURN EXHIBIT: FIRE RESCUE
PRINCE PLACE
RESIDENTIAL SUBDIVISION
PALM SPRINGS, FLORIDA

SCALE: AS SHOWN
DATE: 4/22/2021

SHEET
EX2
OF 19

ALL ELEVATIONS REFER TO NAVD 1988 DATUM.

ARIA-1 ARRAY LED Specifications



Project Name:
Prince Place

Catalog Number:

Type:

Contemporary design meets the new generation of LED green technology in this stunning luminaire, the **Aria Array**. The Aria Array series provides over fifty percent energy savings over traditional HID light sources, and offers excellent beam control and LED life beyond 100,000 hours. Aria Array is offered in ten optical distributions.

The Aria Array LED's fully-sealed housing features an exceptionally well-designed thermal management system that provides superior heat dissipation.

The popular **Aria Array** is the perfect complement to any university campus, business park, or walkway project where contemporary, architectural design is desired.

Ordering Information

MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
ARI-1	T3/T4	6L	3K	UNV				
ARI-1-L	T1 Type 1	6L	3K 3000K	UNV 120/277V	AM Arm Mount	GY Grey	PCR-120 PCR-208	RPP3 RPP4
	T2 Type 2	10L	4K 4000K	8 347V	PT Post Top	SL Silver Metallic	PCR-240 PCR-277	RPP5 For 3", 4", or 5" Pole
	T3 Type 3	15L	5K 5000K	5 480V	SLIP Slip over 3"OD tenon x 4" tall with special threaded mounting plate.	BK Black	PCR-347 PCR-480	RPP6 Round Pole Plate Adaptor
	T3L Type 3 Long	18L			Requires special tenon adaptor if poles are not color-matched. Requires special lighting poles.	SBK Smooth Black	PER SPINPER	ROT-R Rotated Optics Right Side
	T4 Type 4	25L				WH White	PR Photo Receptacle with/holding cap	ROT-L Rotated Optics Left Side
	T4A Type 4 Automotive				WM Wall Mount	SWH Smooth White	WSP-6 Motion Sensor 6" Mounting Height	CLS Clear Layer Shield
	T4L Type 4 Long				*Round Pole Plate Adaptor (RPP) are to be ordered separately.	BZ Bronze	WSP-8 Motion Sensor 8" Mounting Height	AWP Aria Wall Plate
	TSSR Type 5 Short Round					GP Graphite	WSP-20 Motion Sensor 20" Mounting Height	ACB Aria Conduit Box
	TSLR Type 5 Long Round					CC Custom Color	WSP-40 Motion Sensor 40" Mounting Height	DIM 0-10V Dimming Driver
	TSL5 Type 5 Long Square						WSP-40 Motion Sensor 40" Mounting Height	WVC Wireless Controls Consult Factory

VISIONAIRE LIGHTING

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Features & Specifications

ARIA-1 ARRAY

Housing

- Die cast aluminum fixture housing is 20" diameter with integral tool-less push latch sealing mechanism.
- Door Frame and Lens
- Die cast aluminum door frame incorporates two one-piece silicone channel gaskets to seal the housing and arm completely. Opening the hinged door frame allows for direct access to the driver. The door frame includes an aircraft cable support to hold it securely while servicing the fixture.

Thermal Management

- The Aria Array provides excellent overall thermal management by maximizing the efficiency of the heat sink in the fixture (see Interior View). This enables the Aria Array to withstand higher ambient temperatures and higher drive currents without degrading LED life.
- The L70 test determines the point in an LED Arrays life when it reaches 70 percent of its initial output. Aria Array series LEDs have been determined to last a minimum of 100,000 hours in 40° C environments when driven at 700 mA. See LED Data Chart below for actual test results.

Optical System

- The highest lumen output LEDs are utilized in the Aria series. IES Types I, II, III, IV, and V distributions are standard. The optical system qualifies as IES full cutoff to restrict light trespass, glare and light pollution.
- CRI values are 70.

New LED Array Technology

- 4 Diodes now replace a single LED chip and operate at 25% of the drive current allowing for higher efficiency, less heat and longer life. (10 Year Warranty)
- More LEDs at a lower drive current provides a more comfortable visual effect.

Quali-Guard® Finish

A Quali-Guard® thermoset polyester powder coat painted finish is available in 8 standard and custom colors.

Mounting

- Post Top Mount: The cast aluminum post top mount fixture houses the driver assembly. The contractor-friendly mounting hardware is concealed inside the post top fitter, which slips over a 3" O.D. x 4" tall tenon with a special threaded mounting plate, and is secured by a high-strength bolt.
- Arm Mount: The fixture mounts directly to the pole by means of three stainless steel mounting bolts attaching to an in-pole nut plate, to ensure level installation.
- A Round Pole Plate Adaptor (RPP-4/5) is required for mounting to 4" or 5" round poles.
- Cast wall mount plate predrilled for easy mounting

Electrical Assembly

- The Aria Array is supplied with a choice of 350, 530 and 700mA high-performance LED drivers that accept 120 V thru 480 V, 50 Hz to 60 Hz input.
- Power factor of 90%.
- Rated for -40° C operations.
- 10 kV surge protector supplied as standard.

Warranty

Ten (10) year Limited Warranty on electrical components, Five (5) year on finish. For full warranty information, please visit www.visionairelighting.com

Options

- Photocell & receptacle
 - Photo receptacle
 - Round pole plate adaptor
 - Button type photocell
 - Cut-Off/Louver Shield
 - Aria wall plate
 - Aria conduit box
 - 0-10 V dimming driver
- Please consult factory for custom options.

Lists

- Aria Array is cUL listed, suitable for wet locations.
- LM79
- LM80
- IP65
- RoHS compliant.
- Powder Coated Tough™.



DesignLights Consortium (DLC) qualified Product. Some configurations of this product family may not be DesignLights Consortium (DLC) listed, please refer to the DLC qualified products list to confirm listed configurations. <http://www.designlights.org>

19846 Rancho Way • Rancho Dominguez, CA 90220 • Phone: 310 512 6480 Fax: 310 512 6486
www.visionairelighting.com

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ELECTRICAL SPECIFICATIONS

PART 1 – GENERAL

- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL NEW ELECTRICAL WORK INDICATED. CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS AND APPLICABLE SPECIFICATIONS. IF A PROBLEM IS ENCOUNTERED IN COMPLIANCE WITH THIS REQUIREMENT, CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS SOON AS POSSIBLE AFTER DISCOVERY OF THE PROBLEM AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL ARCHITECT/ENGINEER HAS DIRECTED CORRECTIVE ACTION TO BE TAKEN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BID AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATIONS INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION) AND ALL CODES AND ORDINANCES OF THE AUTHORITY HAVING JURISDICTION. THE SPECIFICATION, CODES AND STANDARDS LISTED BELOW ARE UTILIZED IN THIS PROJECT.
 - NATIONAL ELECTRICAL CODE (NFPA-70)
 - CODE FOR SAFETY TO LIFE (NFPA_101)
 - STANDARD FOR THE INSTALLATION, MAINTENANCE AND USE OF LOCAL PROTECTIVE SIGNALING SYSTEMS (NFPA-72)
 - UNDERWRITERS' LABORATORIES (UL)
 - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
 - AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
 - FEDERAL SPECIFICATION (FED. SPEC.)
 - INSULATED POWER CABLE ENGINEERS ASSOCIATION (IPCEA)
 - FLORIDA BUILDING CODE. FBC 2014 EDITION
 - INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
 - CITY OF PALM SPRINGS BUILDING CODE. (AMENDMENTS TO FLORIDA BUILDING CODE FBC 2014)
 - ADDITIONALLY, DESIGNS, WORK PRACTICES AND CONDITIONS MUST CONFORM WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (OSHA)
- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNER'S REPRESENTATIVE.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FROM A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THERE BY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR TO OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO BEGINNING WORK OR ORDERING EQUIPMENT. THE TERM "PROVIDE" USED IN THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL MEAN THAT THE CONTRACTOR IS TO FURNISH, INSTALL AND CONNECT COMPLETE.

PART 2 – PRODUCTS

- MINIMUM WIRE SIZE SHALL BE #12 A.W.G. (EXCEPT AS NOTED OTHERWISE FOR CONTROL WIRING). ALL CONDUCTORS SHALL BE 98% CONDUCTIVITY, COPPER WITH "THHN–THWN" INSULATION UNLESS OTHERWISE NOTED.
- ELECTRICAL METALLIC TUBING (EMT) SHALL BE OF BEST QUALITY STEEL, SMOOTH INSIDE AND OUT AND SHALL BE HOT-DIPPED GALVANIZED.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- RIGID NONMETALLIC CONDUIT SHALL BE SCHEDULE 40 PVC.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- PANELBOARDS:
 - CURRENT CARRYING BUSES SHALL BE COPPER. GROUND BUS BARS SHALL BE COPPER.
 - ALL CIRCUIT BREAKERS SHALL BE BOLT ON, PLUG-IN BREAKERS ARE NOT ACCEPTABLE.
 - CIRCUIT BREAKERS USED AS SWITCHES IN FLUORESCENT OR HID LIGHTING CIRCUITS SHALL BE LISTED AND MARKED "SWD"
 - ALL CIRCUIT BREAKERS FEEDING MECHANICAL EQUIPMENT SHALL BE HACR TYPE.
 - A.L.C. RATINGS SHALL BE AS INDICATED ON PANELBOARD SCHEDULES.
 - ALL PANELBOARDS SHALL BE FURNISHED WITH PLASTIC LAMINATE NAMEPLATES WITH 1/4" ENGRAVED LETTERING FOR PANEL IDENTIFICATION.
 - ALL PANELBOARDS SHALL BE PROVIDED WITH TYPE-WRITTEN DIRECTORY OF BRANCH CIRCUIT DESIGNATIONS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK. ENCLOSURES SHALL BE NEMA-1 FOR INDOOR LOCATIONS, NEMA 3R FOR OUTDOOR LOCATIONS OR AS OTHERWISE NOTED.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC AS INDICATED ON THE ELECTRICAL DRAWINGS, WITH OVERLOAD RELAYS IN EACH PHASE. WIRING DEVICES (GENERAL PURPOSE RECEPTACLES AND WALL SWITCHES) COLOR SHALL BE COORDINATED WITH CLIENT.

PART 3 – EXECUTION

- COLOR CODING OF CONDUCTORS SHALL BE AS FOLLOWS:
 - 208/120 VOLTS, 3 PHASE, 4-WIRE SYSTEM; UNGROUNDED CONDUCTORS: 1 BLACK, 1 RED AND 1 BLUE, GROUNDED (NEUTRAL) CONDUCTOR; WHITE. GROUNDING CONDUCTORS SHALL BE GREEN.
 - 480/277 VOLT, 3-PHASE, 4-WIRE SYSTEM; UNGROUNDED CONDUCTORS: 1 BROWN, 1 YELLOW, AND 1 PURPLE. GROUNDED (NEUTRAL) CONDUCTORS; GREY. GROUNDING CONDUCTORS SHALL BE GREEN.
 - BRANCH CIRCUIT WIRING (#6 AND SMALLER) SHALL BE COLOR CODED BY CONTINUOUS INSULATION COLOR AND FEEDERS AND SERVICES (#4 AND LARGER) SHALL BE CODED AT ALL JUNCTION OR PULL POINTS (EXCEPT LB'S OR LBD'S) USING COLOR MARKERS OR PLASTIC TAPE MANUFACTURED FOR THE PURPOSE.
- WIRING METHODS
 - ALL CONDUCTORS SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING (EMT) UNLESS OTHERWISE NOTED, SPECIFIED OR AS SPECIFICALLY PROHIBITED BY THE AUTHORITY HAVING JURISDICTION. ALL FITTINGS AND COUPLINGS FOR EMT CONDUIT SHALL BE ALL STEEL. RAIN TIGHT COMPRESSION TYPE OR ALL STEEL CONCRETE TIGHT SET SCREW TYPE.
 - SCHEDULE 40 PVC CONDUIT, WITH FITTINGS AND COUPLINGS APPROPRIATE FOR THE USE, SHALL BE INSTALLED UNDERGROUND OR BELOW SLABS ON GRADE.
 - TYPE MC CABLE WITH ALUMINUM ARMOR AND INTERNAL GROUND IS ACCEPTABLE FOR USE AS GENERAL BRANCH CIRCUIT WIRING FOR CIRCUITS 20 AMPERES OR LESS AND CONCEALED IN WALLS OR ABOVE SUSPENDED CEILING AND AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C. AND LOCAL CODES.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES, AND SHALL BE FULLY COORDINATED WITH THEM PRIOR TO COMMENCEMENT OF WORK.
- PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES, AND WIRING DEVICES FOR ALL OUTLETS AS INDICATED.
- MATERIALS, PRODUCTS, AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SUCH AS APPEAR ON THE UL LIST OF APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF NEC, NEMA, AND IEC.
- CONTRACTOR SHALL SUBMIT AT LEAST FIVE (5) SETS OF SHOP DRAWINGS OR CUT SHEETS OF LIGHTING FIXTURES, SWITCHES, AND OTHER ELECTRICAL ITEMS FOR APPROVAL BY ENGINEER/ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED OF HIS WORK.
- ALL LAY-IN LIGHTING FIXTURES SHALL BE SECURED TO THE SUSPENDED CEILING GRID AT EACH CORNER. CONTRACTOR SHALL COORDINATE WITH MECHANICAL DRAWINGS AND PROVIDE ALL NECESSARY CONTROL WIRING.
- ALL ELECTRICAL POWER WIRING FOR THE HVAC SYSTEM INCLUDING WIRING THRU LINE VOLTAGE CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- THE CONTRACTOR SHALL CONFIRM WITH THE ELECTRICAL UTILITY COMPANY ANY AND ALL REQUIREMENTS SUCH AS: METERING EQUIPMENT REQUIREMENTS AND METERING EQUIPMENT LOCATION, TRANSFORMER SIZE AND LOCATION OR SERVICE POINT, CONDUIT ENTRY AND LUG SIZE RESTRICTIONS. THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED DOWN TIME FOR THE OWNER'S CONFIRMATION. ANY CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.
- PER NEC 210.8(B)(2) ALL 15- AND 20- AMPERE, 125-VOLT RECEPTACLES IN NONDWELLING-TYPE KITCHENS TO BE GFCI PROTECTED.
- BRANCH CIRCUIT CONDUCTORS SHALL BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 3% DESIGN LOAD. FBC 2014 FBC ENERGY CONSERVATION SECTION 405.7.3.
- FEEDER CONDUCTORS SHALL BE SIZED FOR A MAXIMUM OF 2% VOLTAGE DROP PER 405.7.3.

ELECTRICAL SHEET INDEX

E0.1	ELECTRICAL NOTES, LEGEND & INDEX
E1.1	SITE PHOTOMETRIC PLAN

ARIA-1 ARRAY LED Specifications

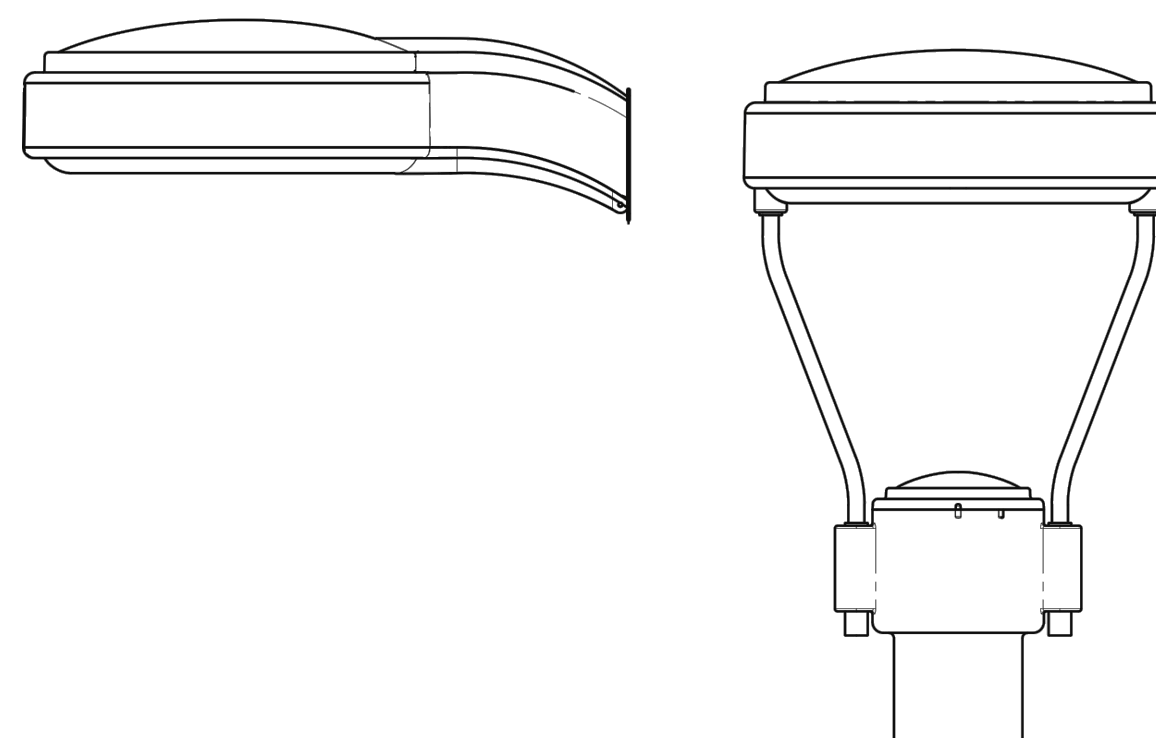
Photometric Optical Summary

	T1	T2	T3	T3L	T4	T4L	T4A	TSSR	TSLR	TSL5																																	
	Type 1	Type 2	Type 3	Type 3 Long	Type 4	Type 4 Long	Type 4 Automotive	Type 5 Short Round	Type 5 Long Round	Type 5 Long Square																																	
EPA Data	<table border="1"> <thead> <tr> <th>Fixture with Arm</th> <th colspan="2">•</th> <th colspan="2">••</th> <th colspan="2">•••</th> <th colspan="2">••••</th> <th colspan="2">•••••</th> </tr> <tr> <th>ARI-1-L (AM)</th> <td>1.2</td> <td>2.2</td> <td>2.5</td> <td>2.7</td> <td>2.8</td> <td>2.7</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <th>ARI-1-L (PT)</th> <td>1.8</td> <td>3.6</td> <td>3.6</td> <td>5.3</td> <td>5.3</td> <td>5.3</td> <td></td> <td></td> <td></td> <td></td> </tr> </thead> </table>										Fixture with Arm	•		••		•••		••••		•••••		ARI-1-L (AM)	1.2	2.2	2.5	2.7	2.8	2.7					ARI-1-L (PT)	1.8	3.6	3.6	5.3	5.3	5.3				
Fixture with Arm	•		••		•••		••••		•••••																																		
ARI-1-L (AM)	1.2	2.2	2.5	2.7	2.8	2.7																																					
ARI-1-L (PT)	1.8	3.6	3.6	5.3	5.3	5.3																																					

Dimensions AM

Width:	ARI-1 20"	Width:	ARI-1 20"
Height:	ARI-1 7.25"	Height:	ARI-1 29.75"
Depth:	ARI-1 28.25"	Weight:	41.5 LBS
Weight:	41 LBS		

Dimensions PT



VISIONAIRE LIGHTING

314

date	08-27-21
revision	
CITY COMMENTS	06-30-21
CITY COMMENTS	06-30-21
CITY COMMENTS	06-04-21

1408 Orange Avenue
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Certification of Authorization #064621
06/04/21

KAMM
Consulting

FRANCIS
Francis L. Brown
Florida License #FRST

project title: PRINCE PLACE TOWNHOMES
3075 PRINCE DR. PALM SPRINGS, FLORIDA

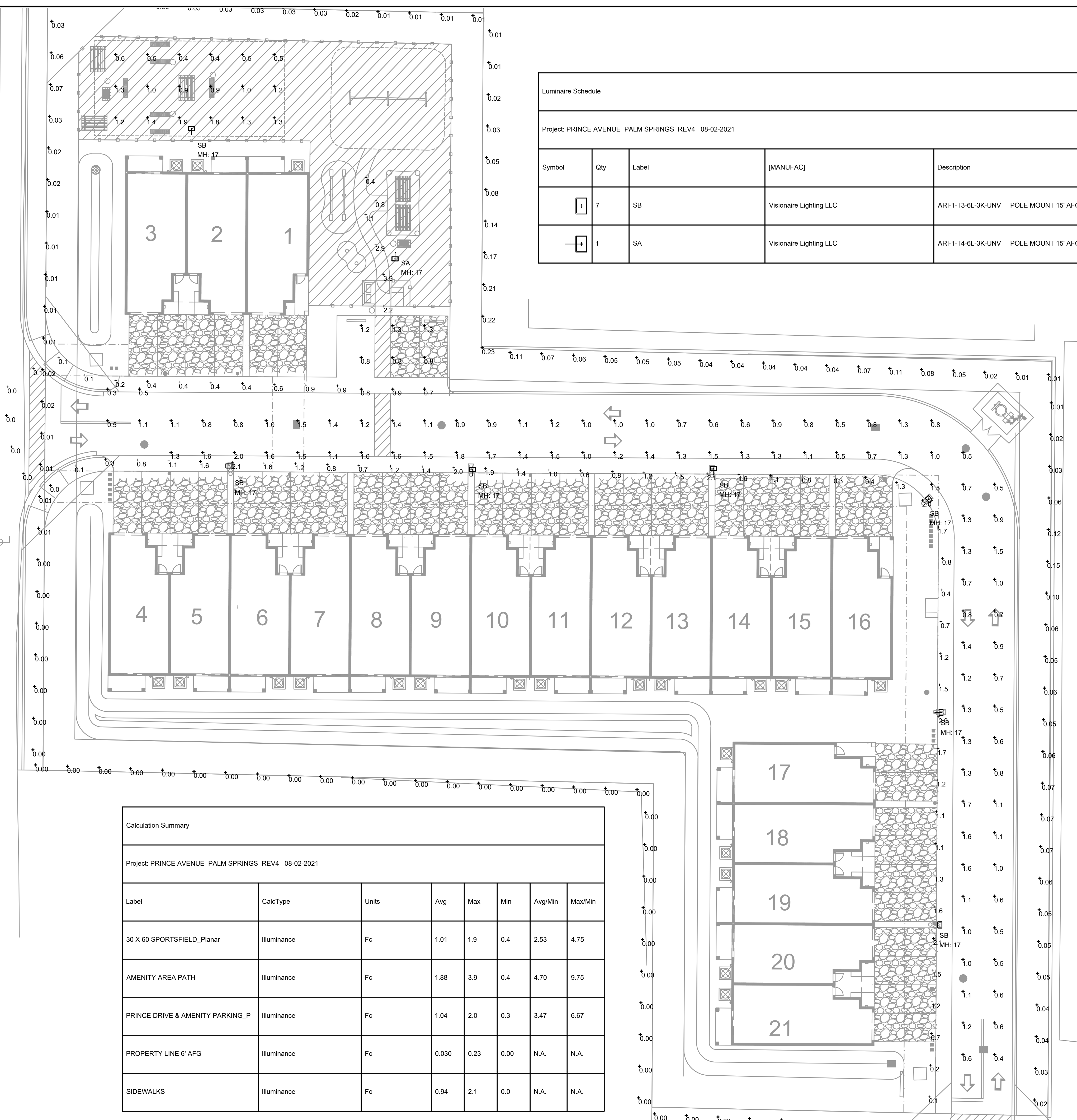
sheet title: ELECTRICAL NOTES

project no.:	2021-0164
project manager:	JM
checked by:	BB
scale:	AS NOTED
date:	08-04-21

sheet	E0.1
project	

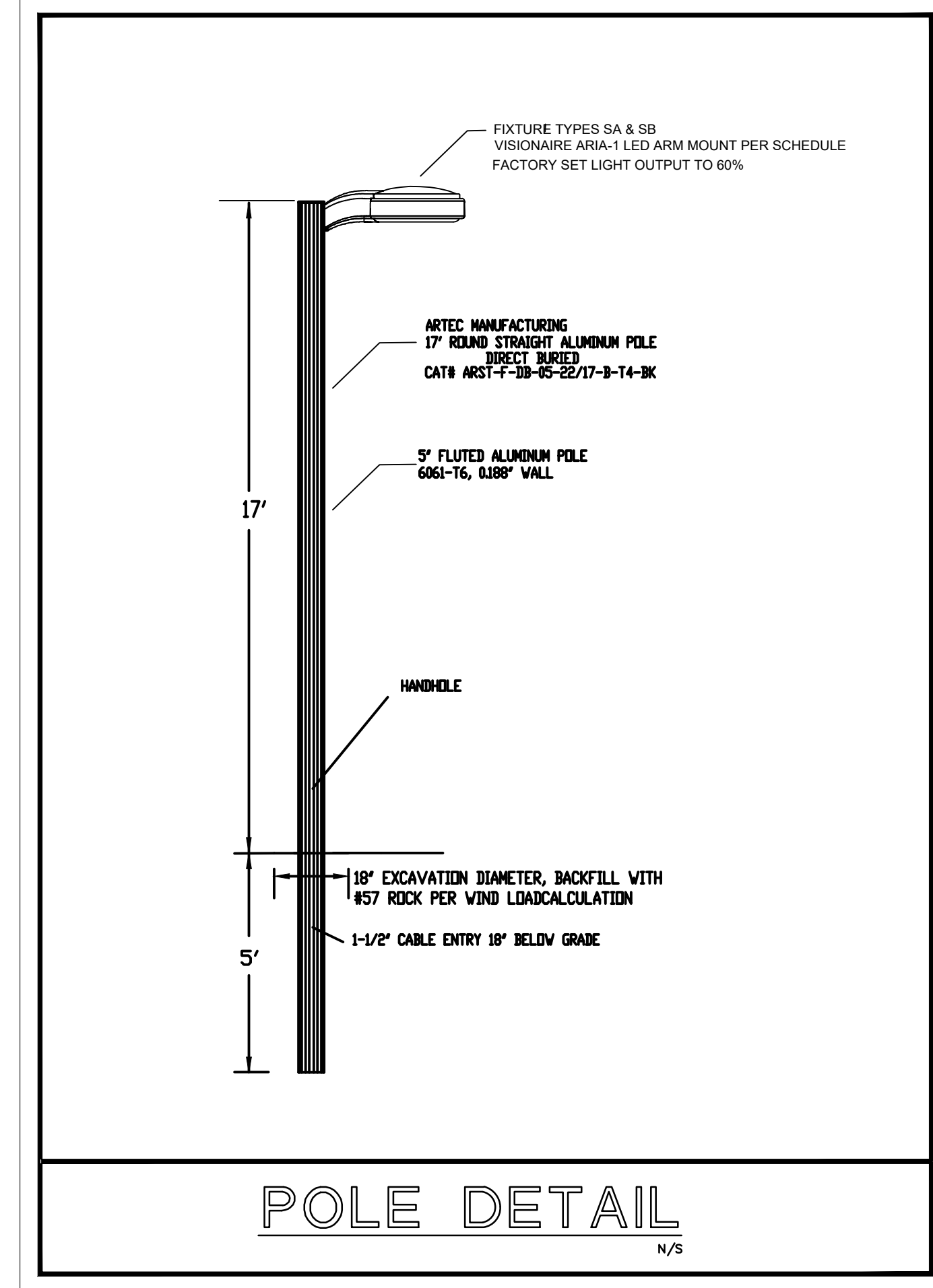
ISSUED FOR PERMIT

04-22-21



Luminaire Schedule								
Project: PRINCE AVENUE PALM SPRINGS REV4 08-02-2021								
Symbol	Qty	Label	[MANUFAC]	Description	Arr. Lum. Lumens	LLF	Lum. Watts	Total Watts
	7	SB	Visionaire Lighting LLC	ARI-1-T3-6L-3K-UNV POLE MOUNT 15' AFG, 60% OUTPUT	6188	0.570	50	350
	1	SA	Visionaire Lighting LLC	ARI-1-T4-6L-3K-UNV POLE MOUNT 15' AFG, 60% OUTPUT	6145	0.900	50	50

GENERAL NOTE
 AUTOMATIC TIMING DEVICES WITH A PHOTODIODE OR AN ASTRONOMICAL TIMELOCK, WHICH CONTROL THE HOURS OF ILLUMINATION SHALL BE REQUIRED FOR ALL PARKING LOTS, CAR DEALERSHIPS/OUTDOOR DISPLAY LOTS AND PARKING GARAGES. THESE DEVICES MAY REMAIN ON EASTERN STANDARD TIME THROUGHOUT THE YEAR.



Calculation Summary							
Project: PRINCE AVENUE PALM SPRINGS REV4 08-02-2021							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
30 X 60 SPORTSFIELD_Planar	Illuminance	Fc	1.01	1.9	0.4	2.53	4.75
AMENITY AREA PATH	Illuminance	Fc	1.88	3.9	0.4	4.70	9.75
PRINCE DRIVE & AMENITY PARKING_P	Illuminance	Fc	1.04	2.0	0.3	3.47	6.67
PROPERTY LINE 6' AFG	Illuminance	Fc	0.030	0.23	0.00	N.A.	N.A.
SIDEWALKS	Illuminance	Fc	0.94	2.1	0.0	N.A.	N.A.

LIGHTING PLAN
 1/16"=1'-0" NORTH

ISSUED FOR PERMIT 04-22-21

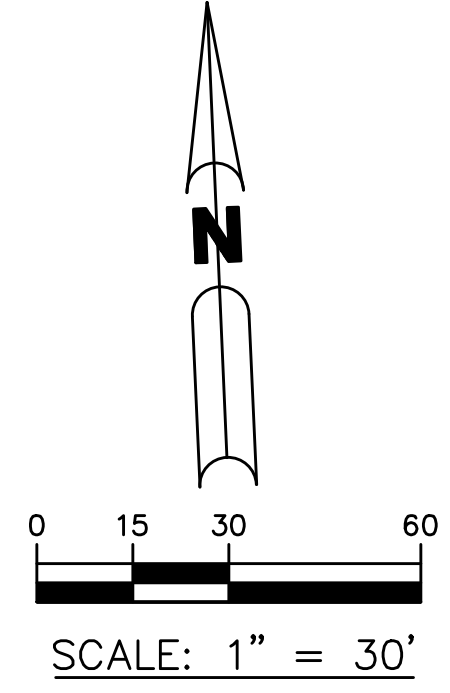
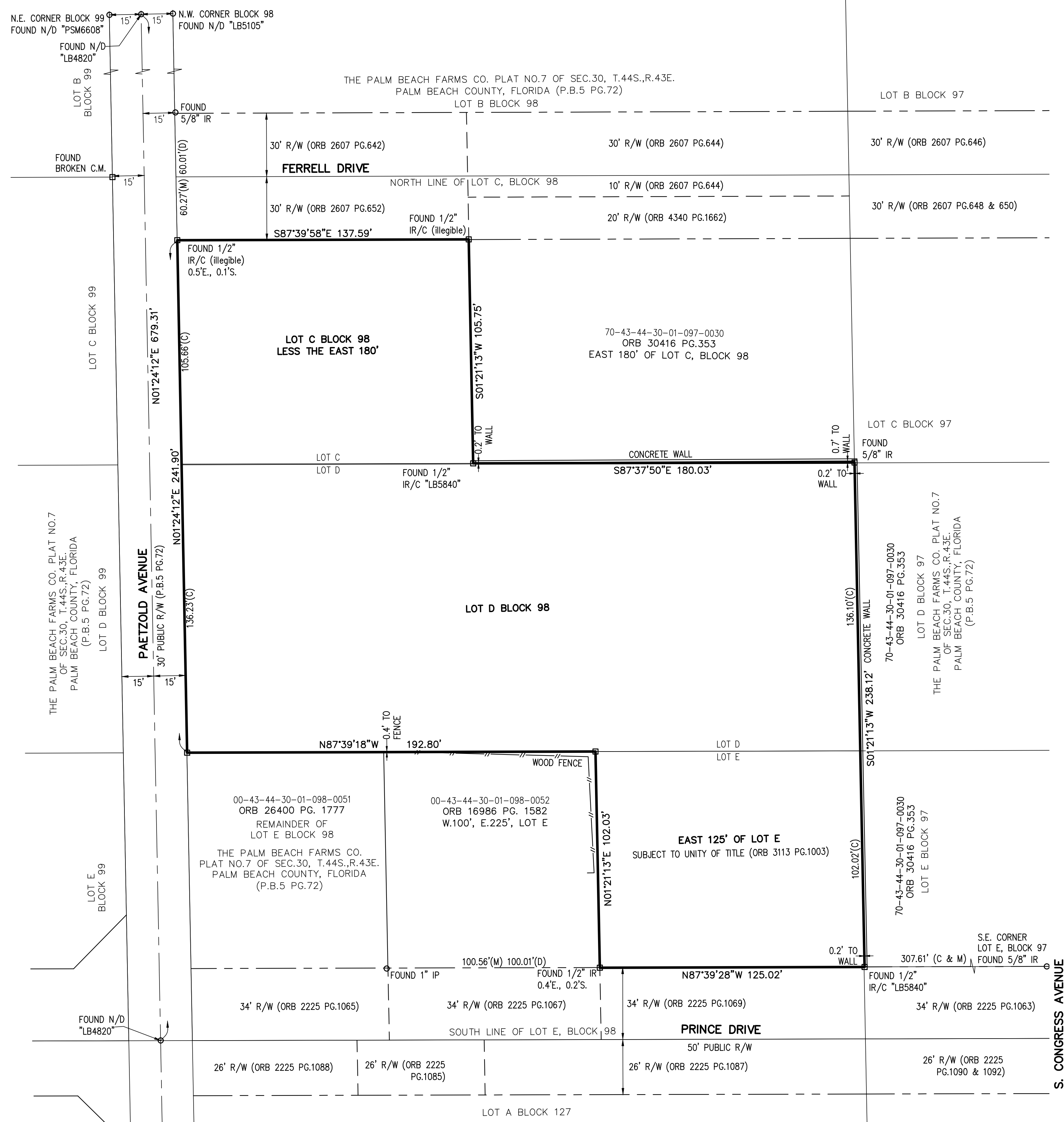
revision	date
CITY COMMENTS	08-27-21
CITY COMMENTS	06-30-21
CITY COMMENTS	08-04-21

KAMM Consulting
 Florida License #FB037
 1408 Orange Avenue
 Suite 34050
 Palm Springs, FL 33480
 Phone: 561-448-0792
 Fax: 561-448-0792
 Email: info@kammconsulting.com
 JMA P.E. (kammconsulting.com) #189
 Certification of Authorization #080421
 date: 08-04-21
 signed: _____

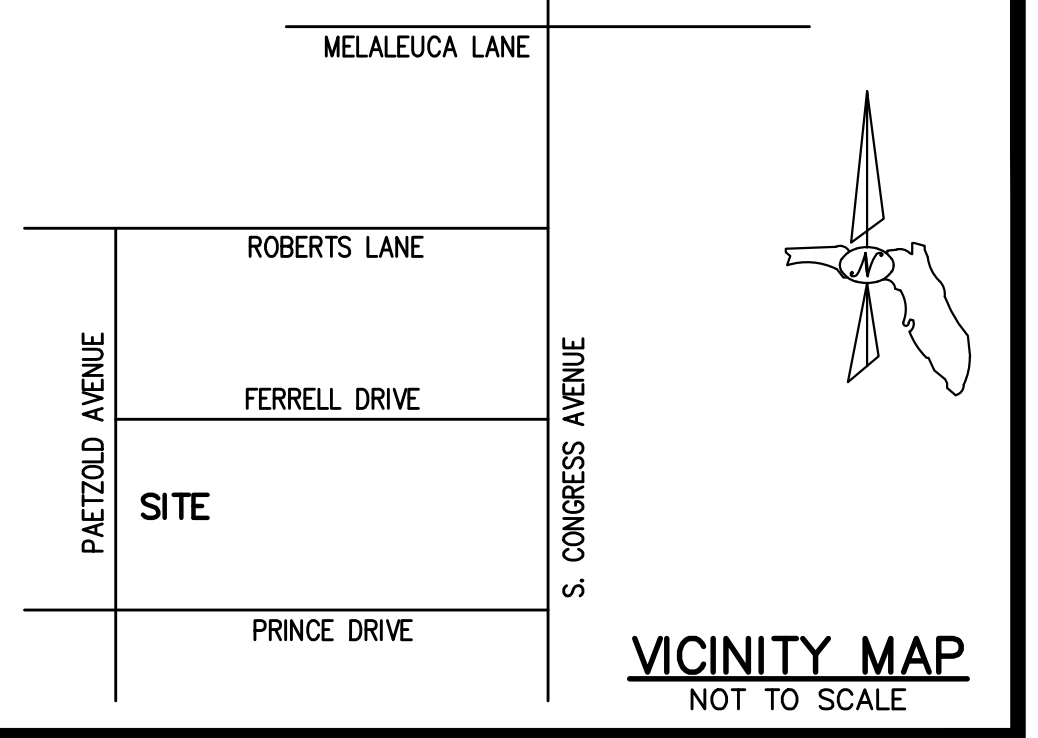
project title: **PRINCE PLACE TOWNHOMES**
 3075 PRINCE DR. PALM SPRINGS, FLORIDA
 sheet title: **SITE PHOTOMETRIC PLAN**

proj. no.: 2021-0164
 project manager: JM
 checked by: BB
 scale: AS NOTED
 date: 08-04-21

sheet
E1.1
 project



ABBREVIATIONS:
 P.B. - PLAT BOOK
 ORB - OFFICIAL RECORD BOOK
 D.B. - DEED BOOK
 PG. - PAGE
 R/W - RIGHT-OF-WAY
 U.E. - UTILITY EASEMENT
 D.E. - DRAINAGE EASEMENT
 (P) - PLAT DIMENSION
 (D) - DEED DIMENSION
 (M) - MEASURED DIMENSION
 C - CENTERLINE
 IR - IRON ROD
 IR/C - IRON ROD WITH CAP AS NOTED
 C.M. - 4"x4" CONCRETE MONUMENT
 N/D - NAIL & DISK
 PRM - 4"x4" CONCRETE MONUMENT WITH DISK STAMPED "PRM LB6473"
 NAD - NORTH AMERICAN DATUM
 LB - LICENSED BUSINESS



LEGAL DESCRIPTION - (ORB 8987 PAGE 1871)

1. LOT D, BLOCK 98, THE PALM BEACH FARMS CO. PLAT NO. 7 OF SECTION 30, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, RECORDED IN PLAT BOOK 5, PAGE 72.
2. LOT C, LESS THE EAST 180 FEET THEREOF, BLOCK 98, THE PALM BEACH FARMS COMPANY PLAT NO. 7, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, RECORDED IN PLAT BOOK 5, PAGE 72, LESS A STRIP OF LAND FOR ROAD RIGHT OF WAY PURPOSES AS LAID OUT AND IN USE KNOWN AS FERRELL DRIVE, AS LOCATED IN PALM BEACH FARMS COMPANY PLAT NO. 7 OF SECTION 30, TOWNSHIP 44 SOUTH, RANGE 43 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 THE NORTH 30 FEET OF LOT C, LESS THE EAST 180 FEET THEREOF, BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7.
3. THE EAST 125 FEET OF LOT "E", BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 72, LESS THE SOUTH 34 FEET THEREOF AS GRANTED IN OFFICIAL RECORD BOOK 2225, PAGE 1069, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEY REPORT:

1. THIS IS A BOUNDARY SURVEY, PREPARED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17.051 THROUGH 5J-17.053, FLORIDA ADMINISTRATIVE CODE.
 THE FIELD WORK WAS COMPLETED ON MAY 19, 2021.
2. THE SURVEY WAS BASED ON THE PALM BEACH FARMS CO. PLAT NO.7 OF SEC.30, T.44S., R.43E., PLAT BOOK 5, PAGE 72.
3. BEARINGS ARE BASED ON N01°24'12"E (ASSUMED) ALONG THE CENTERLINE OF PAETZOLD AVENUE.
4. THE LEGAL DESCRIPTION IS RECORDED IN OFFICIAL RECORD BOOK 8987, PAGE 1871.
5. AREA = 70,562 SQUARE FEET (1.620 ACRES), MORE OR LESS.
6. EASEMENTS, RESTRICTIONS, AND OTHER ITEMS OF RECORD SHOWN ARE PER SCHEDULE B-II, OF AN AMERICAN LAND TITLE ASSOCIATION COMMITMENT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER: 1006373, DATED MARCH 2, 2021.
 NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY BROWN & PHILLIPS, INC.
 THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY.
7. ALL DISTANCES ARE MEASURED UNLESS NOTED OTHERWISE.
8. ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED AN ACCURACY OF 1:7,500.
9. THE EXPECTED HORIZONTAL AND VERTICAL ACCURACY OF ITEMS SHOWN ON THIS SURVEY ARE AS FOLLOWS:
 1) BOUNDARY LINES - 0.10'
 2) TOPOGRAPHIC FEATURES - 0.20'
10. THE SUBJECT PROPERTY WAS VACANT AS OF THE DATE OF SURVEY.
11. AT THE REQUEST OF THE CLIENT, NO TOPOGRAPHIC INFORMATION WAS OBTAINED, EXCEPT AS SHOWN. NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS WERE LOCATED.
12. THE CONTRACTED PURPOSE OF THIS SURVEY IS TO SATISFY THE SURVEY REQUIREMENT FOR THE PREPARATION OF A RECORD PLAT.
 THIS SURVEY IS NOT VALID FOR ANY OTHER USE.
13. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
14. THIS SURVEY WAS PREPARED FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE:
 -PRINCETON COURT LLC
 -OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
15. THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30', ON A 24"x 36" SHEET.
16. FLOOD ZONE INFORMATION OBTAINED FROM PALM BEACH COUNTY WEBSITE:
<http://maps.co.palm-beach.fl.us/cwgis/?app=floodzones>;
 CURRENT FLOOD ZONE: AE
17. © COPYRIGHT 2021 BY BROWN & PHILLIPS, INC.
 REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND STAMP, OR A DIGITALLY VERIFIED ELECTRONIC SIGNATURE AND SEAL, OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY BROWN & PHILLIPS, INC.

BROWN & PHILLIPS, INC.
 PROFESSIONAL SURVEYING SERVICES
 CERTIFICATE OF AUTHORIZATION # LB 6473
 1860 OLD OKEECHOBEE ROAD, SUITE 509, WEST PALM BEACH, FLORIDA 33409 561-615-3988

DATE	REVISIONS	#

SKETCH OF
 BOUNDARY SURVEY

THE PRINCE
 PLACE PROJECT

DRAWN: MB
 CHECKED: JEP
 F.B. PALM SPRINGS
 PAGES: 43

PROJ. No.21-048
 SCALE: 1"=30'
 DATE: MAY 2021
 SHEET 1 OF 1

JOHN E. PHILLIPS III
 PROFESSIONAL LAND SURVEYOR
 STATE OF FLORIDA No. 4826
 DATE: _____

SEAL

KIMBERLY A. DELLASTATIOUS
 REGISTERED FLORIDA ARCHITECT
 A00011556

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE
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 ARCHITECT OF RECORD. COPYRIGHT - 2021
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PRESENTATION PLANS

Prince Place
 307 Prince Drive
 Palm Springs, FL 33461

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

- 1 POSITION NORTH ARROW LABEL TOWNHOUSE UNIT 06.30.21
- 2 POSITION DRAWING TO SHOW NORTH ARROW UP 07.28.21

DRAWN KD

CHECKED KD

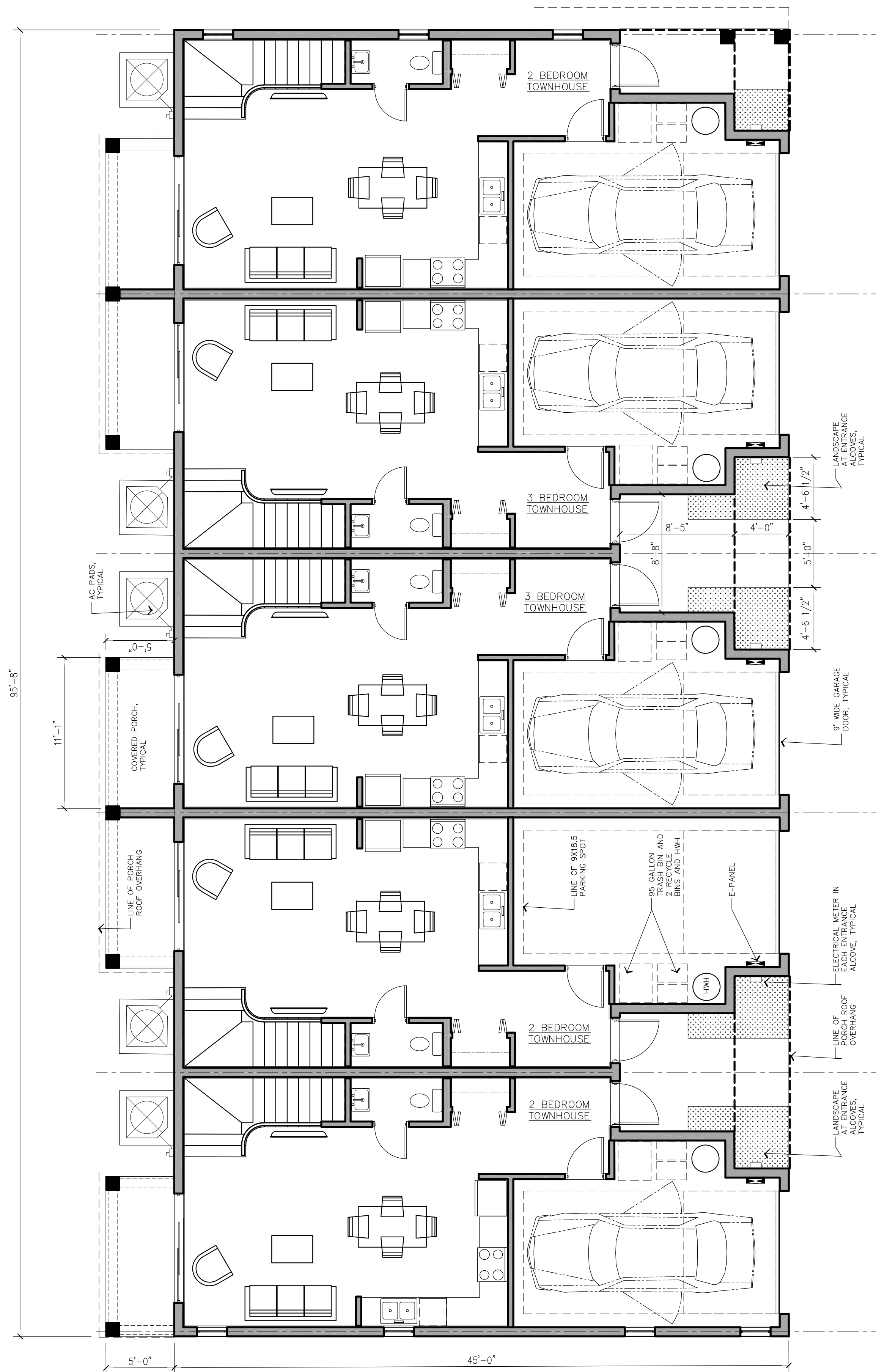
DATE 06.01.2021

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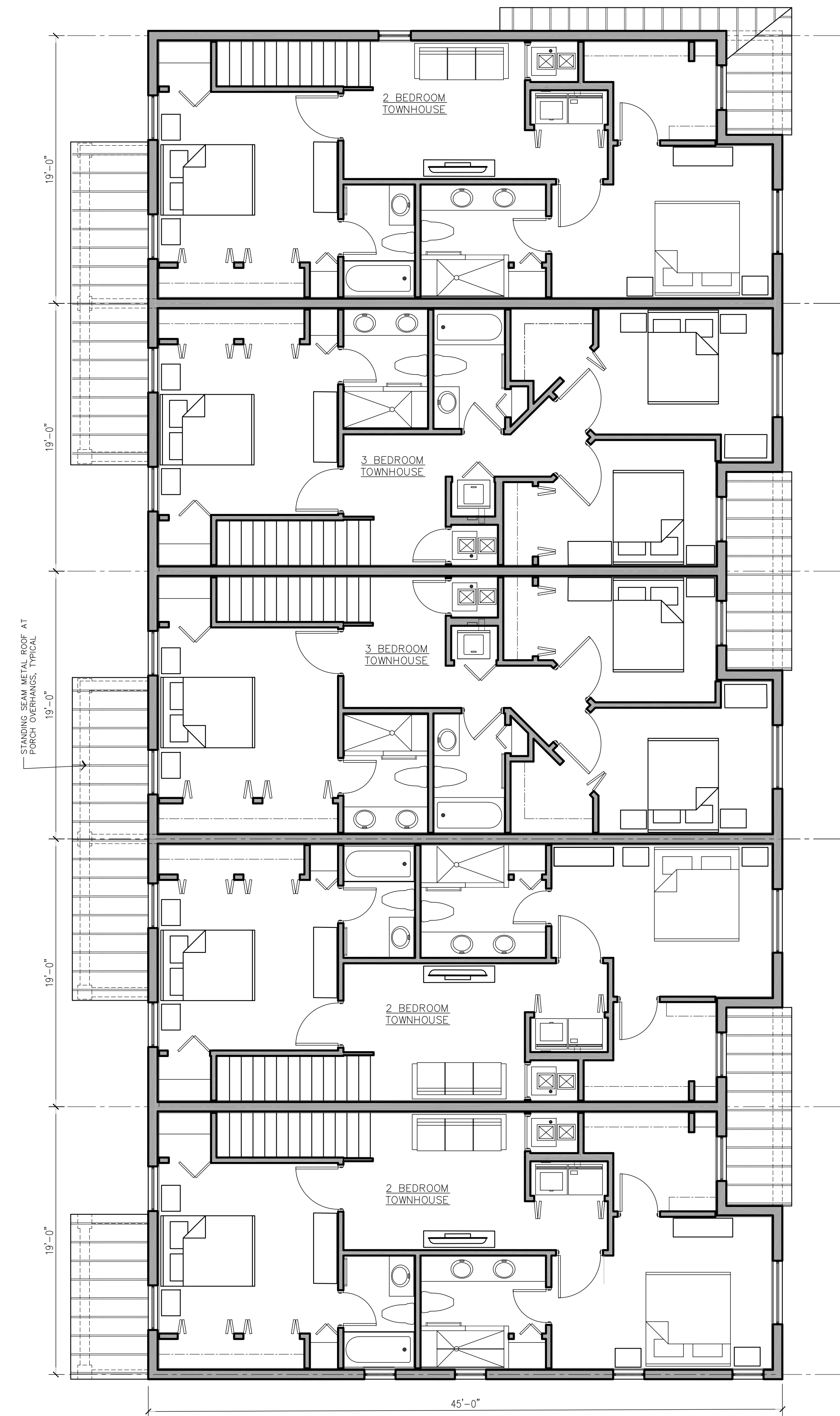
PROJECT NO 21722

SHEET

**5 UNIT BLDG
 'A'
 FLOOR PLAN
 A1.0**



GROUND FLOOR PLAN BUILDING 'A'



SECOND FLOOR PLAN BUILDING 'A'



PRESENTATION PLANS

Prince Place
307 Prince Drive
Palm Springs, FL 33461

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

- 1 POSITION NORTH ARROW LABEL TOWNHOUSE UNIT 06.30.21
- 2 REMOVE 2 UNITS AT BUILDING B 07.28.21

DRAWN KD

CHECKED KD

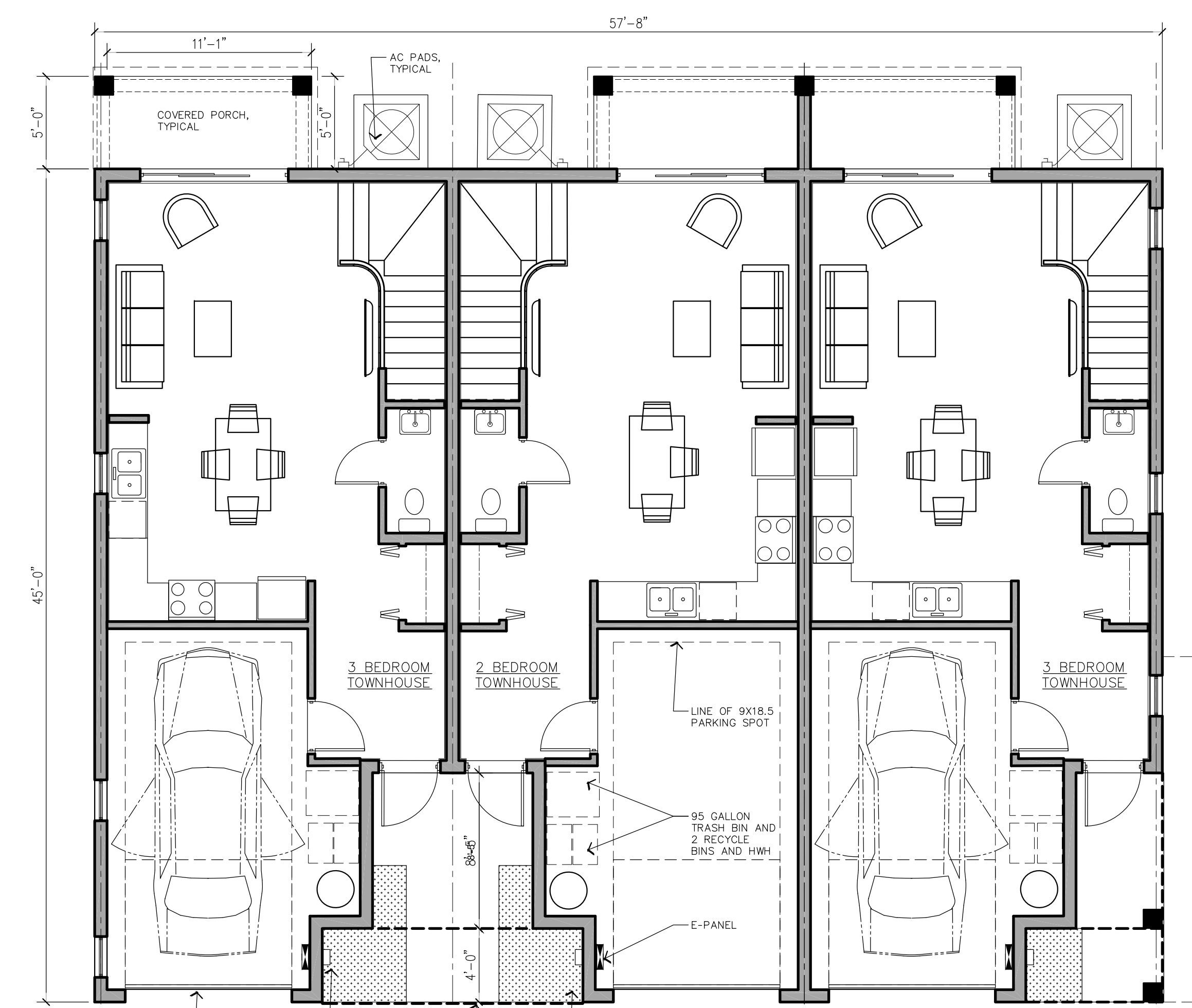
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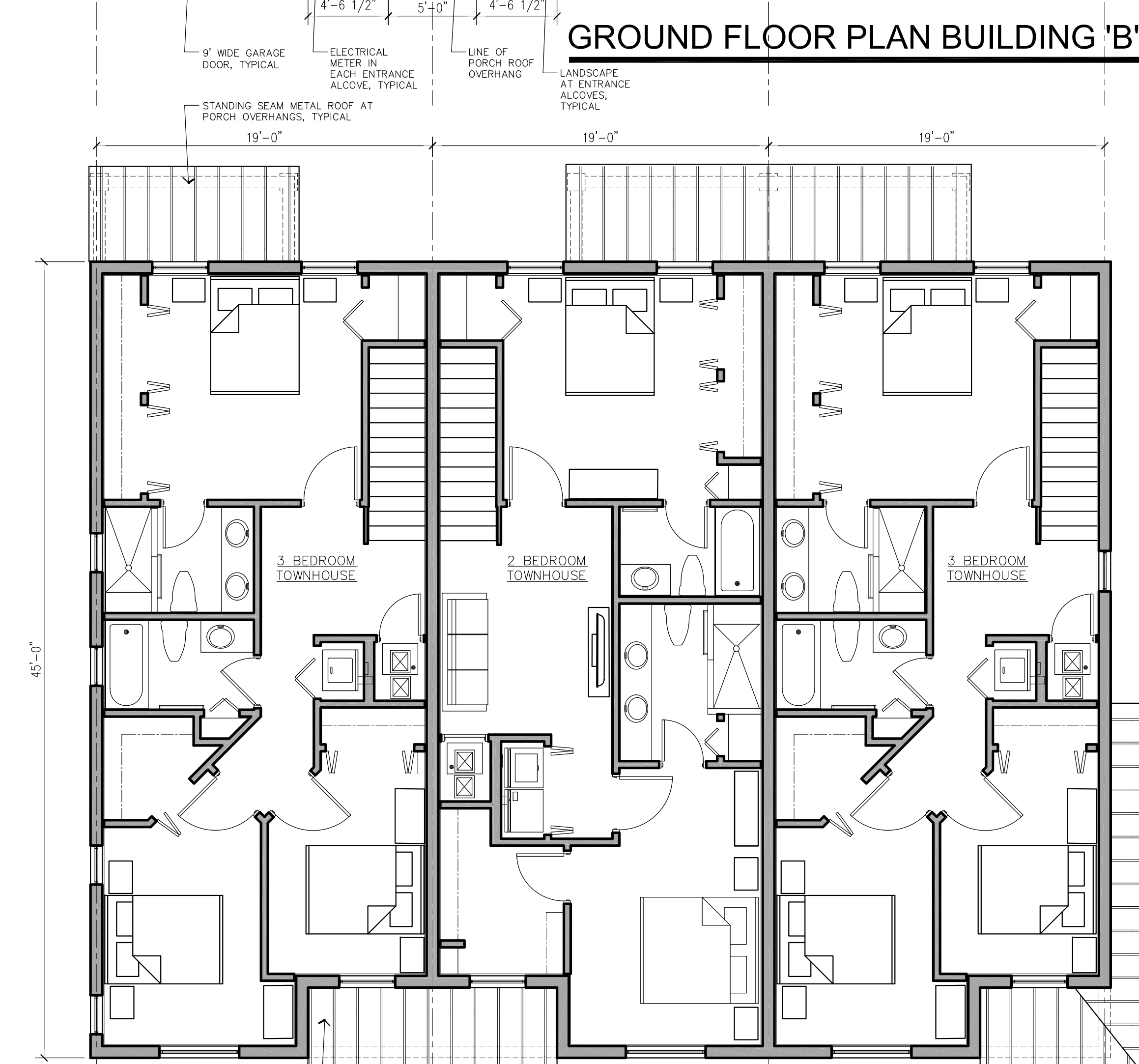
PROJECT NO 21722

SHEET

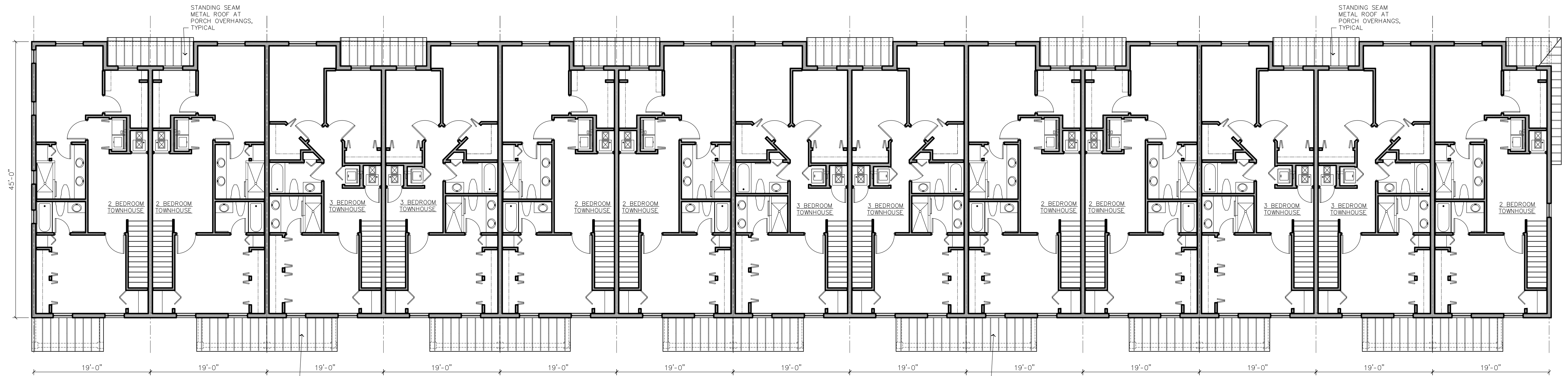
3 UNIT BLDG
'B'
FLOOR PLANS
A2.0



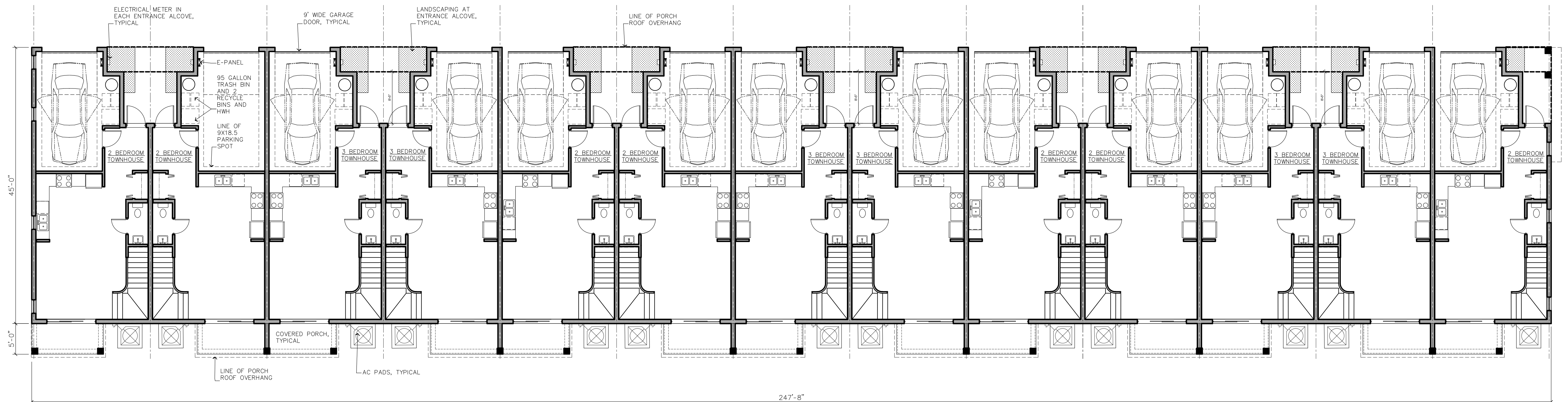
GROUND FLOOR PLAN BUILDING 'B'



SECOND FLOOR PLAN BUILDING 'B'



SECOND FLOOR PLAN BUILDING 'C'



GROUND FLOOR PLAN BUILDING 'C'

PRESENTATION PLANS

Prince Place
 307 Prince Drive
 Palm Springs, FL 33461

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

- 1 POSITION NORTH ARROW LABEL TOWNHOUSE UNIT 06.30.21
- 2 ROTATE DRAWING TO SHOW NORTH ARROW 'UP' 07.28.21

DRAWN KD

CHECKED KD

DATE 06.01.2021

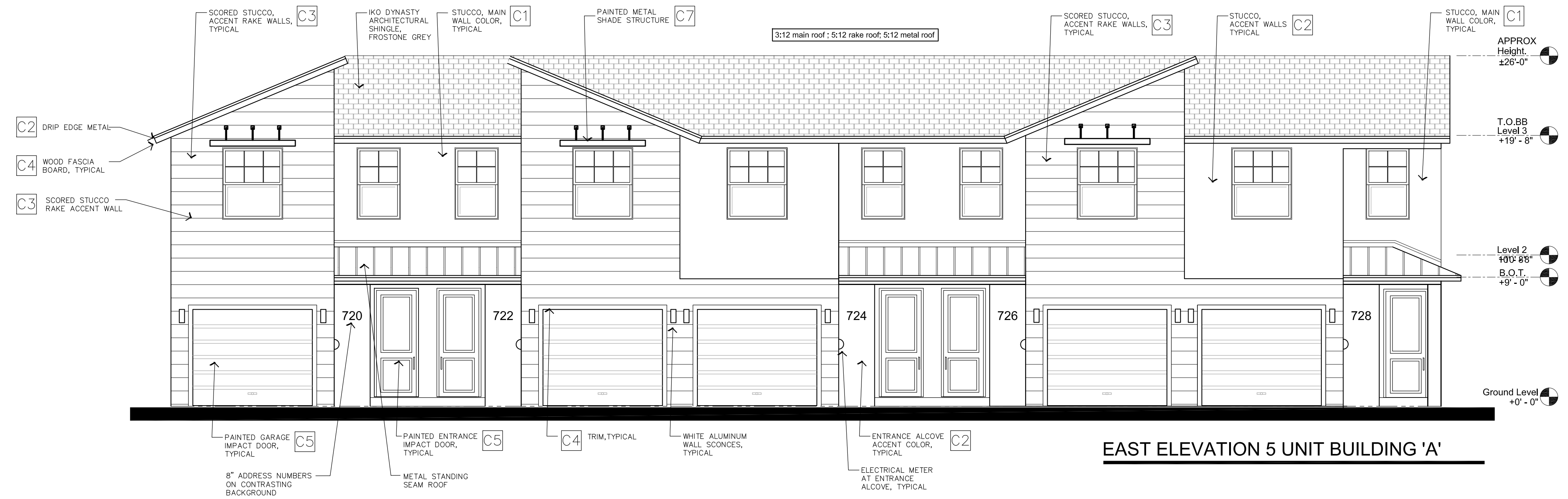
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PROJECT NO. 21722

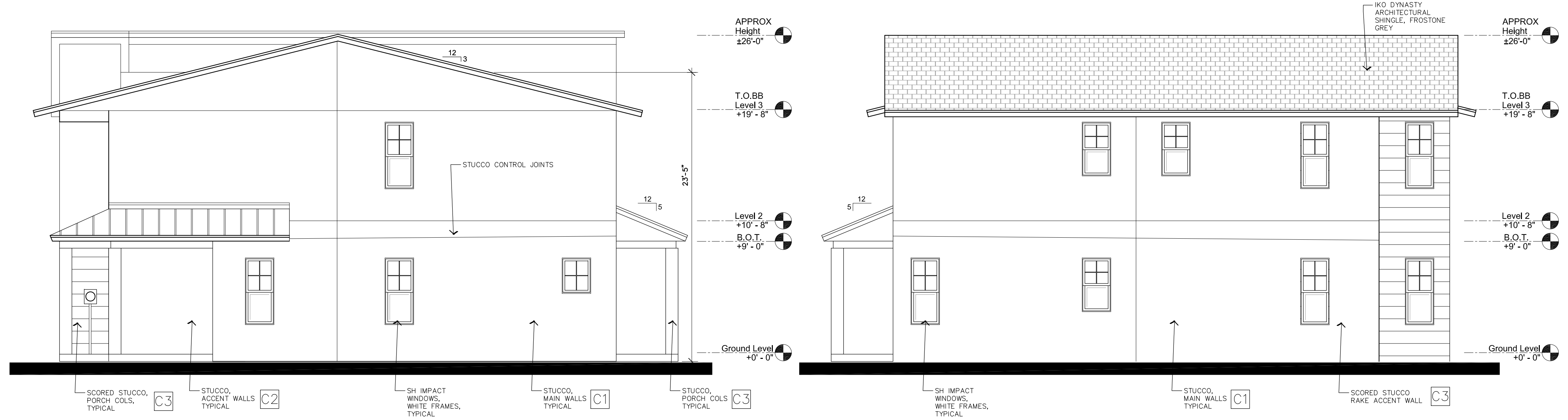
SHEET

**13 UNIT BLDG
 'C'
 FLOOR PLANS
 A3.0**





EAST ELEVATION 5 UNIT BUILDING 'A'



NORTH ELEVATION 5 UNIT BUILDING 'A'

SOUTH ELEVATION 5 UNIT BUILDING 'A'



WEST ELEVATION 5 UNIT BUILDING 'A'

PRESENTATION PLANS

Prince Place
 307 Prince Drive
 Palm Springs, FL 33461

SUBMITAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

1	LABEL ELEVATION DIRECTION	06.30.21
2	REMOVE BUILDING B ELEVATIONS	07.28.21

DRAWN KD

CHECKED KD

DATE 06.01.2021


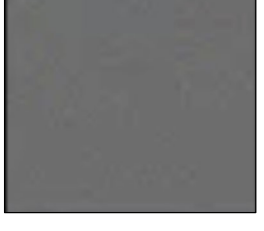
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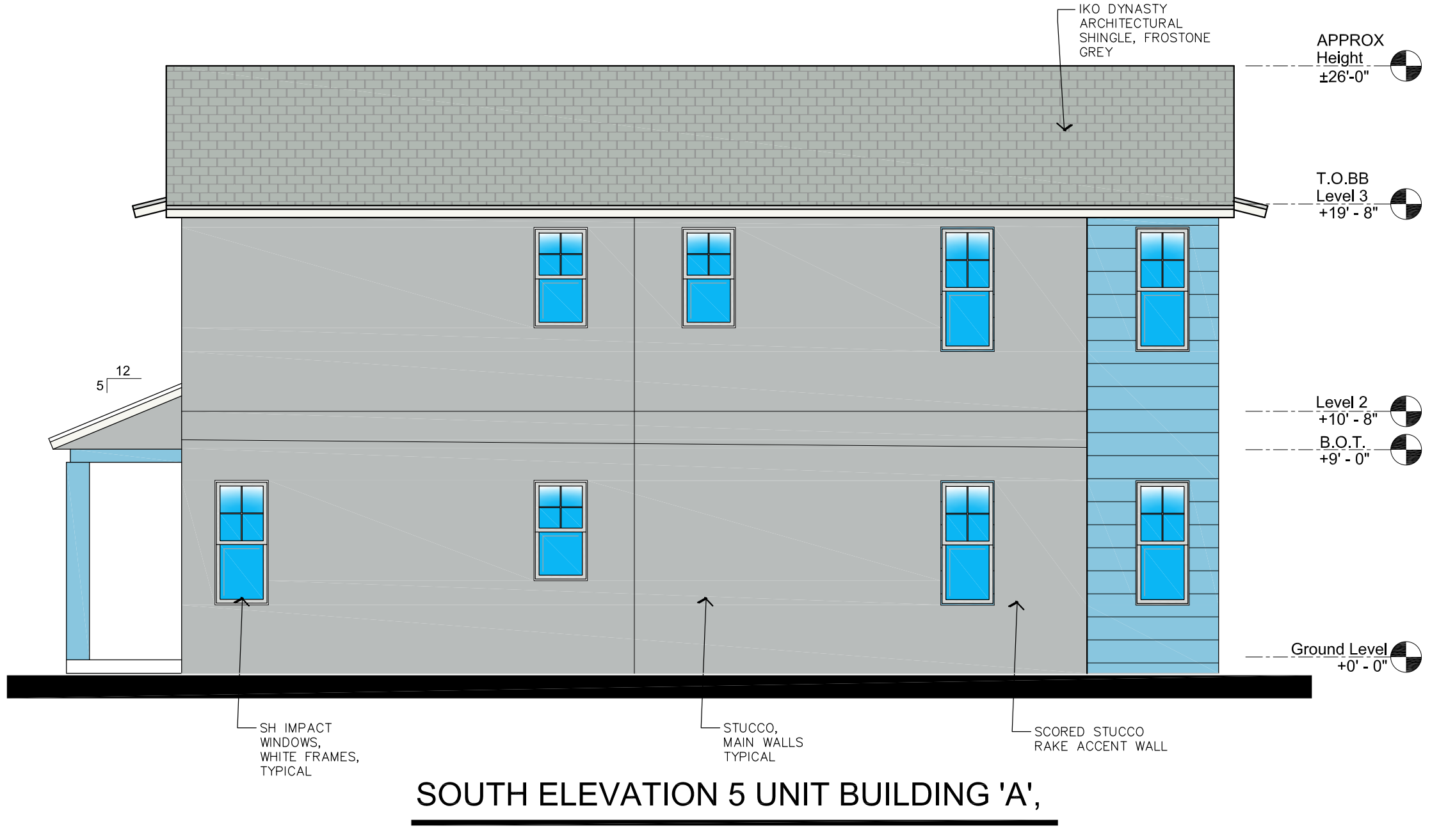
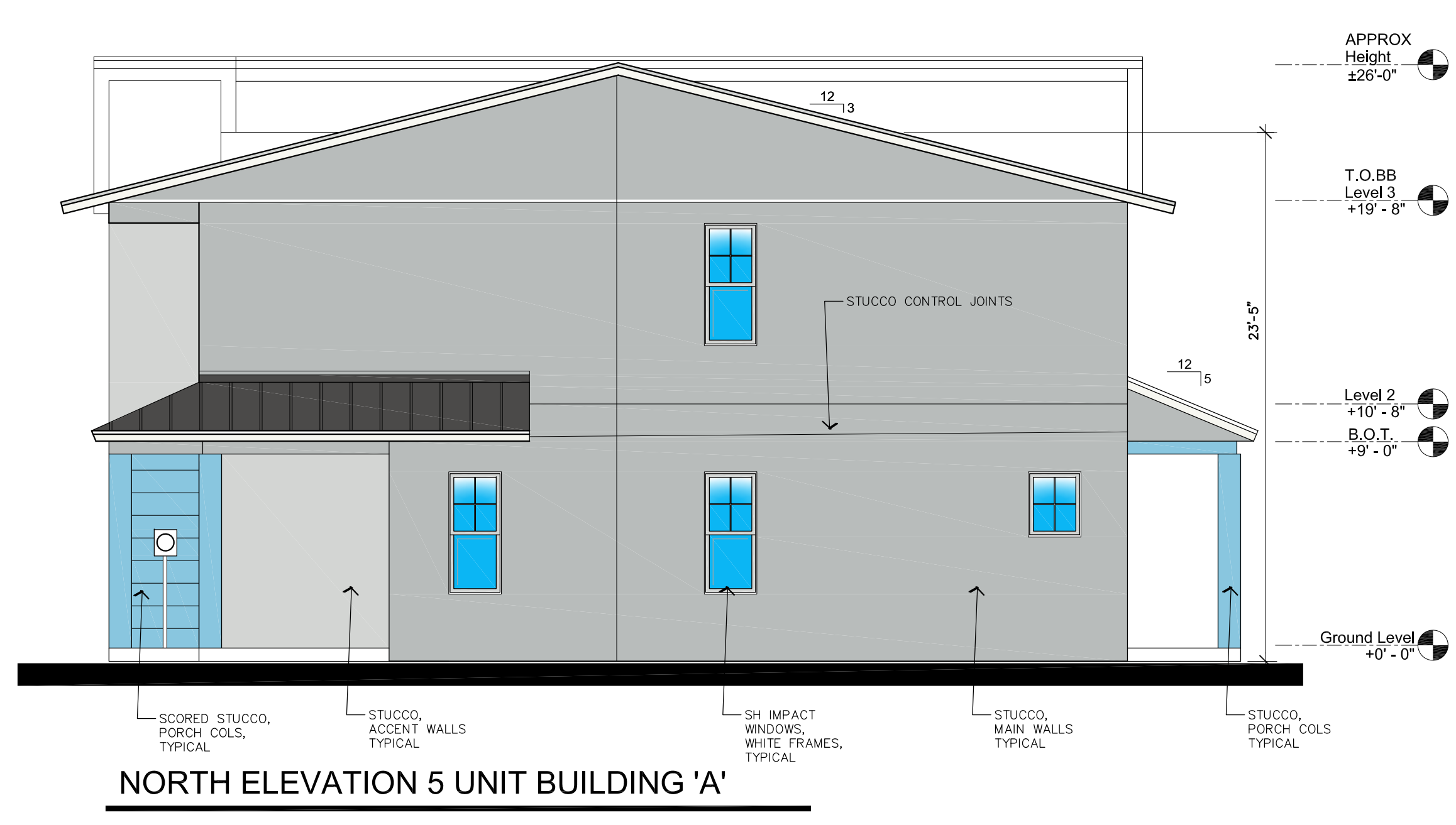
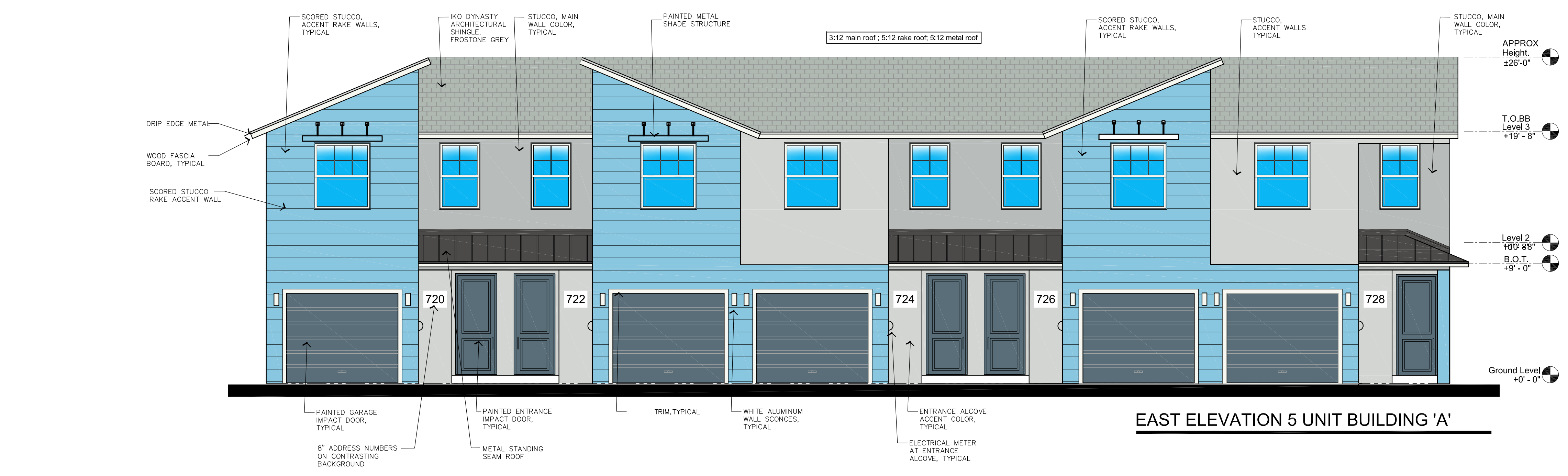
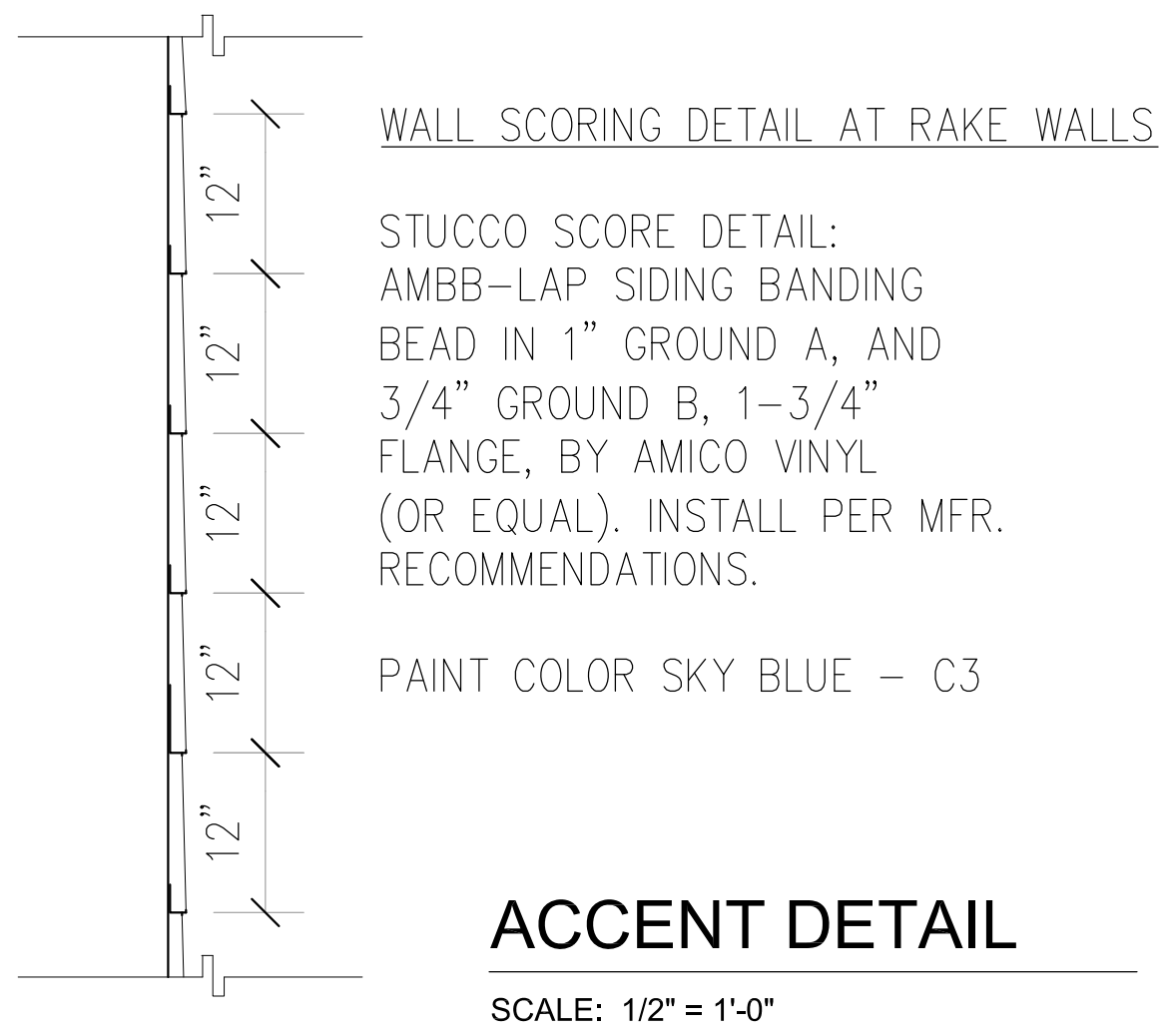
PROJECT NO 21722

SHEET

BLDG 'A'
 ELEVATION
 A4.1

EXTERIOR COLOR SELECTIONS

<p>SW 7663 Monorail Silver Interior / Exterior Location Number: 233-C3</p>	<p>EXTERIOR MAIN WALLS, C1 SHERWIN WILLIAMS SW 7663 MONORAIL SILVER</p>
<p>SW 7661 Reflection Interior / Exterior Location Number: 233-C1</p>	<p>EXTERIOR MAIN WALLS, C2 SHERWIN WILLIAMS SW 7661 REFLECTION</p>
<p>SW 9049 Sky Fall Interior / Exterior Location Number: 168-C3</p>	<p>EXTERIOR COLS + RAKE ACCENT WALLS, C3 SHERWIN WILLIAMS SW 9049 SKY FALL</p>
<p>SW 7757 High Reflective White Interior Location Number: 256-C1</p>	<p>EXTERIOR TRIM, C4 SHERWIN WILLIAMS SW 7757 HIGH REFLECTIVE WHITE</p>
<p>SW 7604 Smoky Blue Interior / Exterior Location Number: 233-C7</p>	<p>GARAGE DOORS, C5 SHERWIN WILLIAMS SW 7604 SMOKEY BLUE</p>
<p>SW 7604 Smoky Blue Interior / Exterior Location Number: 233-C7</p>	<p>FRONT DOORS, C5 SHERWIN WILLIAMS SW 7604 SMOKEY BLUE</p>
	<p>FIBERGLASS ROOF SHINGLES, C6 IKO DYNASTY ARCHITECTURAL SHINGLE - FROSTONE GREY</p>
	<p>EXTREME METAL, STANDING SEAM ROOFING, C7 PRE-WEATHERED GALVALUME</p>



KIMBERLY A. DELLASTATIOUS, P.A.
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#0011556

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PRESENTATION PLANS
Prince Place
307 Prince Drive
Palm Springs, FL 33461

SUBMITTAL DATES	
TO CLIENT	
PROGRESS PRINT DATE	
REVISION DATES	
1	LABEL ELEVATION DIRECTION 06.30.21
2	REMOVE BUILDING B NORTH + SOUTH ELEV'S 07.28.21
DRAWN KD	
CHECKED KD	
DATE 06.01.2021	
SCALE 1/4" = 1'-0"	
PROJECT NO 21722	
SHEET BLDG 'A' ELEVATION	
A4.2	



See Typical Elevation Notes and Colors on Sheets A4.1 and A4.2

NORTH ELEVATION BUILDING 'C'

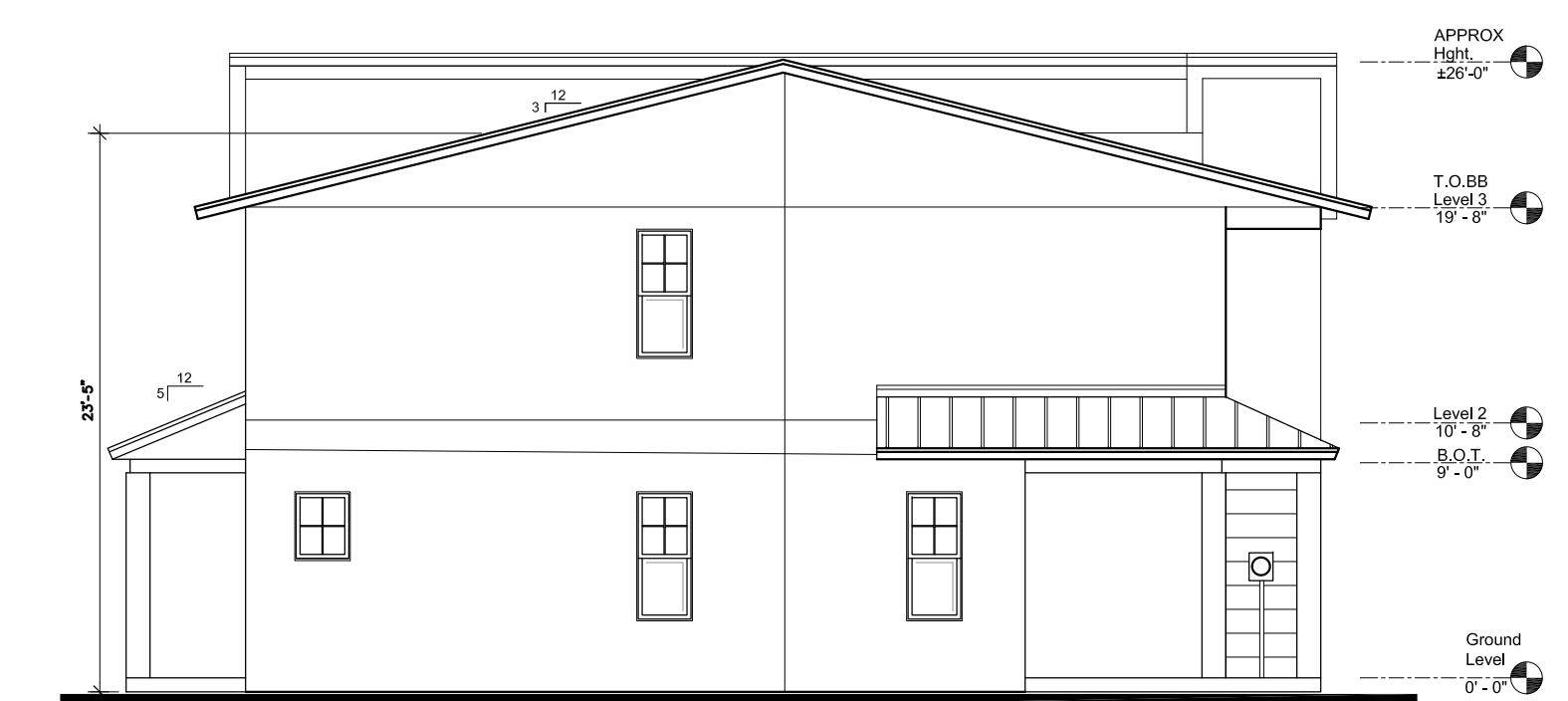


See Typical Elevation Notes and Colors on Sheets A4.1 and A4.2

SOUTH ELEVATION BUILDING 'C'



WEST ELEVATION BUILDING 'C'



EAST SIDE ELEVATION BUILDING 'C'

PRESENTATION PLANS

Prince Place
 307 Prince Drive
 Palm Springs, FL 33461

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

NO.	REVISION	DATE
1	LABEL ELEVATION DIRECTION	06.30.21
2	CORRECTED BUILDING ORIENTATION PER NORTH ARROW	07.28.21

DRAWN KD

CHECKED KD

DATE 06.01.2021

SCALE 1/8" = 1'-0"

PROJECT NO. 21722

SHEET

13 UNIT BLDG

'C'

ELEVATIONS

A4.3

SEAL

KIMBERLY A. DELLASTATIOUS
 REGISTERED FLORIDA ARCHITECT
 00011556

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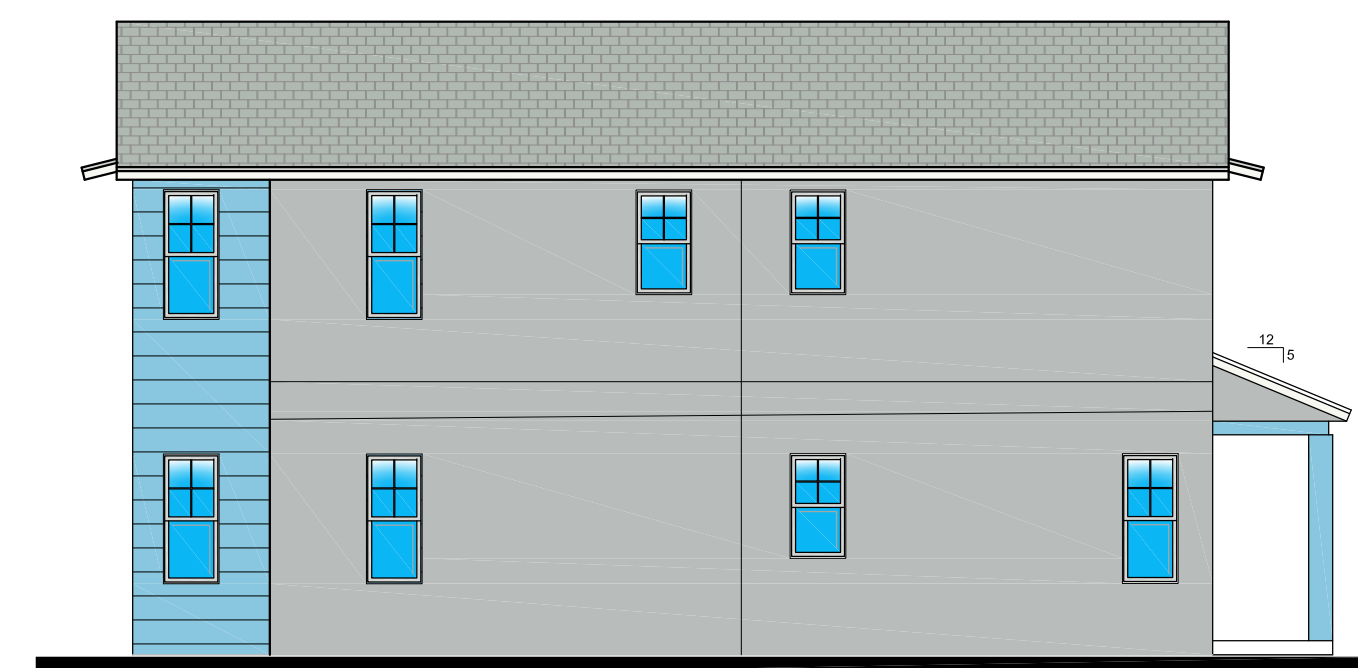
See Typical Elevation Notes and Colors on Sheets A4.1 and A4.2

NORTH ELEVATION BUILDING 'C'



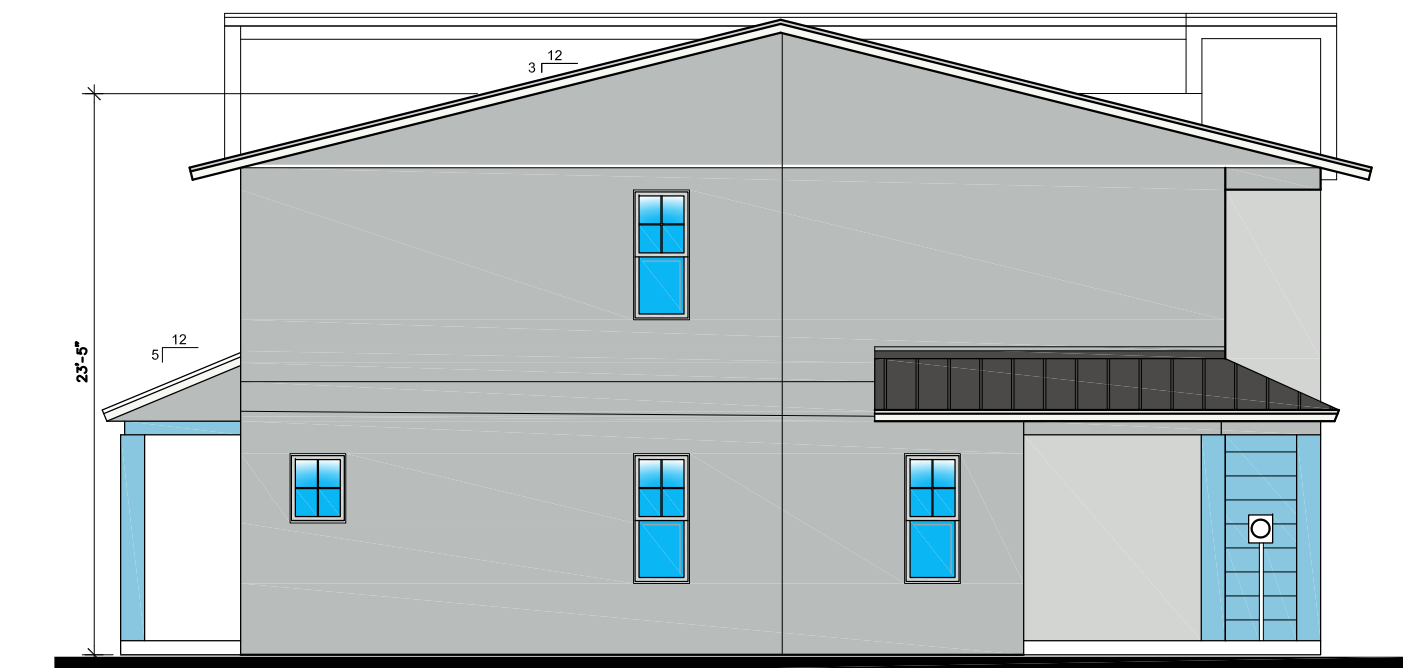
See Typical Elevation Notes and Colors on Sheets A4.1 and A4.2

SOUTH ELEVATION BUILDING 'C'



WEST SIDE ELEVATION BUILDING 'C'

See Typical Elevation Notes and Colors on Sheets A4.1 and A4.2



EAST SIDE ELEVATION BUILDING 'C'

PRESENTATION PLANS

Prince Place
 307 Prince Drive
 Palm Springs, FL 33461

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

- 1 LABEL ELEVATION DIRECTION 06.30.21
- 2 CORRECTED BUILDING ORIENTATION PER NORTH ARROW 07.28.21

DRAWN KD

CHECKED KD

DATE 06.01.2021

SCALE 1/8" = 1'-0"

PROJECT NO. 21722

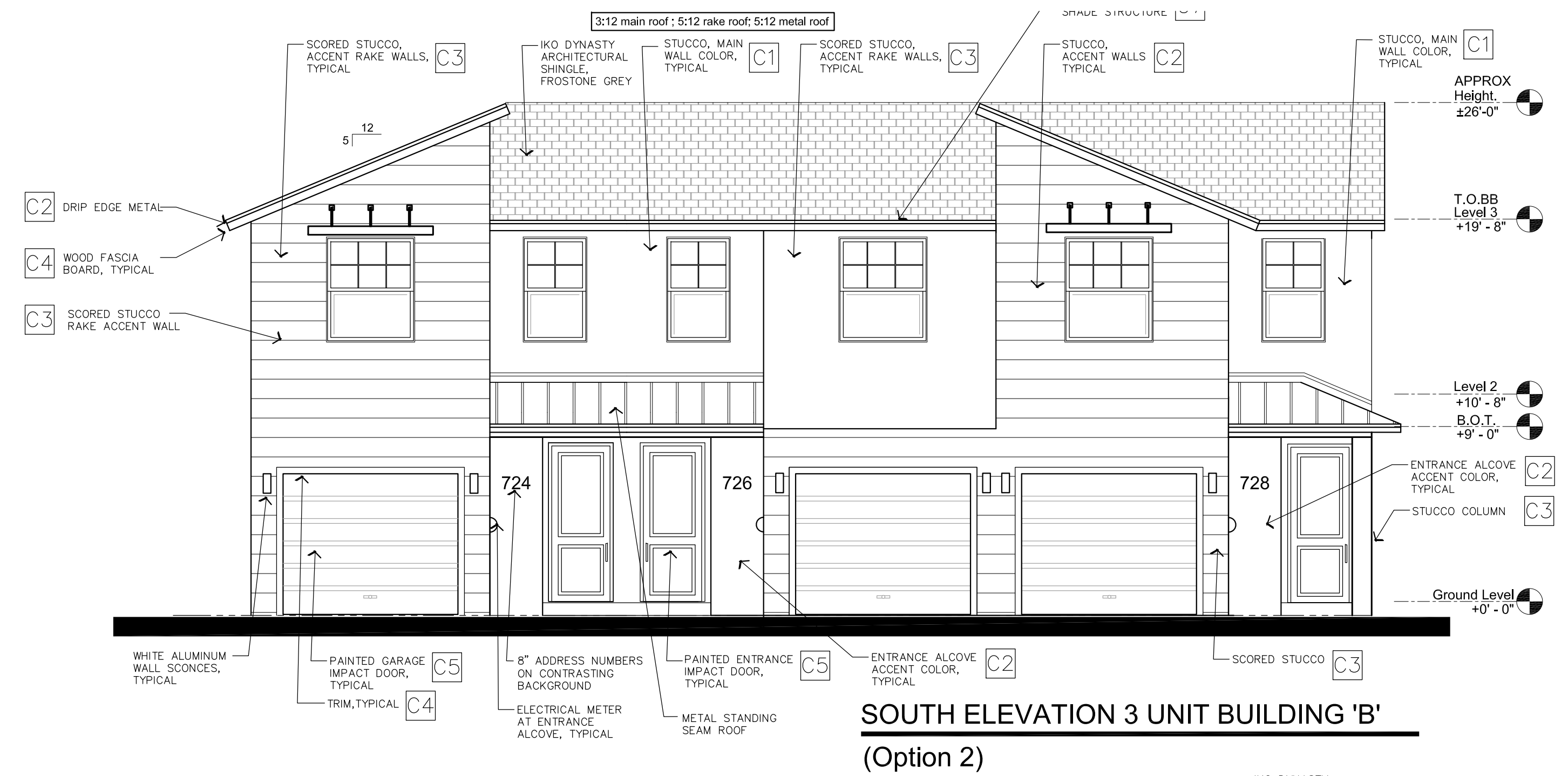
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13 UNIT BLDG

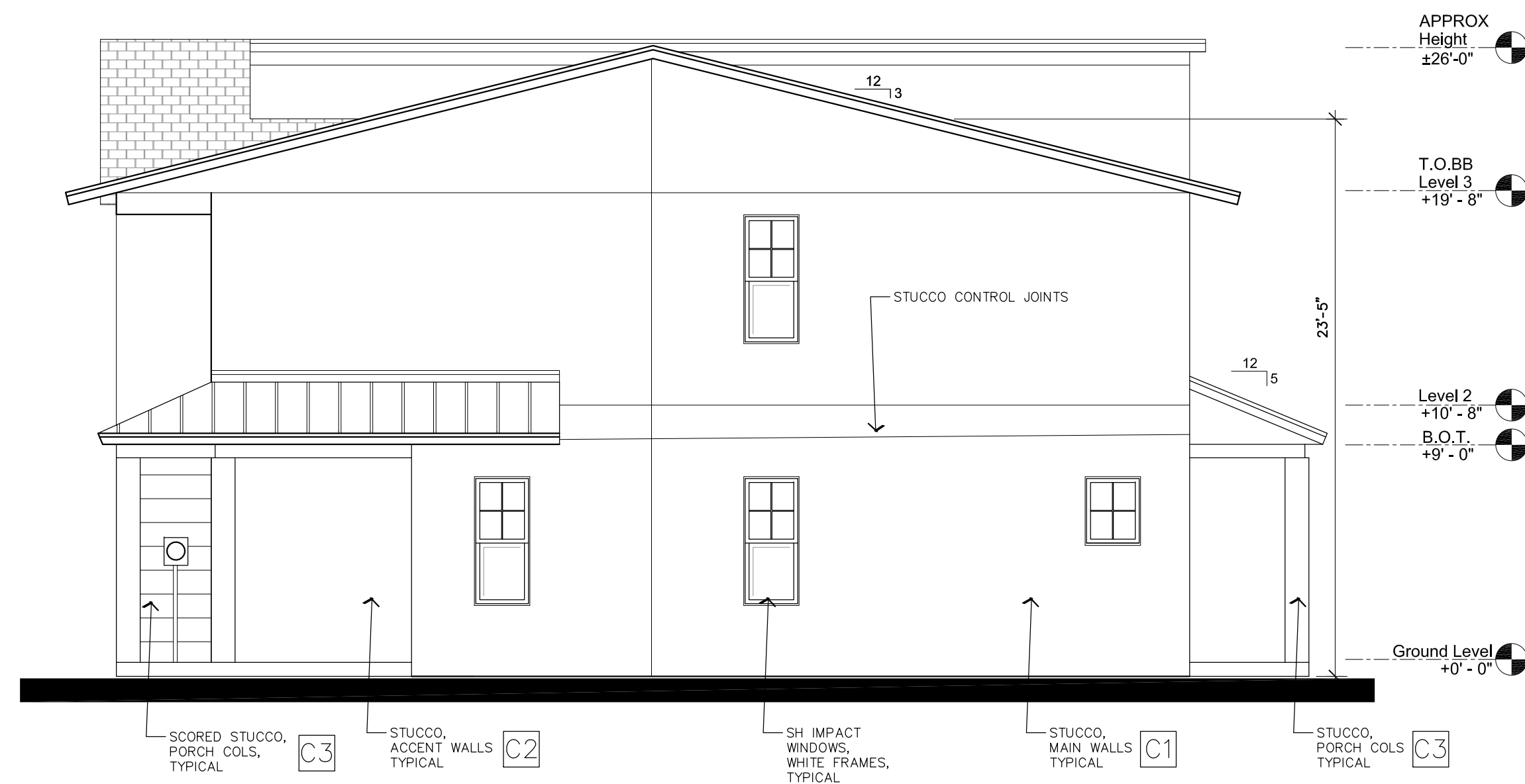
'C'

ELEVATIONS

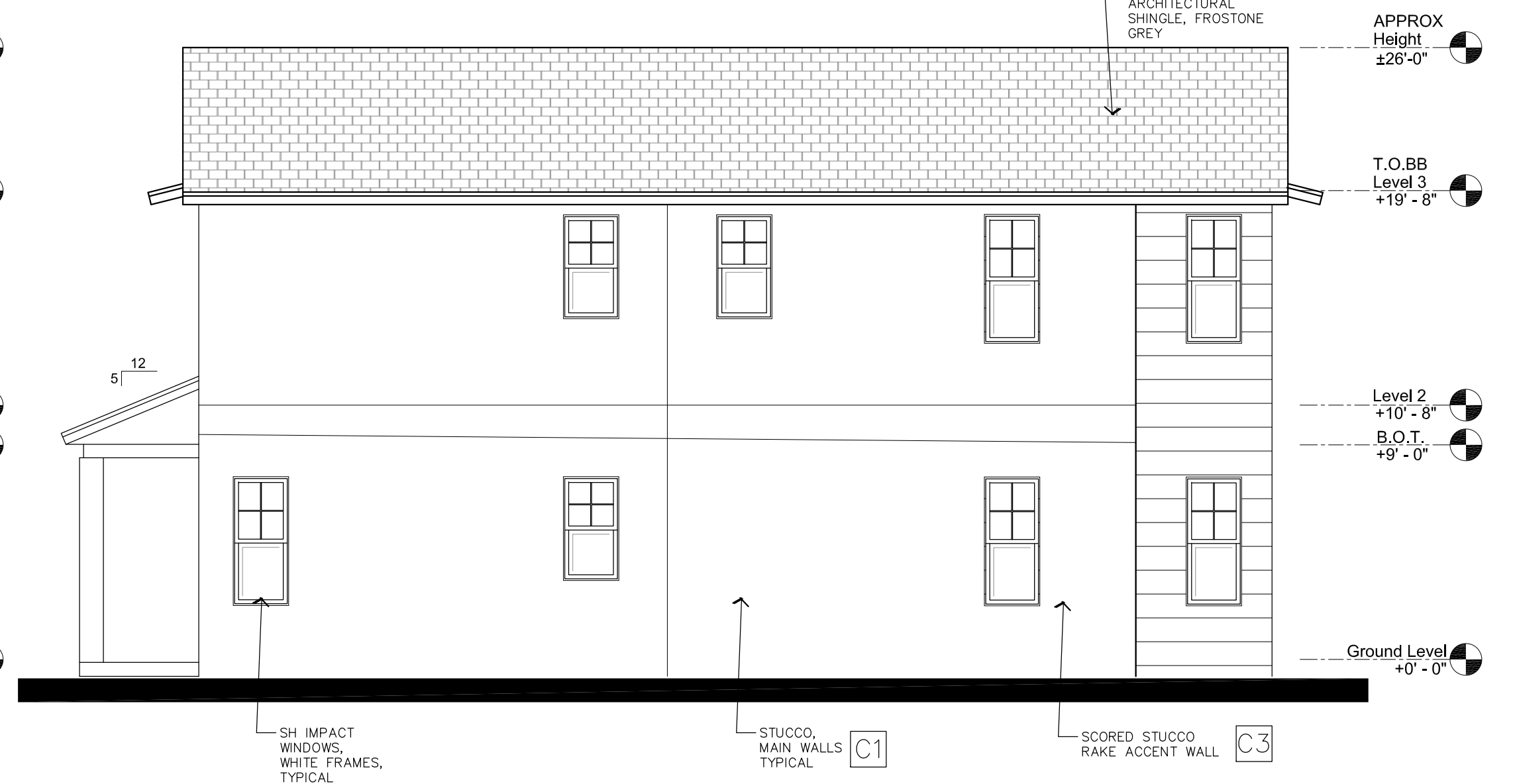
A4.4



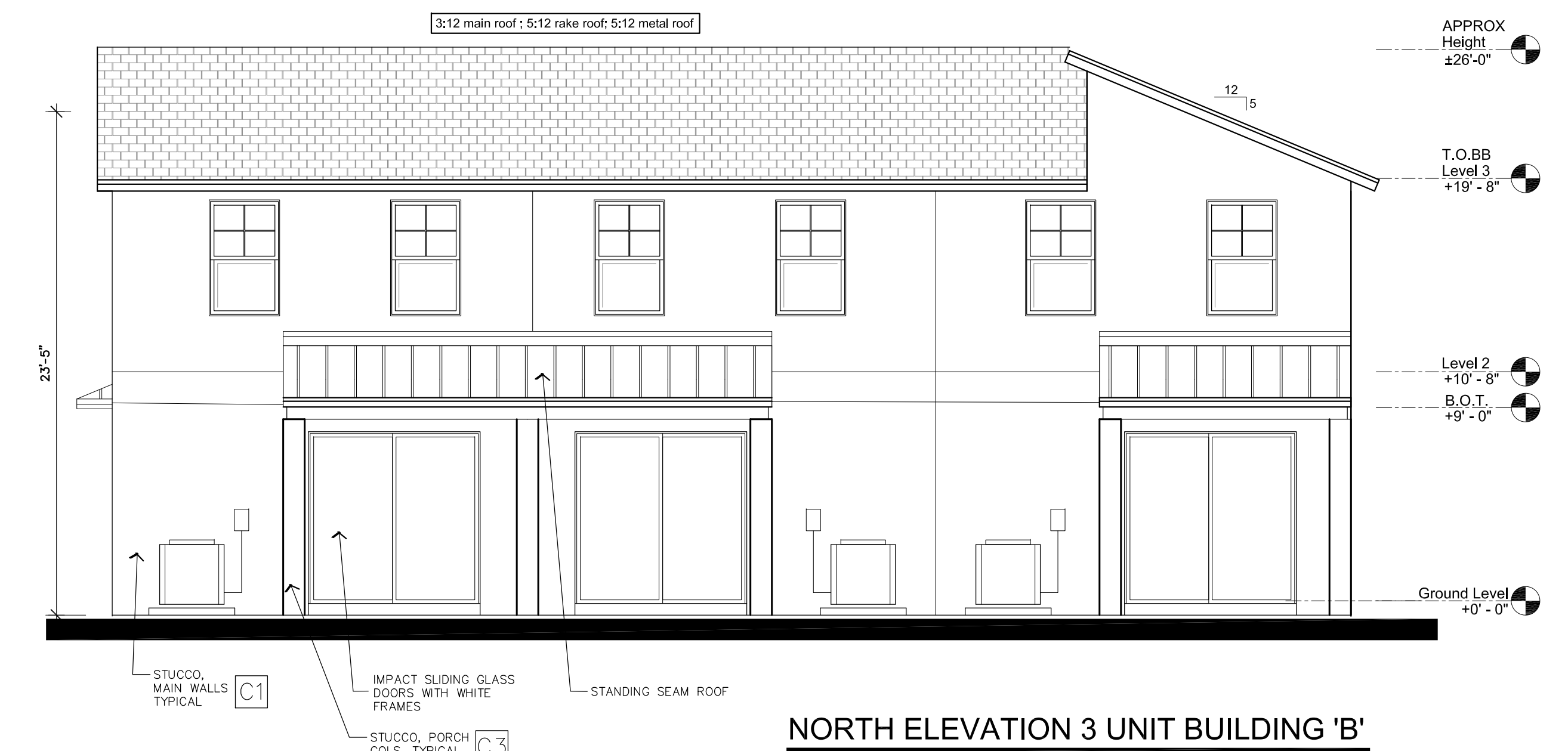
SOUTH ELEVATION 3 UNIT BUILDING 'B'
(Option 2)



EAST ELEVATION 3 UNIT BUILDING 'B'



WEST ELEVATION 3 UNIT BUILDING 'B'



NORTH ELEVATION 3 UNIT BUILDING 'B'

PRESENTATION PLANS

Prince Place
307 Prince Drive
Palm Springs, FL 33461

SUBMITAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

REVISION	LABEL	ELEVATION DIRECTION	DATE
1			06.30.21
2		NEW BUILDING B ELEVATIONS	07.28.21

DRAWN KD

CHECKED KD

DATE 06.01.2021


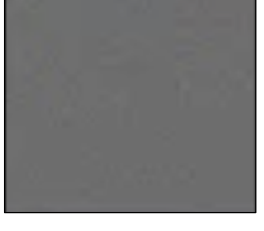
SCALE 3/16" = 1'-0"

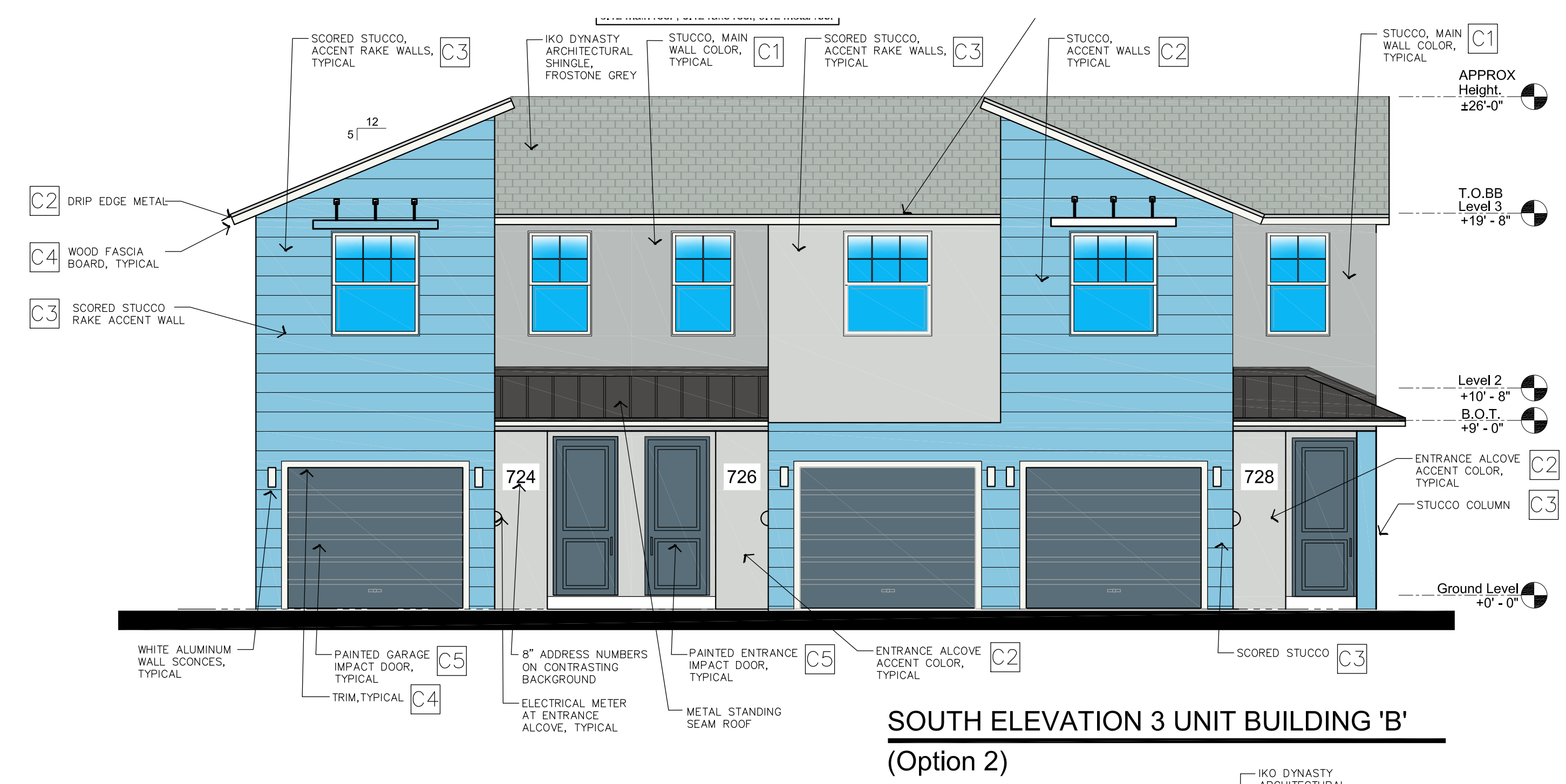
PROJECT NO 21722

SHEET

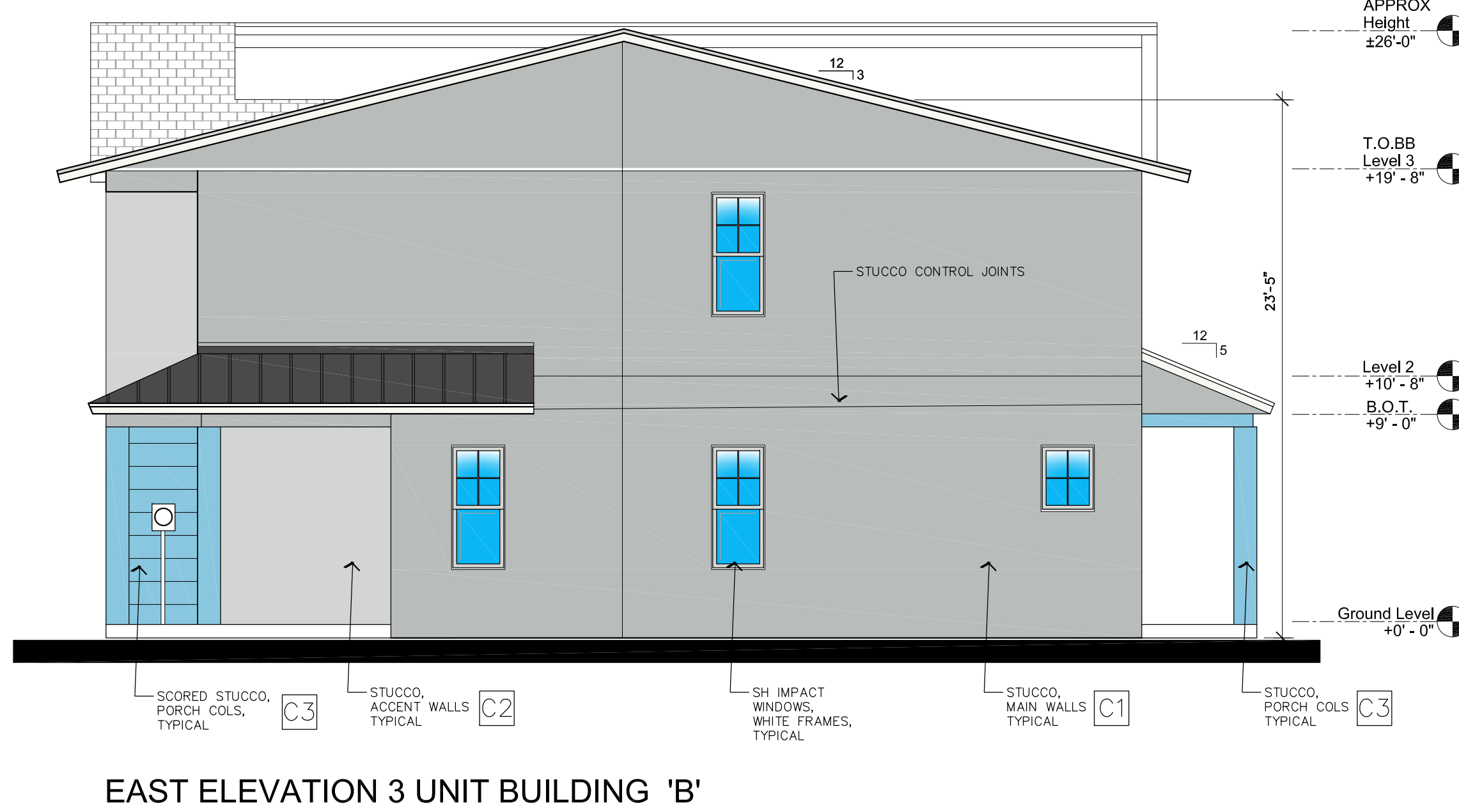
3 UNIT BLDG 'B' ELEVATIONS A4.5(2)

EXTERIOR COLOR SELECTIONS

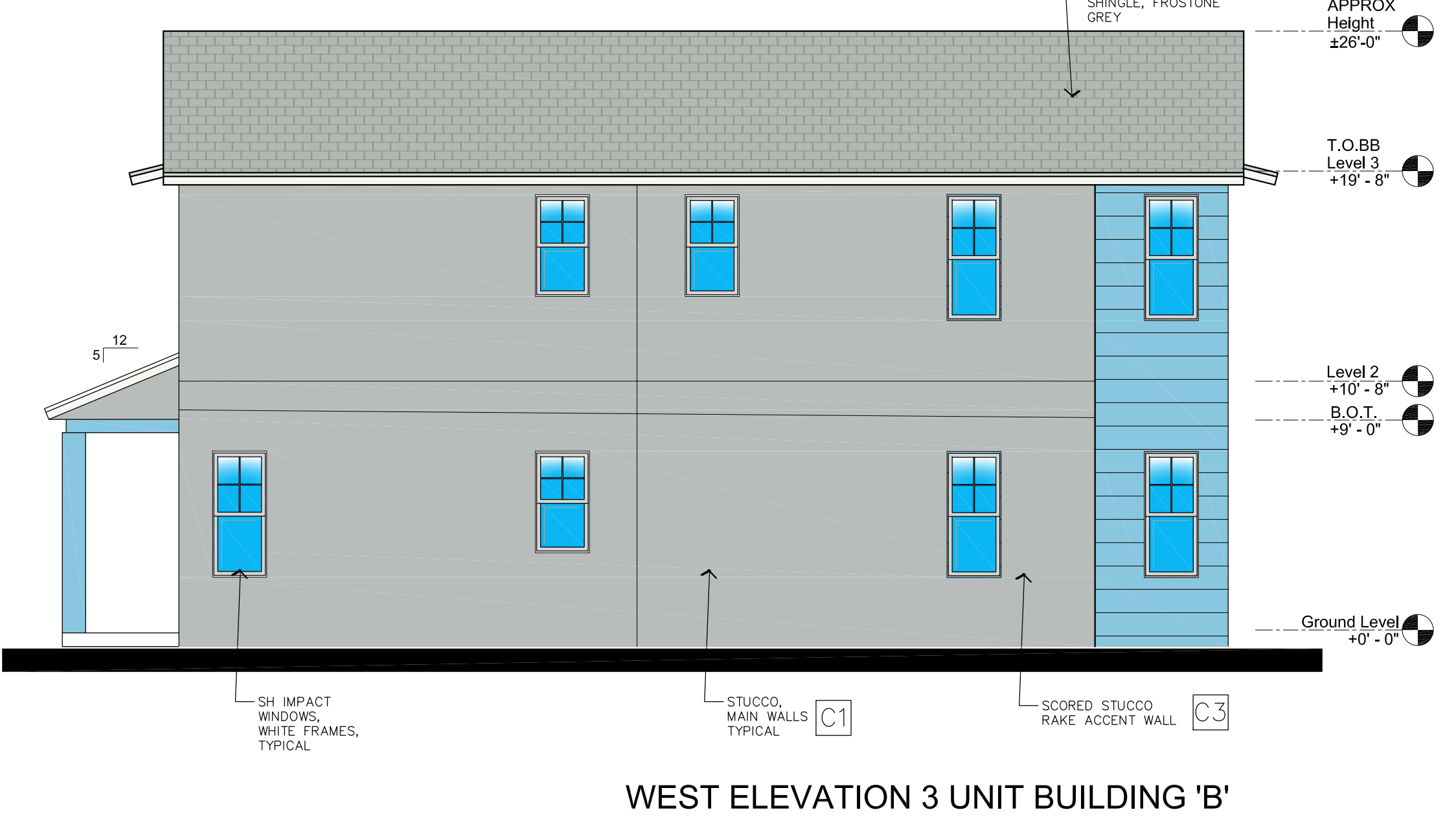
<p>SW 7663 Monorail Silver Interior / Exterior Location Number: 233-C3</p>	<p>EXTERIOR MAIN WALLS, C1 SHERWIN WILLIAMS SW 7663 MONORAIL SILVER</p>
<p>SW 7661 Reflection Interior / Exterior Location Number: 233-C1</p>	<p>EXTERIOR MAIN WALLS, C2 SHERWIN WILLIAMS SW 7661 REFLECTION</p>
<p>SW 9049 Sky Fall Interior / Exterior Location Number: 188-C3</p>	<p>EXTERIOR COLS + RAKE ACCENT WALLS, C3 SHERWIN WILLIAMS SW 9049 SKY FALL</p>
<p>SW 7757 High Reflective White Interior Location Number: 256-C1</p>	<p>EXTERIOR TRIM, C4 SHERWIN WILLIAMS SW 7757 HIGH REFLECTIVE WHITE</p>
<p>SW 7604 Smoky Blue Interior / Exterior Location Number: 233-C7</p>	<p>GARAGE DOORS, C5 SHERWIN WILLIAMS SW 7604 SMOKEY BLUE</p>
<p>SW 7604 Smoky Blue Interior / Exterior Location Number: 233-C7</p>	<p>FRONT DOORS, C5 SHERWIN WILLIAMS SW 7604 SMOKEY BLUE</p>
	<p>FIBERGLASS ROOF SHINGLES, C6 IKO DYNASTY ARCHITECTURAL SHINGLE - FROSTONE GREY</p>
	<p>EXTREME METAL, STANDING SEAM ROOFING, C7 PRE-WEATHERED GALVALUME</p>



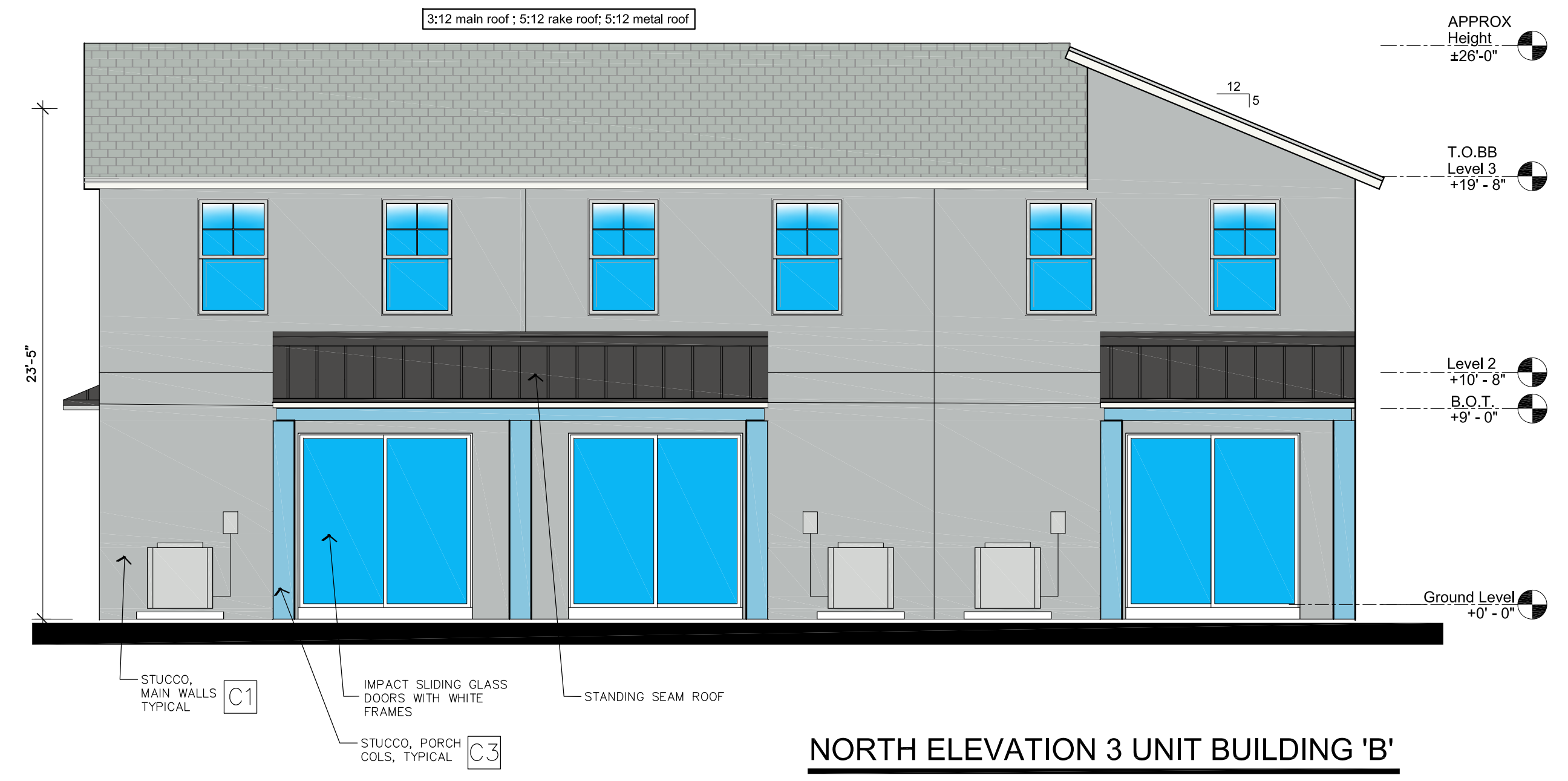
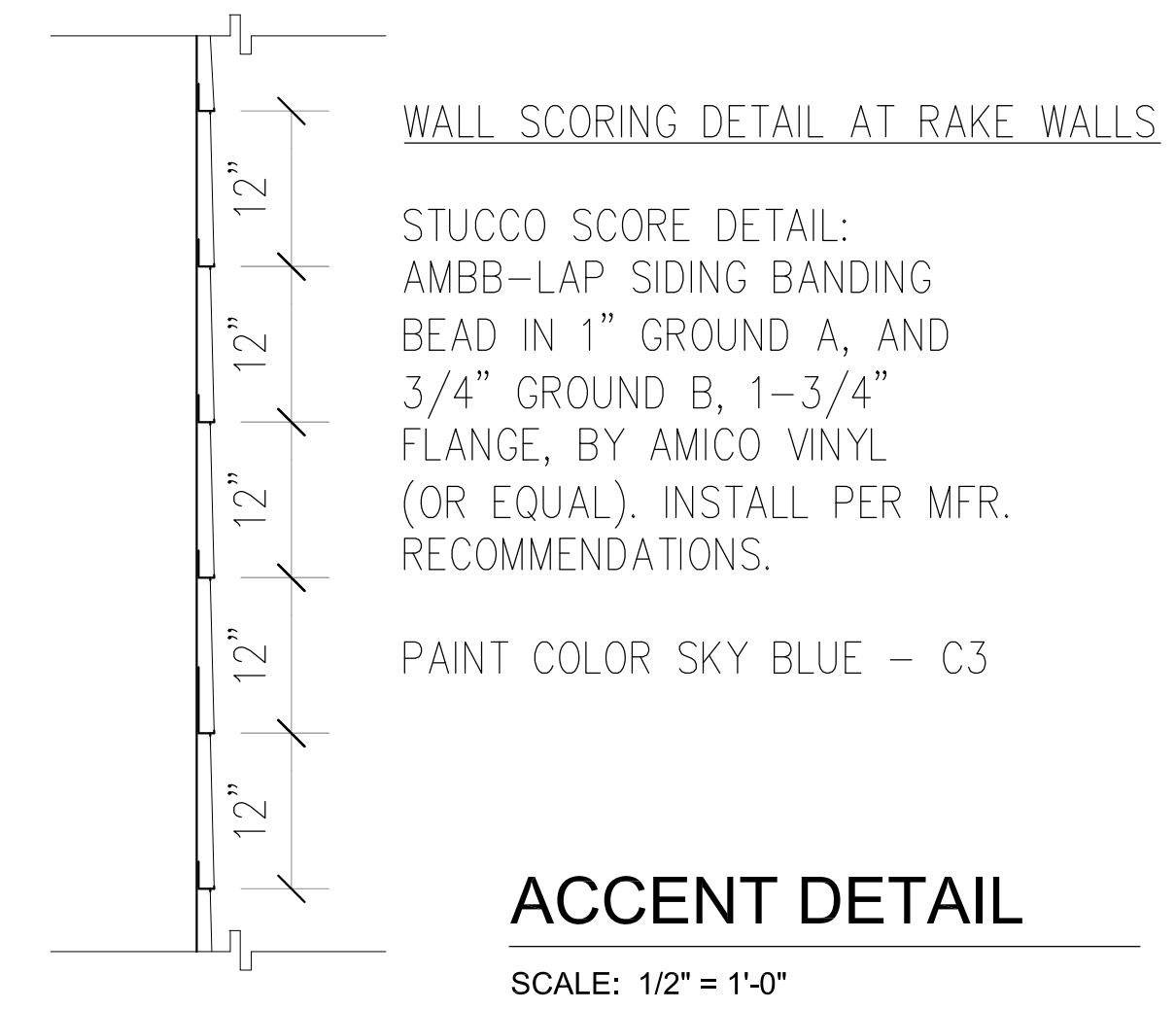
SOUTH ELEVATION 3 UNIT BUILDING 'B'
(Option 2)



EAST ELEVATION 3 UNIT BUILDING 'B'



WEST ELEVATION 3 UNIT BUILDING 'B'



NORTH ELEVATION 3 UNIT BUILDING 'B'

KIMBERLY A. DELLASTATIOUS, P.A.
ARCHITECTURE & PLANNING
LIC #AR 0011556

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(561) 582-5622
kimdel@kd-architect.com

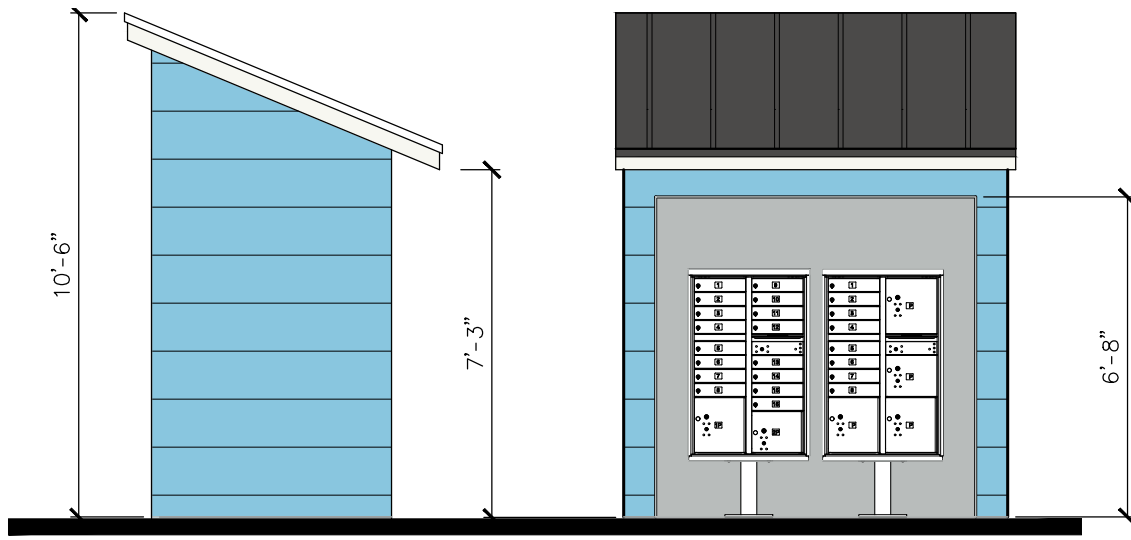
SEAL

KIMBERLY A. DELLASTATIOUS
REGISTERED FLORIDA ARCHITECT
#00011556

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE
THE PLANS AND SPECIFICATIONS COMPLY
WITHIN THE APPLICABLE BUILDING CODES AND
LOCAL MUNICIPAL ORDINANCES. ALL
DRAWINGS, SPECIFICATIONS OR WRITTEN
MATERIALS APPEARING HEREIN CONSTITUTE
THE WORK OF THE ARCHITECT AND MAY NOT
BE DUPLICATED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE FLORIDA LICENSED
ARCHITECT OF RECORD. COPYRIGHT - 2021
KIMBERLY A. DELLASTATIOUS, P.A.

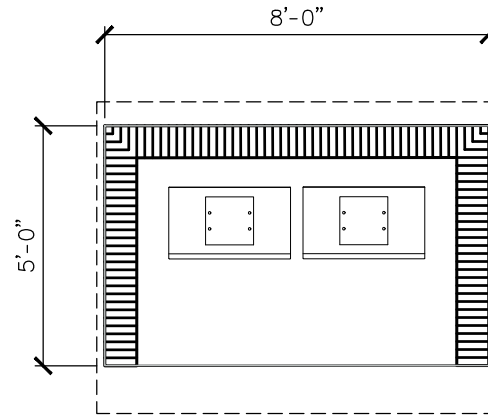
PRESENTATION PLANS
Prince Place
307 Prince Drive
Palm Springs, FL 33461

SUBMITTAL DATES	
TO CLIENT	
PROGRESS PRINT DATE	
REVISION DATES	
1	LABEL ELEVATION DIRECTION 06.30.21
2	NEW BUILDING B NORTH + SOUTH ELEV'S 07.28.21
DRAWN KD	
CHECKED KD	
DATE 06.01.2021	
SCALE 1/4" = 1'-0"	
PROJECT NO 21722	
SHEET	
3 UNIT BLDG 'B' ELEVATION A4.6(2)	

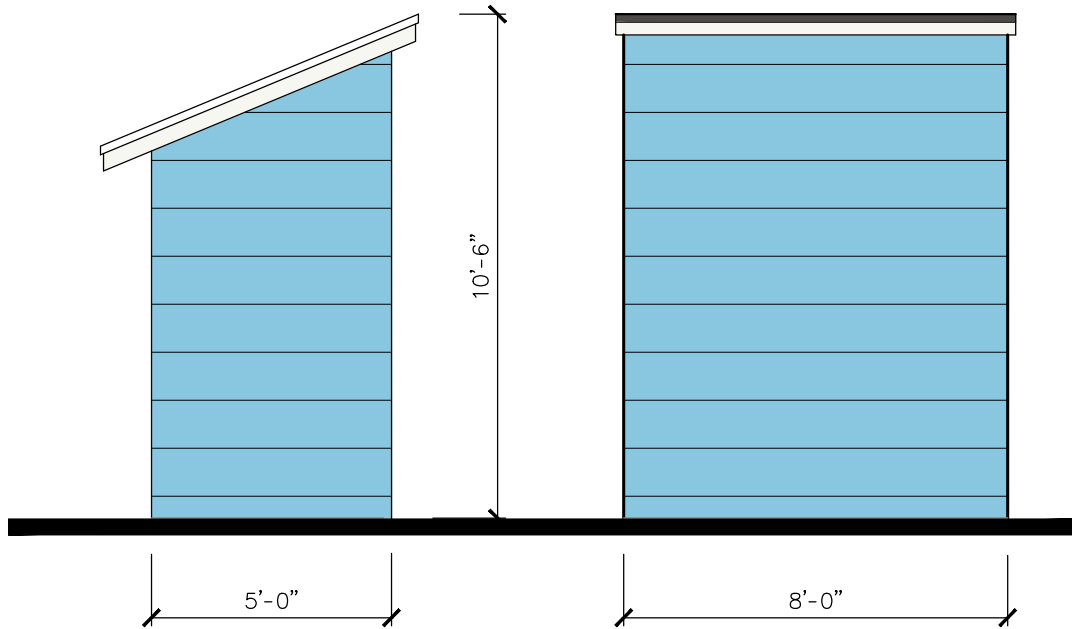


North

East Elevation



Mail Kiosk Plan



South

West Elevation

- INTERIOR MAIN WALLS, C1
- SHERWIN WILLIAMS
- SW 7663
- MONORAIL SILVER

- EXTERIOR WALLS, C3
- W/ STUCCO SCORE TO MATCH BLDG
- SHERWIN WILLIAMS
- SW 9049
- SKY FALL

- EXTREME METAL,
- STANDING SEAM ROOFING, C7
- PRE-WEATHERED GALVALUME

Bob Buggee, Inc.
"The Surveyor"
P.O. Box 3887
Boynton Beach, FL
33424
bobbuggee@bellsouth.net
Office: 561-732-7877 Fax: 561-739-9801
INVOICE
MARCH 31, 2021

MILES RICH
RICHBUILT CONSTRUCTION
JSM DELRAY LLC
17290 WHITEHAVEN DRIVE
BOCA RATON, FL 33496
561-927-7885
milesrich@me.com

DATE RECEIVED: 3/29/21
DATE NEEDED: ASAP
TREE SURVEY

DWG# 0104721 A.

FLOOD ZONE: X CITY OF LAKE WORTH: 12099C PANEL NO. 125102 0781F DATE: 10-5-17
--

- PROPERTY ADDRESS:
1. 3098 FERRELL DR, PALM SPRINGS
 2. VACANT LOT, PALM SPRINGS
 3. 3075 PRINCE DR, PALM SPRINGS

LEGAL DESCRIPTION:
SEE ATTACHED

TREE SURVEY.....\$ 325.00

THANK YOU FOR ALLOWING US TO PROVIDE YOU WITH THIS SURVEY
AND HOPE WE CAN BE OF FURTHER ASSISTANCE TO YOU IN THE
FUTURE.

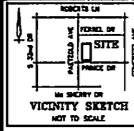
LEGAL DESCRIPTION

1. **LOT D, BLOCK 98, THE PALM BEACH FARMS CO. PLAT NO. 7 OF SECTION 30, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 5, PAGE 72.**

2. **LOT C, LESS THE EAST 180 FEET THEREOF, BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 5, PAGE 72, LESS A STRIP OF LAND FOR ROAD RIGHT OF WAY PURPOSES AS LAID OUT AND IN USE KNOWN AS FERRELL DRIVE, AS LOCATED IN PALM BEACH FARMS COMPANY PLAT NO. 7 OF SECTION 30, TOWNSHIP 44 SOUTH, RANGE 43 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

THE NORTH 30 FEET OF LOT C, LESS THE EAST 180 FEET THEREOF, BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7.

3. **THE EAST 125 FEET OF LOT "E", BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 72, LESS THE SOUTH 34 FEET THEREOF AS GRANTED IN OFFICIAL RECORD BOOK 2225, PAGE 1069, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.**



Boundary Survey
for
MILES RICH
RICHBUILT CONSTRUCTION
JSM DELRAY, LLC

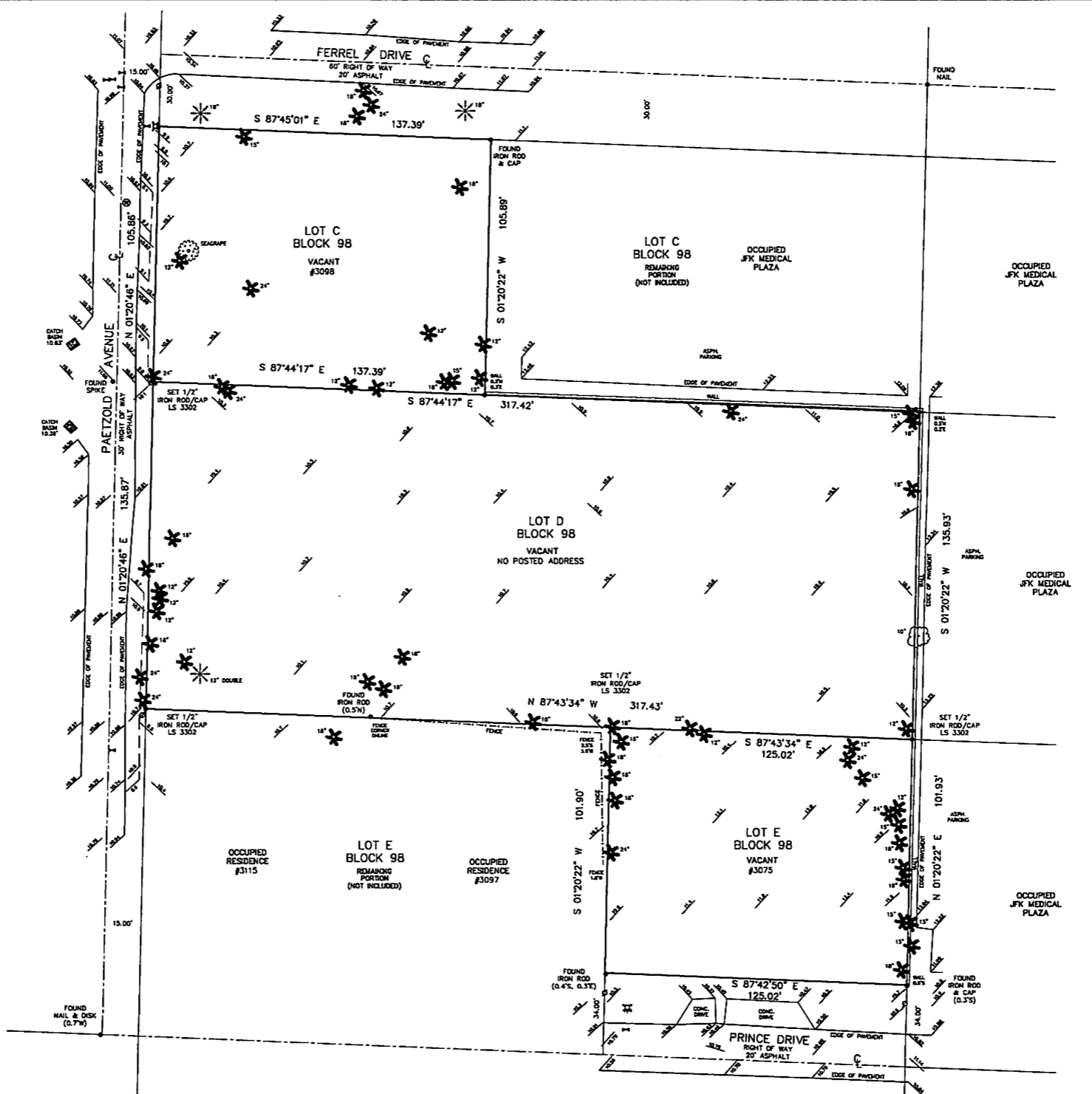
FLOOD ZONE
FLOOD ZONE 1
CITY OF LAKE WORTH 181102
PANEL NUMBER 12006 CITY
EFFECTIVE DATE 10-05-17

PROPERTY ADDRESS
1. 3302 FERRELL DRIVE, PALM SPRINGS, FL
2. VACANT, PALM SPRINGS, FL
3. 3375 PRINCE DRIVE, PALM SPRINGS, FL

LEGAL DESCRIPTION
1. LOT B, BLOCK 98, THE PALM BEACH FARMS CO. PLAT NO. 7 OF SECTION 30, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 3, PAGE 72.
2. LOT C, LESS THE EAST 180 FEET THEREOF, BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 3, PAGE 72, LESS A STRIP OF LAND FOR ROAD RIGHT OF WAY PURSUANT AS Laid OUT AND IN USE SHOWN AS FERRELL DRIVE, AS LOCATED IN PALM BEACH FARMS COMPANY PLAT NO. 17 OF SECTION 30, TOWNSHIP 44 SOUTH, RANGE 43 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THE NORTH 55 FEET OF LOT C, LESS THE EAST 180 FEET THEREOF, BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7.
3. THE EAST 125 FEET OF LOT C, BLOCK 98, PALM BEACH FARMS COMPANY PLAT NO. 7, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 72, LESS THE SOUTH 24 FEET THEREOF AS GRANTED IN OFFICIAL RECORD BOOK 3223, PAGE 1008, PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA.

SURVEYOR'S NOTES
EXISTING IMPROVEMENTS NOT LOCATED EXCEPT AS SHOWN.
LEGAL DESCRIPTION PROVIDED BY CLIENT.
SURVEYOR HAS NOT ABSTRACTED THIS SURVEY FOR ENCUMBRANCES AND RIGHTS OF WAYS OF RECORD.
SURVEY IS NOT VALID WITHOUT A RECORDED INSTRUMENT, IF SHOWN, AND PROVIDED THE RECORD INSTRUMENT IS IN COMPLIANCE WITH THE USUAL STATE STATUTES THEREON.
ADDITIONAL NOTES TO CLIENT APPEAR ON SEPARATE SHEETS OF THIS SURVEY.
CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION FOR ACCURACY NETWORK NORTH (CENTRAL DATUM (NAD83)) 1988.

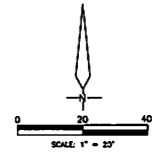
BOBBY B. BUGGEE
No. 3302
STATE OF FLORIDA
CERTIFICATE
I HEREBY CERTIFY THAT I MADE THIS SURVEY AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
DATE OF FIELD WORK BY SURVEYOR AND MAPPER
DWG # 0104721

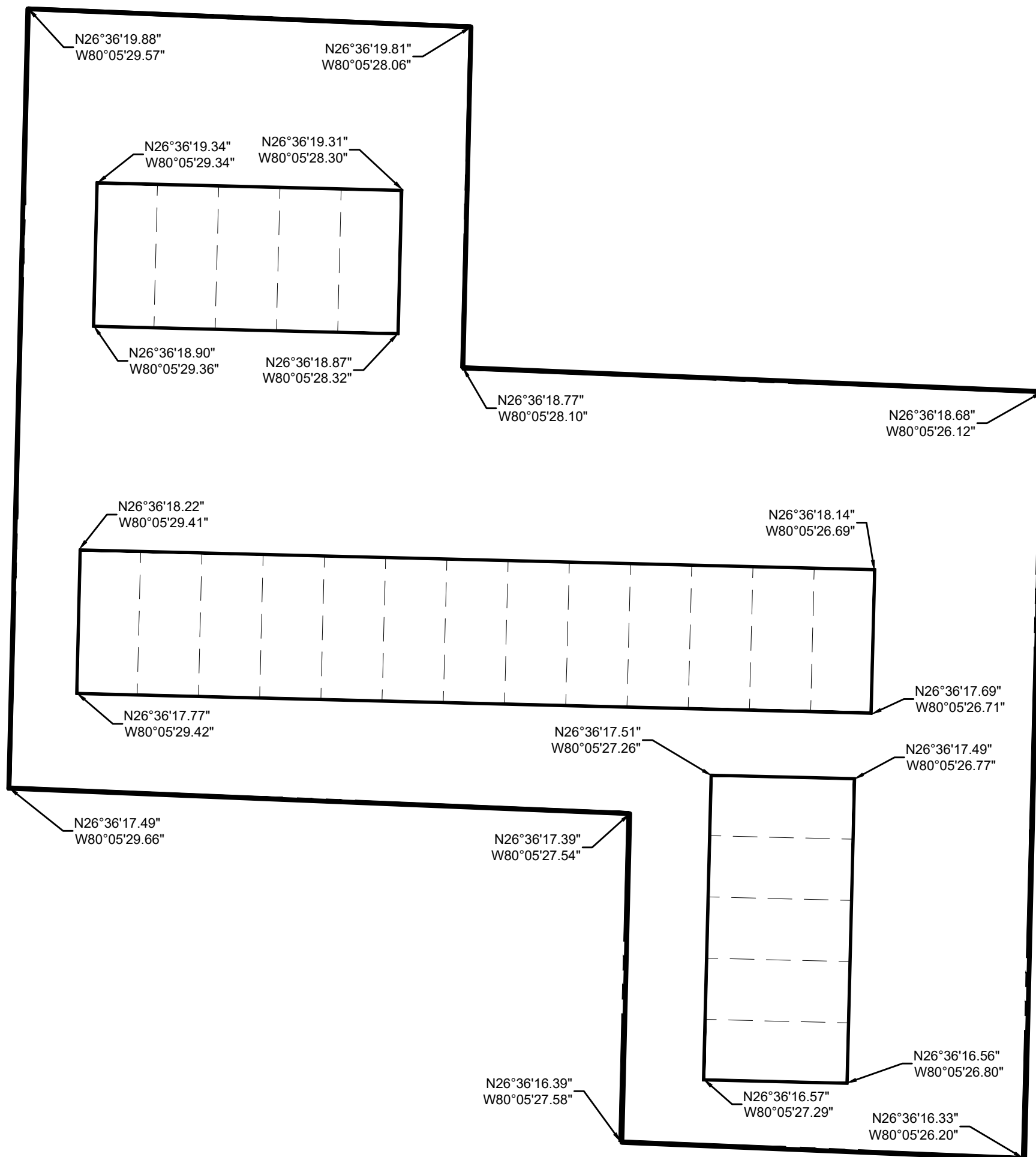


- LEGEND:**
- = IRON ROD AS NOTED
 - = CONCRETE
 - ASPH. = ASPHALT
 - (P) = PLAT
 - (N) = NEASURED
 - = WOOD UTILITY POLE
 - = DOWNSIDE WIRES
 - ⊗ = WATER METER
 - ⊕ = FIRE HYDRANT
 - ⊖ = GATE VALVE
 - ⊘ = GATE BASIN
 - ⊙ = ELECTRIC UTILITY
 - ⊚ = CABLE TV UTILITY
 - ⊛ = AT&T UTILITY
 - ⊜ = TELEPHONE UTILITY
 - ⊝ = SPOT ELEVATION
 - ⊞ = WATER MANHOLE
 - ✱ = PALM
 - ✱ = PINE
 - = OAK
 - ⊙ = SEAGRAPE

REVISIONS:
1) ADD TREES 03-30-21

PREPARED BY:
Bob Buggee, Inc.
the "SURVEYOR"
P.O. BOX 243887
BOYNTON BEACH, FLORIDA, 33424
SURVEY & MAPPING BUSINESS #7890
561-732-7877





Please review the coordinates filed as they are duplicate coordinates. Please respond electronically to the ADD letter with the corrected coordinates. Do not file another aeronautical study.

Here are the corrected coordinates for the 3 buildings we will be constructing. There are 12 coordinates (4 per box building x 3 buildings).

Thank You

North building

N26°36'19.34"
W80°05'29.34"

N26°36'19.31"
W80°05'28.30"

N26°36'18.90"
W80°05'29.36"

N26°36'18.87"
W80°05'28.32"

Middle building

N26°36'18.22"
W80°05'29.41"

N26°36'18.14"
W80°05'26.69"

N26°36'17.77"
W80°05'29.42"

N26°36'17.69"
W80°05'26.71"

South building

N26°36'17.51"
W80°05'27.26"

N26°36'17.49"
W80°05'26.77"

N26°36'16.57"
W80°05'27.29"

N26°36'16.56"
W80°05'26.80"



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2021-ASO-19323-OE

Issued Date: 06/17/2021

Spencer Rich
Princeton Court LLC
17290 Whitehaven Drive
Boca Raton, FL 33496

****DETERMINATION OF NO HAZARD TO AIR NAVIGATION FOR TEMPORARY STRUCTURE****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Construction Equipment Construction Equipment
Location:	Village of Palm Springs, FL
Latitude:	26-36-16.00N NAD 83
Longitude:	80-05-30.00W
Heights:	12 feet site elevation (SE) 30 feet above ground level (AGL) 42 feet above mean sea level (AMSL)

This aeronautical study revealed that the temporary structure does not exceed obstruction standards and would not be a hazard to air navigation provided the condition(s), if any, in this letter is (are) met:

****SEE ATTACHMENT FOR ADDITIONAL CONDITION(S) OR INFORMATION****

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of a structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this temporary structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Aviation Administration Flight Procedures Office if the structure is subject to the issuance of a Notice To Airman (NOTAM).

If you have any questions, please contact our office at (404) 305-6462, or mike.blaich@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-ASO-19323-OE

Signature Control No: 482064467-485085724

(TMP)

Michael Blaich
Specialist

Additional Condition(s) or Information for ASN 2021-ASO-19323-OE

Proposal: To construct and/or operate a(n) Construction Equipment to a height of 30 feet above ground level, 42 feet above mean sea level.

Location: The structure will be located 0.83 nautical miles northwest of LNA Airport reference point.

Part 77 Obstruction Standard(s) Exceeded and Aeronautical Impacts, if any:

Based on this aeronautical study, the structure would not constitute a substantial adverse effect on aeronautical operations or procedures because it will be temporary. The temporary structure would not be considered a hazard to air navigation provided all of the conditions specified in this determination are strictly met.

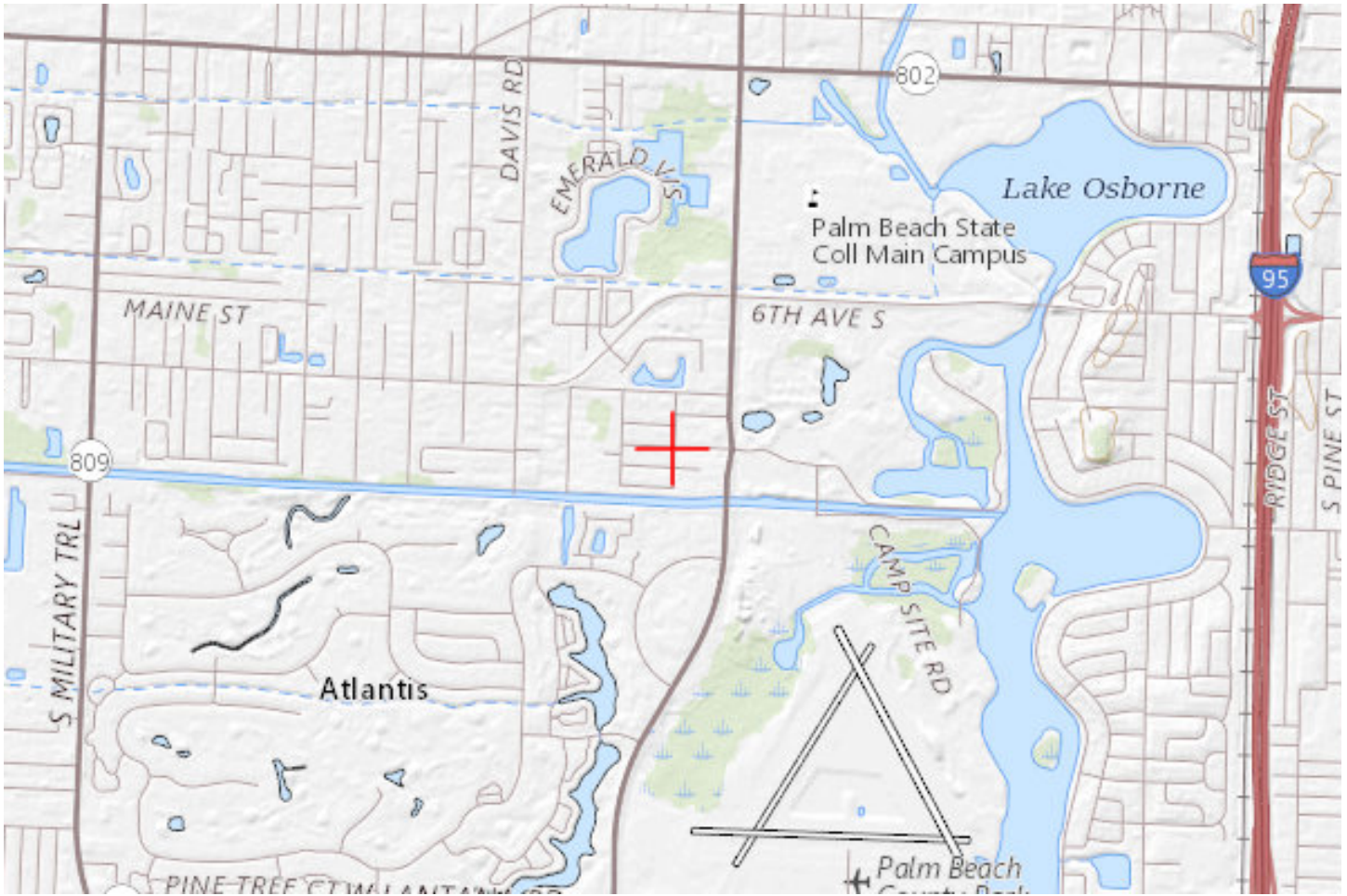
Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

It is required that the manager of PALM BEACH COUNTY PARK, (561) 471-7420 be notified at least 3 business days prior to the temporary structure being erected and again when the structure is removed from the site.

This determination expires on 12/17/2022 unless extended, revised, or terminated by the issuing office.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

Temporary equipment used for building construction.







Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2021-ASO-19324-OE

Issued Date: 06/17/2021

Spencer Rich
 Princeton Court LLC
 17290 Whitehaven Drive
 Boca Raton, FL 33496

****DETERMINATION OF NO HAZARD TO AIR NAVIGATION FOR TEMPORARY STRUCTURE****

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	30 feet above ground level (AGL)
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Signature Control No: 482064868-485085725

(TMP)

Michael Blaich
Specialist

Additional Condition(s) or Information for ASN 2021-ASO-19324-OE

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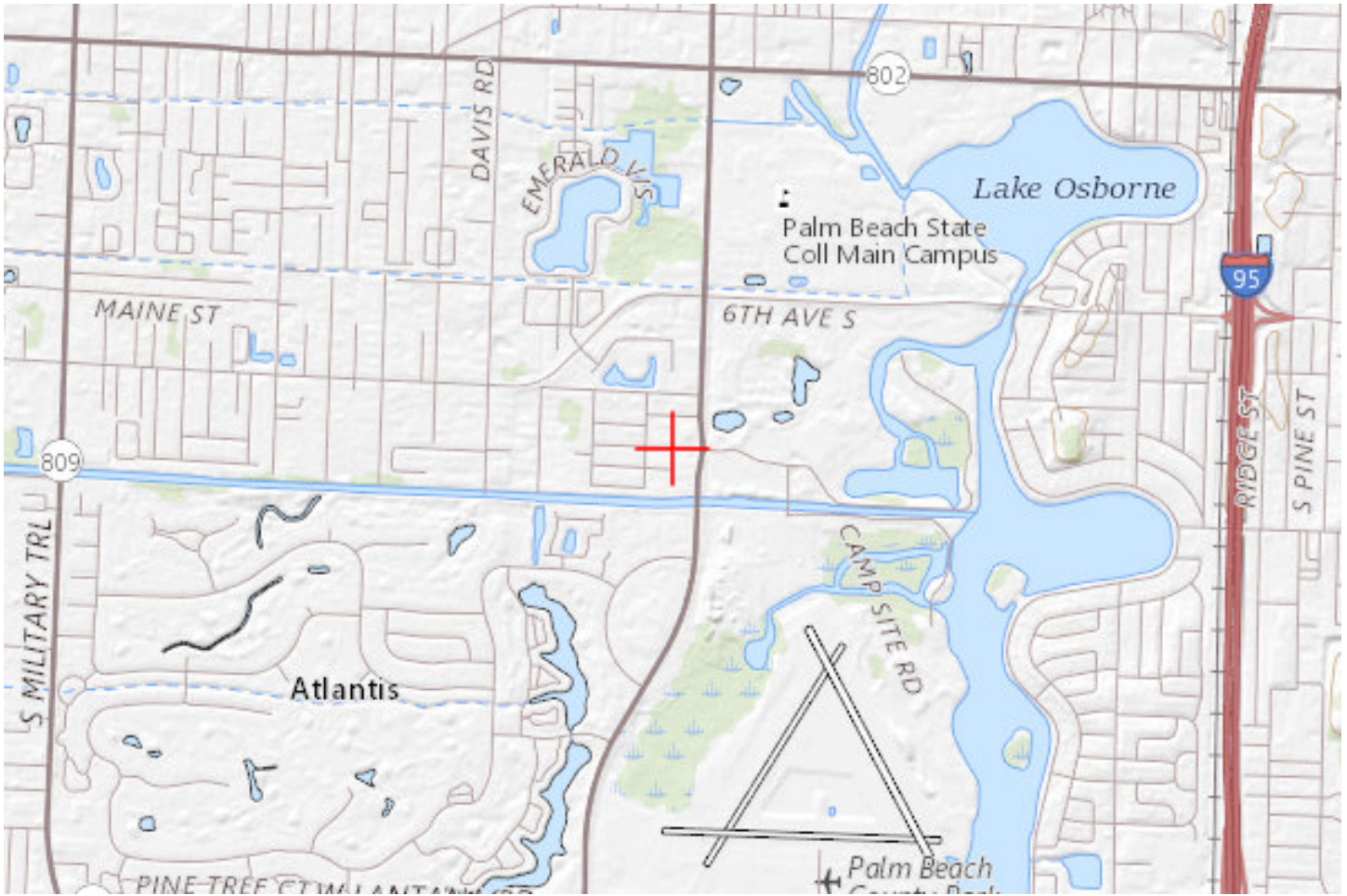
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Temporary equipment used for building construction.







Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2021-ASO-19322-OE

Issued Date: 06/17/2021

Spencer Rich
Princeton Court LLC
17290 Whitehaven Drive
Boca Raton, FL 33496

****DETERMINATION OF NO HAZARD TO AIR NAVIGATION FOR TEMPORARY STRUCTURE****

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If you have any questions, please contact our office at (404) 305-6462, or mike.blaich@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-ASO-19322-OE

Signature Control No: 482064119-485085726

(TMP)

Michael Blaich
Specialist

Additional Condition(s) or Information for ASN 2021-ASO-19322-OE

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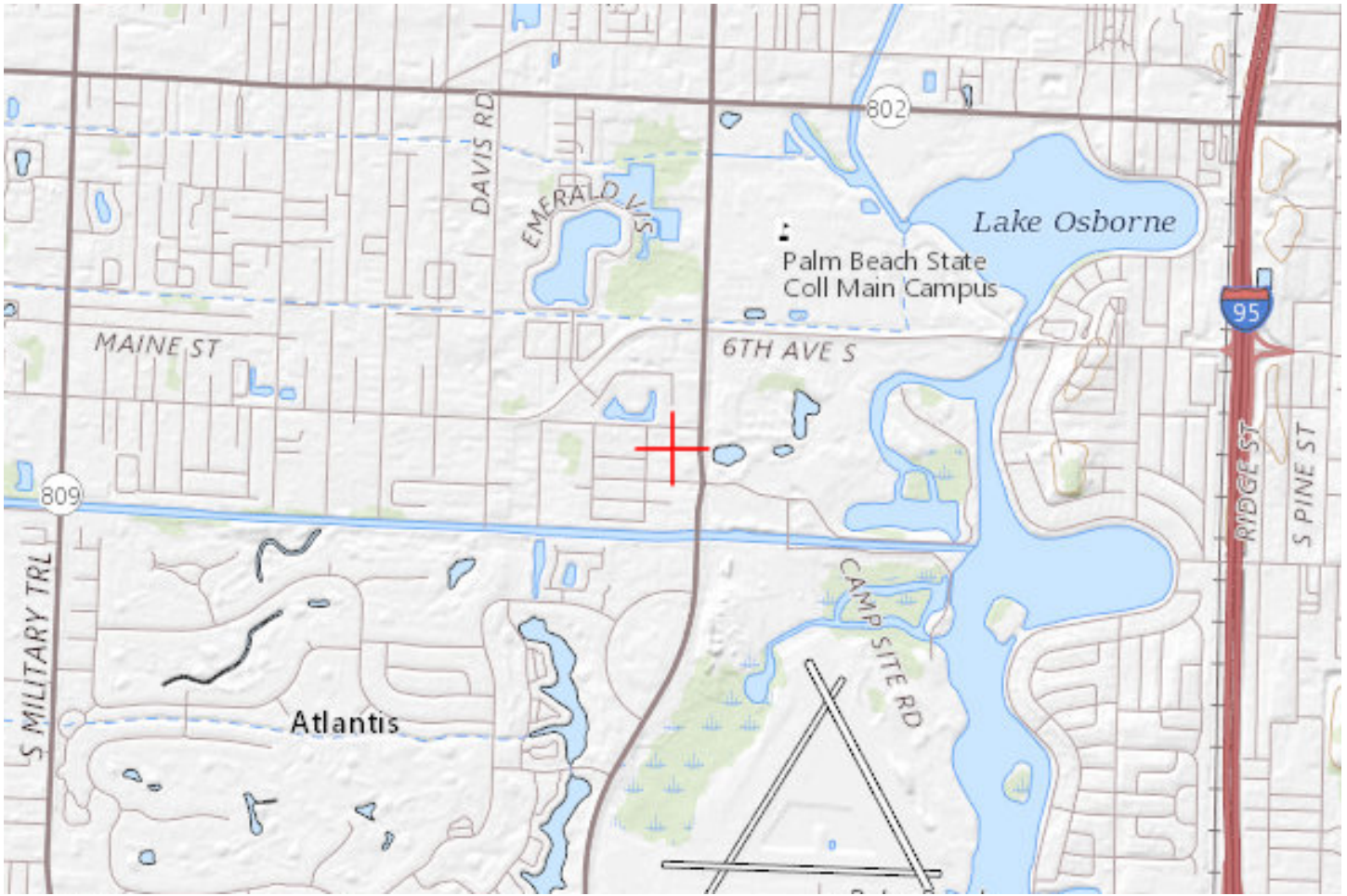
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Temporary equipment used for building construction.

TOPO Map for ASN 2021-ASO-19322-OE







Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2021-ASO-19321-OE

Issued Date: 06/17/2021

Spencer Rich
 Princeton Court LLC
 17290 Whitehaven Drive
 Boca Raton, FL 33496

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If you have any questions, please contact our office at (404) 305-6462, or mike.blaich@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-ASO-19321-OE

Signature Control No: 482063614-485085727

(TMP)

Michael Blaich
Specialist

Additional Condition(s) or Information for ASN 2021-ASO-19321-OE

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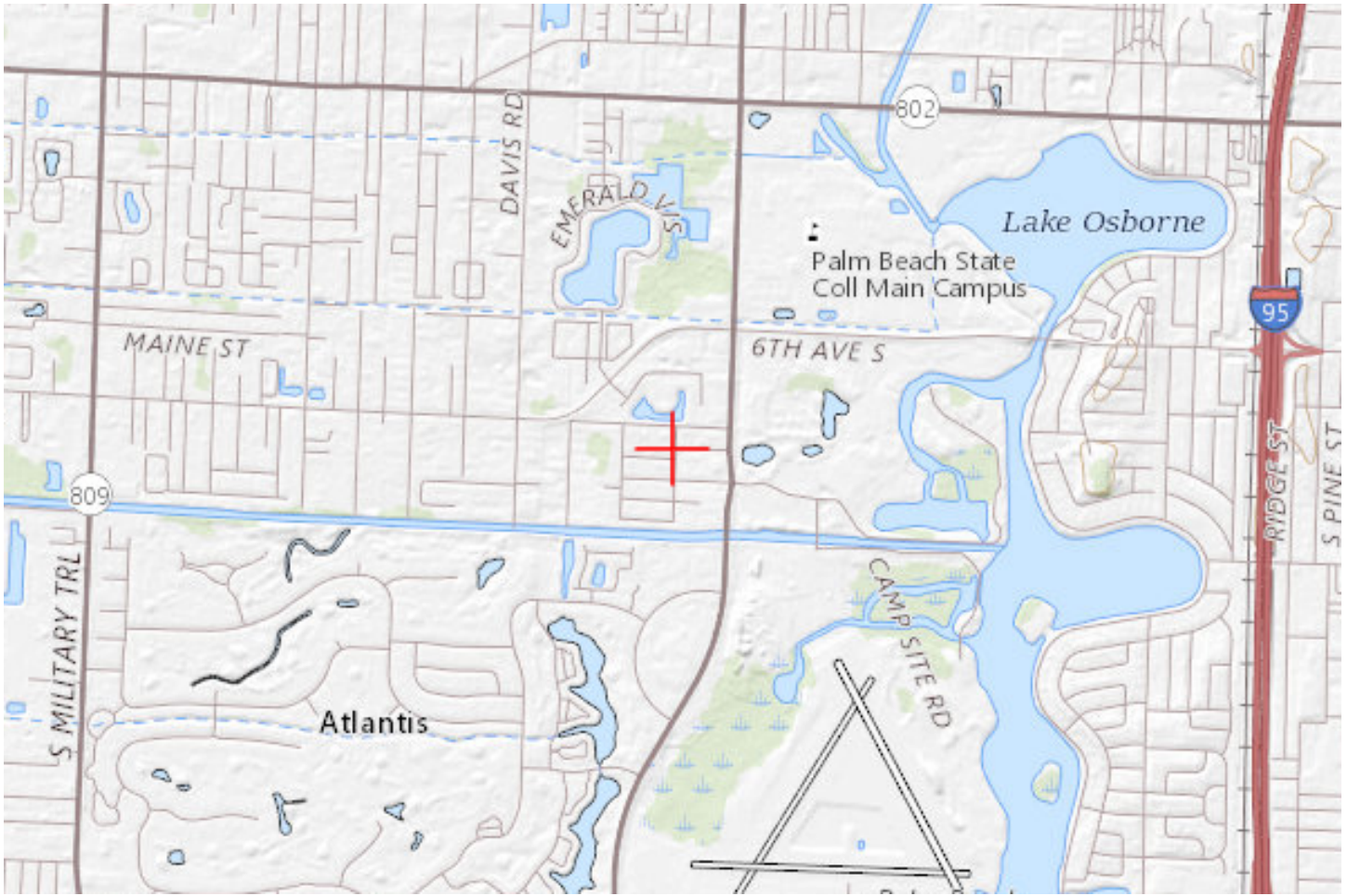
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NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

Temporary equipment used for building construction.

TOPO Map for ASN 2021-ASO-19321-OE



Common Facilities Statement

Prince Place

Village of Palm Springs, Florida

June 1, 2021

Common Facilities including but not limited to roads, sidewalks, parking areas, driveways, landscaping, benches, mailboxes, trash cans, bike racks, etc. shall be maintained by the Developer and/or Homeowners Association in perpetuity. Perpetual maintenance and funding for these items shall be detailed within proposed homeowner documents and deed restrictions.

Village of Palm Springs Development Review

DATE: 8/24/2021
DESCRIPTION: Prince Place – Site Plan Application
APPLICANT: Miles Rich, Rich Properties FL
OWNER: Prince Partners
APPLICATION TYPE: Site Plan (Minor/Major)
REQUEST: Site Plan & Landscape Plan Review
LOCATION: 3075 Prince Dr., Palm Springs, FL 33461
STAFF REVIEW: **RECOMMENDATION OF APPROVAL**

The Engineering Department has the following comments:

Justification Statement

All previous Justification Statement comments have been addressed and/or satisfied.

Site Plan

All previous site plan comments have been addressed and/or satisfied.

Landscape Plan

All previous landscape plan comments have been addressed and/or satisfied.

The Engineering Department recommends approval of the application with the following comments:

- 1) [Previously Comment #11] **Prior to permit closeout, submit proposed homeowner documents and deed restrictions to the Village Attorney. Covenants and restrictions shall be recorded in a legal Declaration and recorded in the official records for Palm Beach County.**

- 2) [Originally Comment #16] **Prior to permit closeout, submit approved administrative variance removing the requirement of a loading space as required in Sec. 34.1333.**

- 3) [Original Comment #34] **Screen or wrap of transformer, the design of the wraps must be presented to the Village and approved prior to procurement of the materials and installation.**

- 4) [Previously Comment #45] **Submit Final Plat for review prior to recording with PBC. Plat shall meet following requirements. Provide a survey tie to the lift station easement. Easements shall be 12 feet wide. Include provision for the right but not the responsibility of the Village to maintain the drainage systems.**

- 5) [New comment.] **Revise Plat Easement No. 6. Reservation shall be reserved for the Prince Place Homeowner's Association Inc for the construction and maintenance of wastewater lift station. Include provision for the right but not the responsibility of the Village to maintain the systems.**

- 6) [New comment.] **Erosion Control Plan, contractor is to indicate on plans prior to start of construction the location of concrete wash out area. Area to meet minimum FDEP standards.**

This letter has been prepared by the following individual, in association with their consultants and subconsultants:



Brent Whitfield, P.E.
Chen Moore and Associates
Tel: 561.746.6900 x 1160
Email: bwhitfield@chenmoore.com



August 31, 2021

Todd N. McLeod, P.E.
McLeod McCarthy & Associates, P.A.
1655 Palm Beach Lakes Blvd., Suite 901
West Palm Beach, FL 33401

**Department of Engineering
and Public Works**

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbcgov.com



**Palm Beach County
Board of County
Commissioners**

- Dave Kerner, Mayor
- Robert S. Weinroth, Vice Mayor
- Maria G. Marino
- Gregg K. Weiss
- Maria Sachs
- Melissa McKinlay
- Mack Bernard

County Administrator

Verdenia C. Baker

**RE: The Prince Place Project
Project #: 210404
Traffic Performance Standards (TPS) Review-Revised**

Dear Mr. McLeod:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, revised August 30, 2021, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality: Palm Springs
Location: North side of Prince Drive, about 300 feet west of Congress Avenue
PCN: 70-43-44-30-01-098-53/-0040/-0030
Access: One access driveway connection onto Prince Drive and onto Paetzold Drive
(As used in the study and is NOT necessarily an approval by the County through this TPS letter)
Existing Uses: Vacant
Proposed Uses: Low-rise Multi-Family Residential = 21 DU
New Daily Trips: 154
New Peak Hour Trips: 10 (2/8) AM; 12 (8/4) PM
Build-out: December 31, 2023

Based on our review, the Traffic Division has determined the proposed development generates less than 20 peak hour trips; therefore, the project meets the TPS of Palm Beach County.

The following should be addressed for site access:

1. Driveway radius cannot extend past projected property line.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

*"An Equal Opportunity
Affirmative Action Employer"*



Todd N. McLeod, P.E.
August 31, 2021
Page 2

No building permits are to be issued by the City after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email QBari@pbcgov.org.

Sincerely,

Quazi Bari, P.E., PTOE
Manager – Growth Management
Traffic Division

QB:HA:jc

cc: Addressee
Iramis Cabrera, Interim PZ&B Director, Village of Palm Springs
Hanane Akif, P.E., Project Coordinator II, Traffic Division
Bogdan Piorkowski, P.E., Sr. Prof. Engineer, Traffic Division
Steve Bohovsky, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2021\210404 - THE PRINCE PLACE PROJECT - REVISED.DOCXN



THE SCHOOL DISTRICT OF
PALM BEACH COUNTY, FL

KRISTIN K. GARRISON
DIRECTOR

WANDA F. PAUL, M.Ed., MBA
CHIEF OPERATING OFFICER

PLANNING AND INTERGOVERNMENTAL RELATIONS
3661 INTERSTATE PARK RD. N., STE 200
RIVIERA BEACH, FL. 33404

PHONE: 561-434-8020 / FAX: 561-357-1193
WWW.PALMBEACHSCHOOLS.ORG/PLANNING

SCHOOL CAPACITY AVAILABILITY DETERMINATION (SCAD)

Application	Submittal Date	05/17/2021		
	SCAD Case No.	21051701F/FLU; 21042701Z/Rezoning; 21042701D/D. O.		
	FLU /Rezoning/D.O. No.	Not Provided – Village of Palm Springs		
	PCN No. / Address	70-43-44-30-01—098-0040;0053;0030 /3075 Prince Drive		
	Development Name	Prince Place		
	Owner / Agent Name	Prince Partners / Miles Rich		
	SAC No.	210D		
	Proposed FLU Proposed Rezoning Proposed D. O.	Maximum 30 Residential Units Maximum 25 Residential Units 23 Multi-Family Units		
Impact Review		Barton Elementary School	Lake Worth Middle School	Lake Worth High School
	# of New Students Generated	3	2	2
	Capacity Available	188	42	56
	Utilization Percentage	87%	97%	98%
School District Staff's Recommendation	Based on the findings and evaluation of the proposed development, there will be no negative impact on the School District of Palm Beach County public school system. Therefore, the School District has no comment on the SCAD application for Prince Place.			
Validation Period	1) This determination is valid from 05/17/2021 to 05/16/2022 or the expiration date of the site-specific development order approved during the validation period. 2) A copy of the approved D.O. must be submitted to the School District Planning Department prior to 05/16/2022 or this determination will expire automatically on 05/16/2022 .			
Notice	School age children may not necessarily be assigned to the public school closest to their residences. Students in Palm Beach County are assigned annually to schools under the authority of the School Board and by direction of the Superintendent, public school attendance zones are subject to change.			

Joyce Cai

May 17, 2021

School District Representative Signature

Date

Joyce C. Cai, Senior Planner

joyce.cai@palmbeachschools.org

Print Name & Title of School District Representative

Email Address

CC: Iramis Cabrera, PZ&B Interim Director, Village of Palm Springs
Joyell Shaw, PIR Manager, School District of Palm Beach County

The School District of Palm Beach County, Florida
A Top High-Performing A Rated School District
An Equal Education Opportunity Provider and Employer

From: Christopher Schulle cschulle@wasteprousa.com
Subject: RE: Townhouse request
Date: June 1, 2021 at 12:47 PM
To: Miles Rich milesrich@me.com
Cc: Iramis Cabrera icabrera@vpsfl.org, Jason JasonLA1677@yahoo.com

Good afternoon,
As I stated a couple of times Waste Pro has no issues servicing the community.

Chris Schulle
Division Manager
Office # 561-688-8912
Fax # 561-688-8914
Cell # 772-216-4876

From: Miles Rich <milesrich@me.com>
Sent: Tuesday, June 1, 2021 12:43 PM
To: Christopher Schulle <cschulle@wasteprousa.com>
Cc: Iramis Cabrera <icabrera@vpsfl.org>; Jason <JasonLA1677@yahoo.com>
Subject: Fwd: Townhouse request

Hello I am attaching the below email , as we spoke on phone you already approved the project and sent your comment to Iramis and the Village. Please if you can confirm just so I have it on record, and I can satisfy my comments.

Miles Rich
Richbuilt Construction
JSM Delray LLC
CGC1528301
milesrich@me.com
561-927-7885
<https://www.richbuiltsons.com>

Greetings Iramis. Since the development does not appear to be on the State Highway System or directly impact it, the Department has no formal comments.



Larry Hymowitz
Planning Specialist, Policy and Mobility Planning Section
Planning & Environmental Management - FDOT District Four
p: (954) 777-4663 f: (954) 677-7892
a: 3400 W. Commercial Boulevard, Ft. Lauderdale, FL 33309
e: lhymowitz@dot.state.fl.us w: www.dot.state.fl.us



From: Iramis Cabrera <icabrera@vpsfl.org>
Sent: Monday, April 26, 2021 4:59 PM
To: Wil Hicks <whicks@pbia.org>; Hymowitz, Larry <Larry.Hymowitz@dot.state.fl.us>; Jean St. Simon <jssimon@lakeworthbeachfl.gov>; Paul Nicholas <pnicholas@lakeworthbeachfl.gov>; Rudershausen, Elsa - Miami, FL <Elsa.M.Rudershausen@usps.gov>; tcmahon@wasteprousa.com; Christopher Schulle <cschulle@wasteprousa.com>; Michael Owens <michael.owens.1@palmbeachschools.org>; Yash Nagal <YNagal@pbcgov.org>
Subject: Prince Place

EXTERNAL SENDER: Use caution with links and attachments.

Good afternoon,

Attached are the plans for the proposed residential project at 3075 Prince Dr. Please review the plans and let me know if you have any comments.

Thanks.

4-5-2021

Good afternoon Iramis,

LWDD has no objection to the certification of this petition as it is not located near a canal.

This site is located north of the L-14 Canal and is not adjacent.

Thank you.

Anne Perry Schreiner

Anne Perry Schreiner | Right-of-Way Specialist

Lake Worth Drainage District | 13081 Military Trail | Delray Beach, Florida 33484

Direct Line | 561.819.5577 | Main Line 561.498. 5363 | Fax | 561.495.9694



8-13-2021

No fire rescue comments. Thank you.

Wesley Jolin, IAAI-CFI[®]
Fire Safety Specialist
Palm Beach County Fire Rescue
wjolin@pbcgov.org
561.233.2695
2300 North Jog Road: Suite 1E-40
West Palm Beach FL 33411



APPLICATION DATA:

NAME OF APPLICATION: PRINCE PLACE
 PARCEL ID: NORTH PARCEL: 70-43-44-30-01-098-0030
 CENTRAL PARCEL: 70-43-44-30-01-098-0040
 SOUTH PARCEL: 70-43-44-30-01-098-0053
 3075 PRINCE DRIVE, PALM SPRINGS
 SITE ADDRESS:
 EXISTING FUTURE LAND USE: COMMERCIAL
 PROPOSED FUTURE LAND USE: HIGH DENSITY RESIDENTIAL (HDR)
 EXISTING ZONING DESIGNATION: COMMERCIAL GENERAL (CG)
 PROPOSED ZONING DESIGNATION: RESIDENTIAL MULTIPLE FAMILY (RM) (PUD)
 HISTORIC DISTRICT: N/A
 EXISTING USE: VACANT COMMERCIAL
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL (21 UNITS)
 PROPOSED DENSITY: 13.0 D.U.'S./ACRE

SITE DATA:

MIN. LOT AREA REQUIRED: 3 ACRES (130,680 S.F.)
 GROSS LOT AREA: *1.62 ACRES (70,562.05 S.F.)
 *WAIVER REQUESTED
 MAX. BLDG. HEIGHT: 35' (3 STORIES)
 PROPOSED BLDG. HEIGHT: 23'-5" (2 STORIES)
 (BUILDING HEIGHT MEASURED FROM ADJACENT GRADE AT BASE OF BUILDING TO THE AVG. HEIGHT LEVEL BETWEEN THE EAVES AND THE ROOF RIDGE ON GABLE, HIP OR GAMBREL ROOFS).
 MAX. BLDG. LOT COVERAGE ALLOWED: 40% (28,225 S.F.)
 BLDG. COVERAGE PROVIDED: 26.6% (18,760.5 S.F.)
 OPEN SPACE REQUIRED: 35% (24,697 S.F.)
 OPEN SPACE PROVIDED: 43.6% (30,730 S.F.)
 COMMON AMENITY AREA REQUIRED: 4,939.4 S.F. (MIN. 20% OF OPEN SPACE)
 COMMON AMENITY SPACE PROVIDED: 6,038 S.F. (24.4% OF OPEN SPACE)
 IMPERVIOUS AREA PROVIDED: 38,903.04 S.F. (55%)
 PERVIOUS AREA PROVIDED: *31,659.01 S.F. (45%)
 *UTILIZES 25% OF PERVIOUS PARKING AREA FOR CALCULATION

SETBACKS

SETBACK	REQUIRED	PROVIDED
FRONT	25'	*20' (1)
SIDE	20'	20'
SIDE CORNER	25'	25'
REAR	20'	20'

*WAIVER REQUESTED

PARKING DATA:

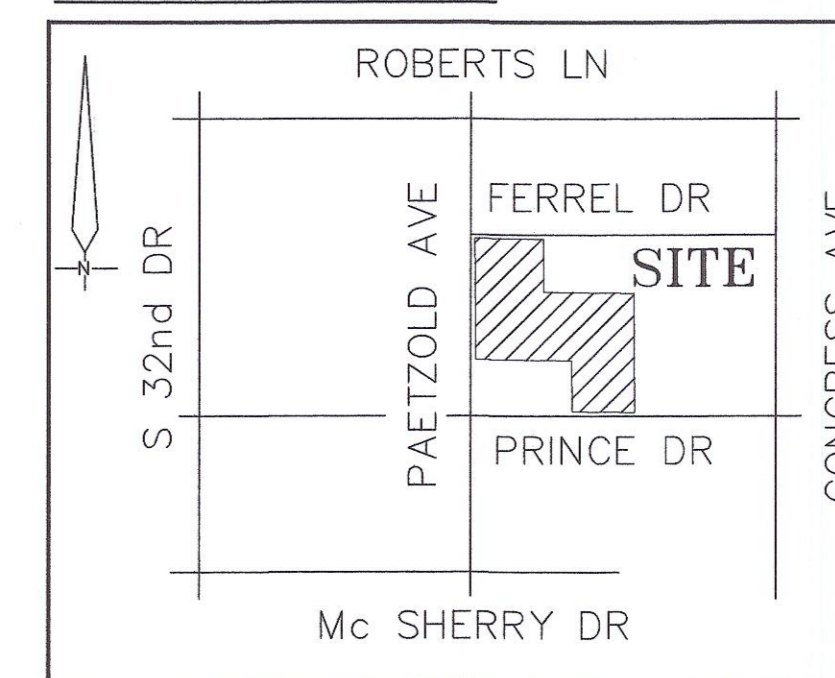
USE	UNITS	PARKING RATE	REQUIRED PARKING
MULTI-FAMILY RESIDENTIAL	21 UNITS	2.5 SP./UNIT	52.5 SPACES
GUEST PARKING		25% OF REQ'D	13 SPACES
TOTAL PARKING REQUIRED:			66 SPACES
TOTAL PARKING PROVIDED:			*66 SPACES
HANDICAP SPACES REQ'D.:			**1 SPACE
HANDICAP SPACES PROV.:			1 SPACE

*INCLUDES 1 SPACE WITHIN EACH GARAGE
 **BASED ON REQUIRED GUEST SPACES

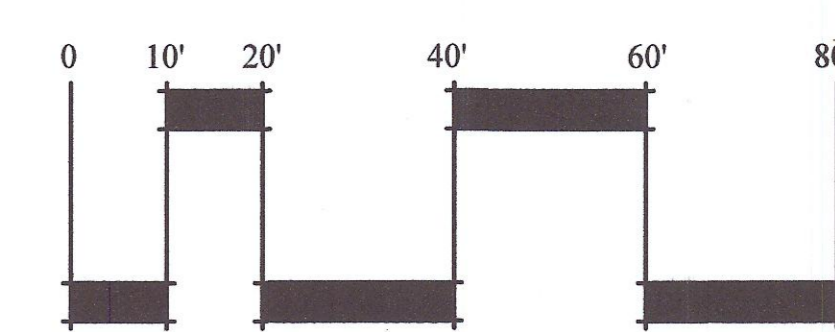
WAIVER CHART

WAIVER	WAIVER SUBJECT	CODE SECTION	REQUIRED	PROPOSED	DEVIATION
(1)	FRONT SETBACK	SEC. 34-766(7)	25'	20'	5'
(2)	MIN. LOT AREA	SEC. 34-1064(c)	3 ACRES	1.62 ACRES	1.38 ACRES
(3)	MIN. LOT AREA PER D/U (21 D/U'S)	SEC. 34-766(1)	186,000 S.F.	70,562 S.F.	115,438 S.F.

LOCATION MAP



Site Plan



Litterick Landscape Architecture

2740 SW Martin Downs Blvd. #199
 Palm City, FL 34990
 561-719-9876
 jason.la1677@yahoo.com

PRINCE PLACE
 Village of Palm Springs, Florida

Project Name

Landscape Architect of Record



Jason M. Litterick, RLA (LA0001677)


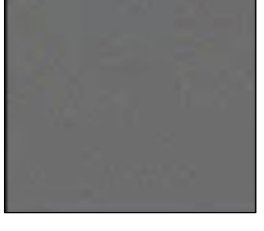
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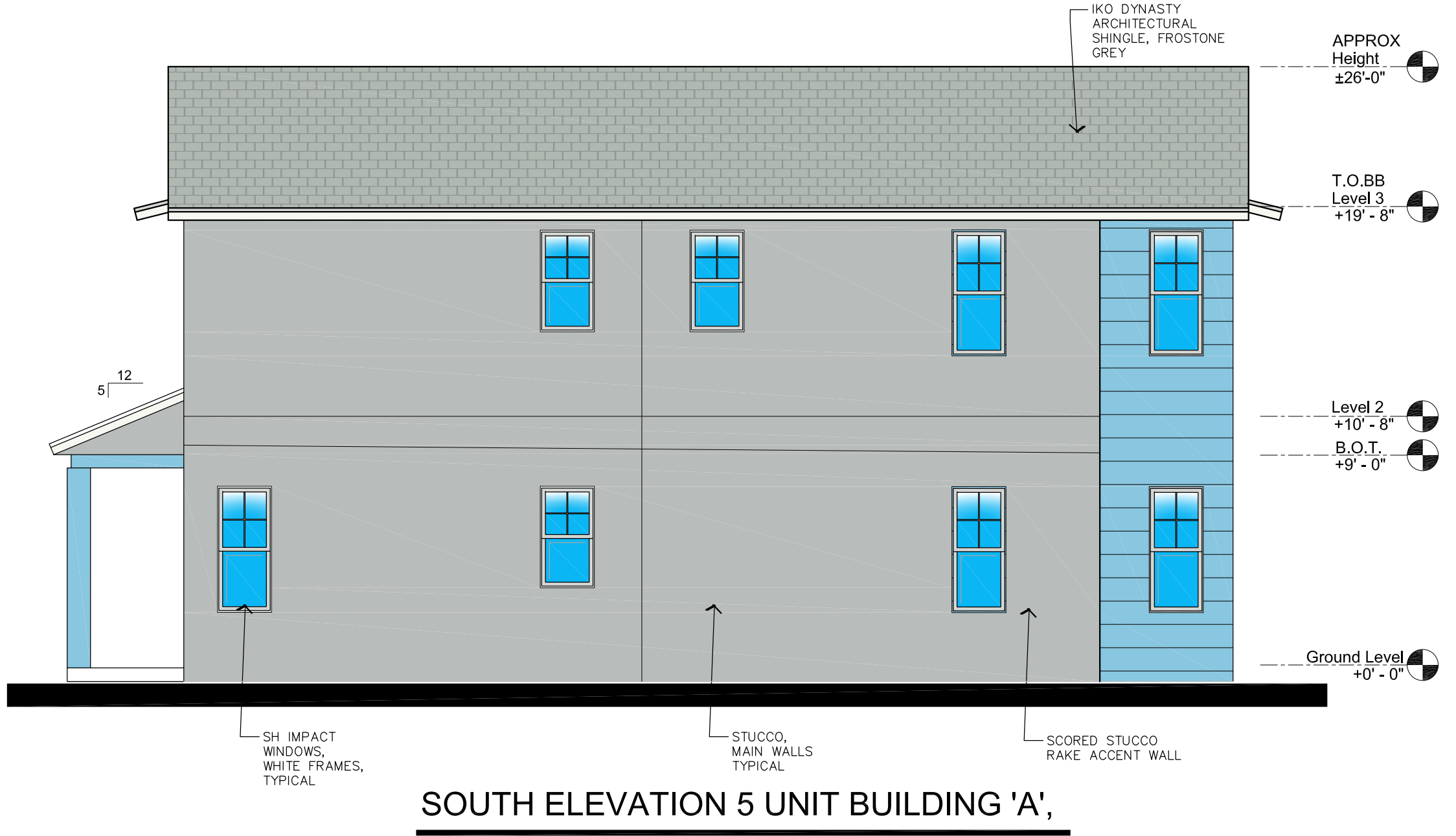
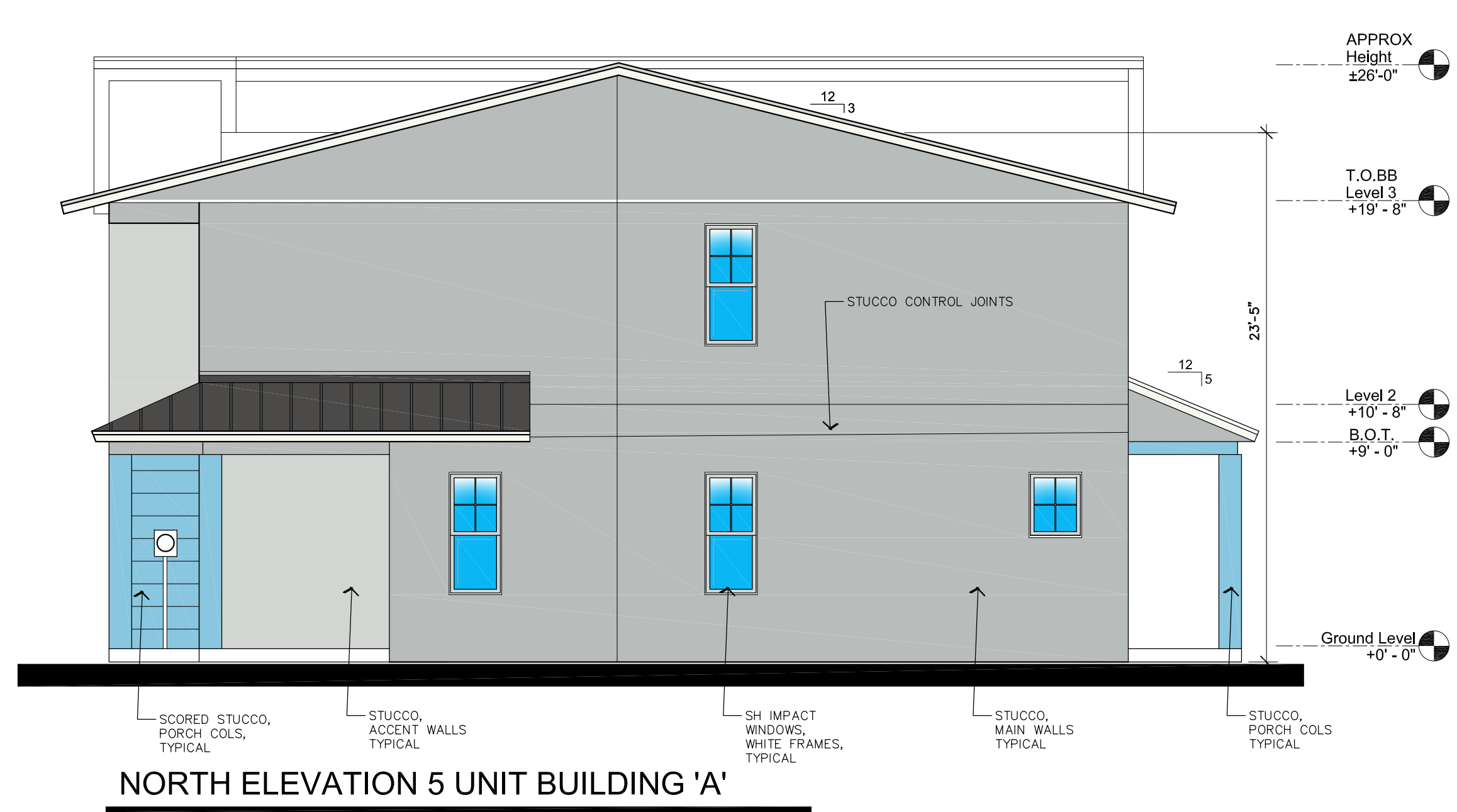
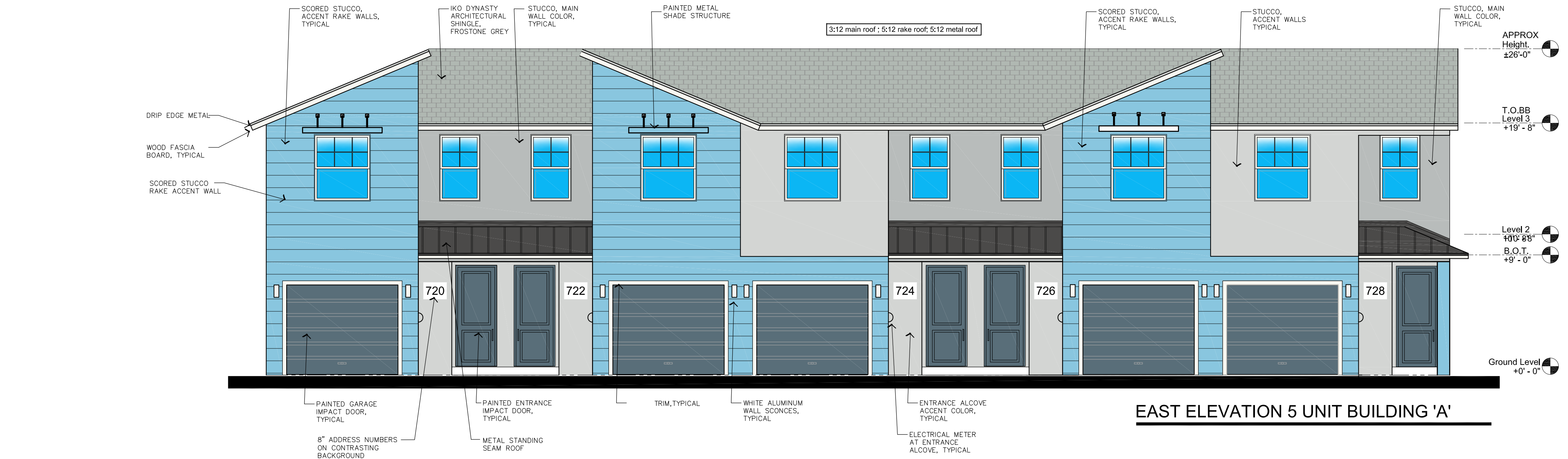
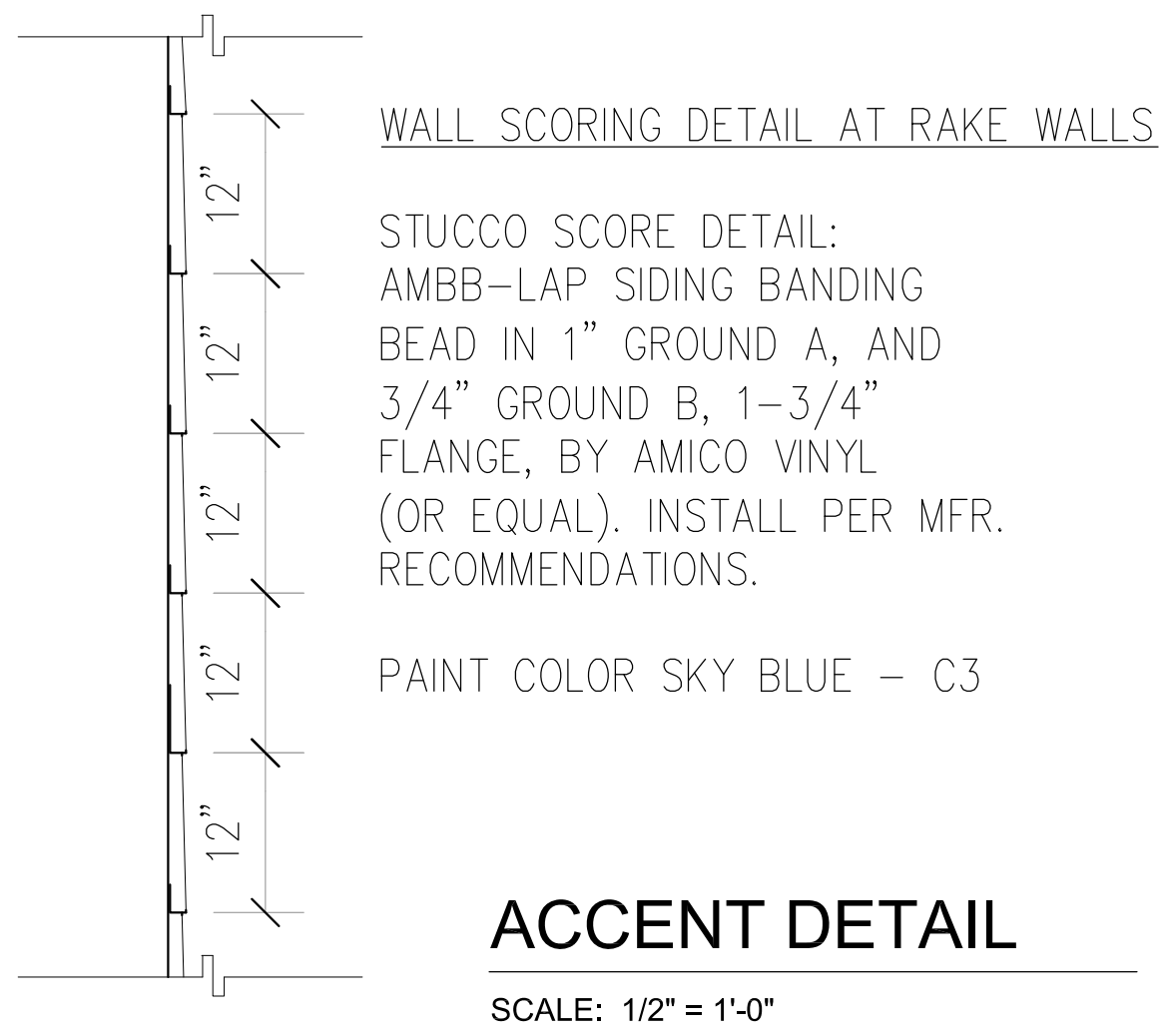
Designed: JML
 Drawn: JML
 Approved: JML
 Date: 6/1/21
 Job no.:
 Revisions: 6/30/21
 8/4/21

Sheet No.

SP-1

EXTERIOR COLOR SELECTIONS

<p>SW 7663 Monorail Silver Interior / Exterior Location Number: 233-C3</p>	<p>EXTERIOR MAIN WALLS, C1 SHERWIN WILLIAMS SW 7663 MONORAIL SILVER</p>
<p>SW 7661 Reflection Interior / Exterior Location Number: 233-C1</p>	<p>EXTERIOR MAIN WALLS, C2 SHERWIN WILLIAMS SW 7661 REFLECTION</p>
<p>SW 9049 Sky Fall Interior / Exterior Location Number: 168-C3</p>	<p>EXTERIOR COLS + RAKE ACCENT WALLS, C3 SHERWIN WILLIAMS SW 9049 SKY FALL</p>
<p>SW 7757 High Reflective White Interior Location Number: 256-C1</p>	<p>EXTERIOR TRIM, C4 SHERWIN WILLIAMS SW 7757 HIGH REFLECTIVE WHITE</p>
<p>SW 7604 Smoky Blue Interior / Exterior Location Number: 233-C7</p>	<p>GARAGE DOORS, C5 SHERWIN WILLIAMS SW 7604 SMOKEY BLUE</p>
<p>SW 7604 Smoky Blue Interior / Exterior Location Number: 233-C7</p>	<p>FRONT DOORS, C5 SHERWIN WILLIAMS SW 7604 SMOKEY BLUE</p>
	<p>FIBERGLASS ROOF SHINGLES, C6 IKO DYNASTY ARCHITECTURAL SHINGLE - FROSTONE GREY</p>
	<p>EXTREME METAL, STANDING SEAM ROOFING, C7 PRE-WEATHERED GALVALUME</p>



KIMBERLY A. DELLASTATIOUS, P.A.
ARCHITECTURE & PLANNING
LIC #AR 0011556

802 W WINDWARD WAY, #308
DUNEDIN, FLORIDA 33462
(561) 582-5622
kimberly@kd-architect.com

SEAL

KIMBERLY A. DELLASTATIOUS
REGISTERED FLORIDA ARCHITECT
#0011556

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITHIN THE APPLICABLE BUILDING CODES AND LOCAL MUNICIPAL ORDINANCES. ALL DRAWINGS, SPECIFICATIONS OR WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE FLORIDA LICENSED ARCHITECT OF RECORD. COPYRIGHT - 2021, KIMBERLY A. DELLASTATIOUS, P.A.

PRESENTATION PLANS
Prince Place
307 Prince Drive
Palm Springs, FL 33461

SUBMITTAL DATES
TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

1	LABEL ELEVATION DIRECTION	06.30.21
2	REMOVE BUILDING B NORTH + SOUTH ELEV'S	07.28.21

DRAWN KD
CHECKED KD
DATE 06.01.2021
SCALE 1/4" = 1'-0"
PROJECT NO 21722

SHEET BLDG 'A' ELEVATION
A4.2

KIMBERLY A. DELLASTATIOUS, P.A.
 ARCHITECTURE & PLANNING
 LIC #AR 0011556

802 W WINDWARD WAY, #308
 GAITHERSBURG, FLORIDA 33462
 (561) 582-5622
 kimdel@kad-architect.com

SEAL

KIMBERLY A. DELLASTATIOUS
 REGISTERED FLORIDA ARCHITECT
 00011556

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 KIMBERLY A. DELLASTATIOUS, P.A.



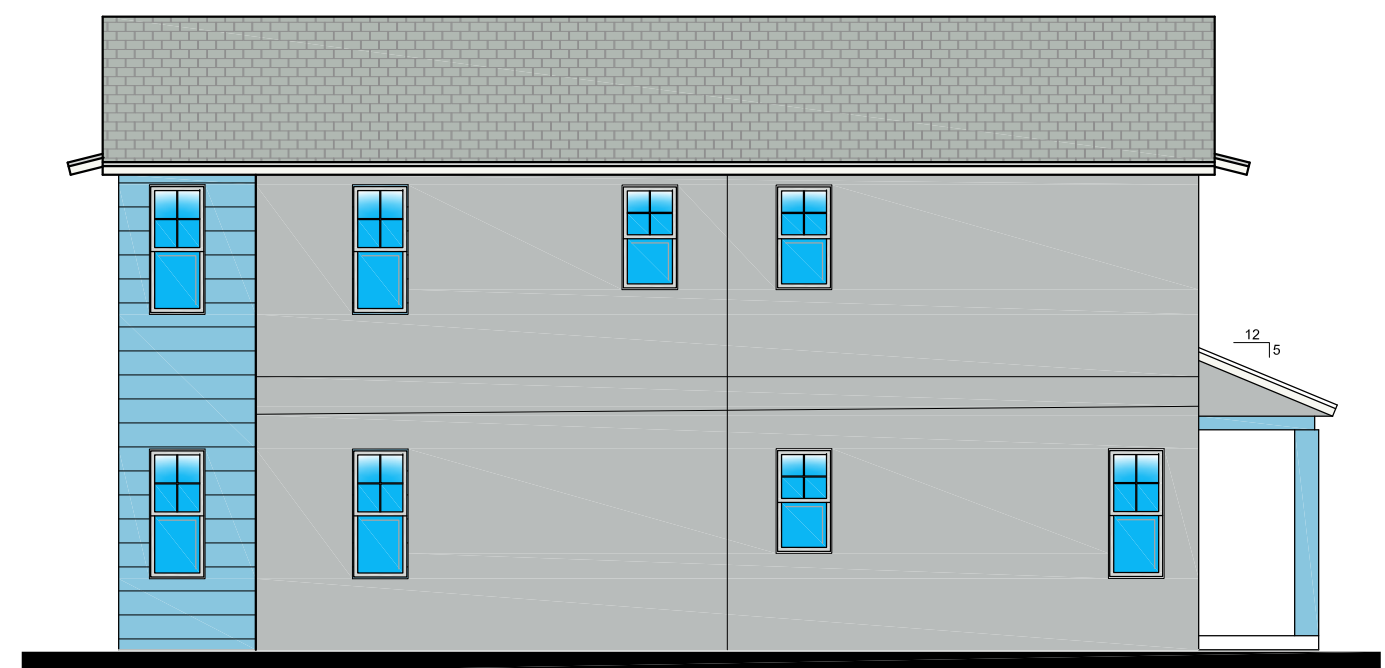
See Typical Elevation Notes and Colors on Sheets A4.1 and A4.2

NORTH ELEVATION BUILDING 'C'



See Typical Elevation Notes and Colors on Sheets A4.1 and A4.2

SOUTH ELEVATION BUILDING 'C'



WEST SIDE ELEVATION BUILDING 'C'

See Typical Elevation Notes and Colors on Sheets A4.1 and A4.2



EAST SIDE ELEVATION BUILDING 'C'

PRESENTATION PLANS

Prince Place
 307 Prince Drive
 Palm Springs, FL 33461

SUBMITTAL DATES
 TO CLIENT

PROGRESS PRINT DATE



REVISION DATES

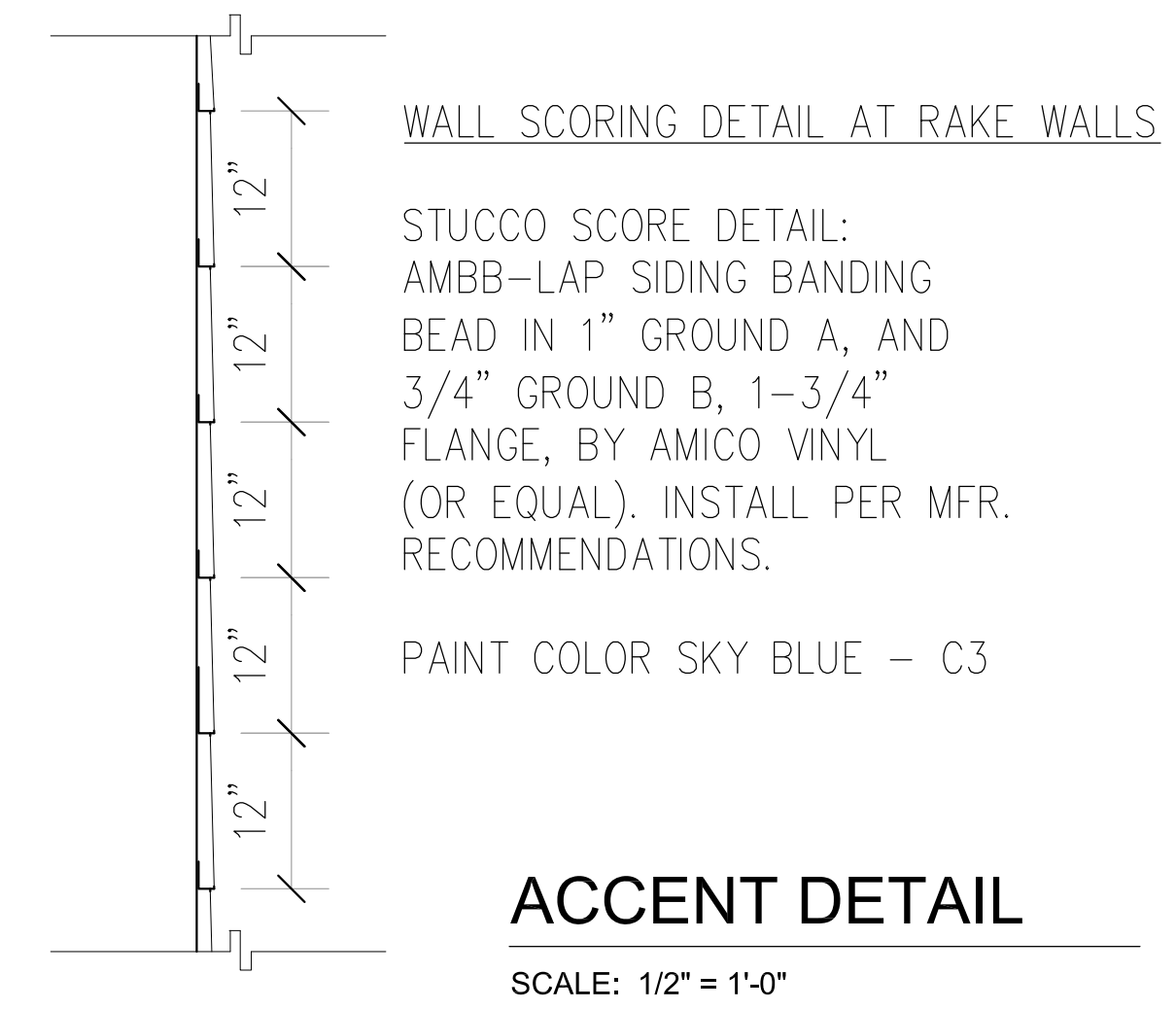
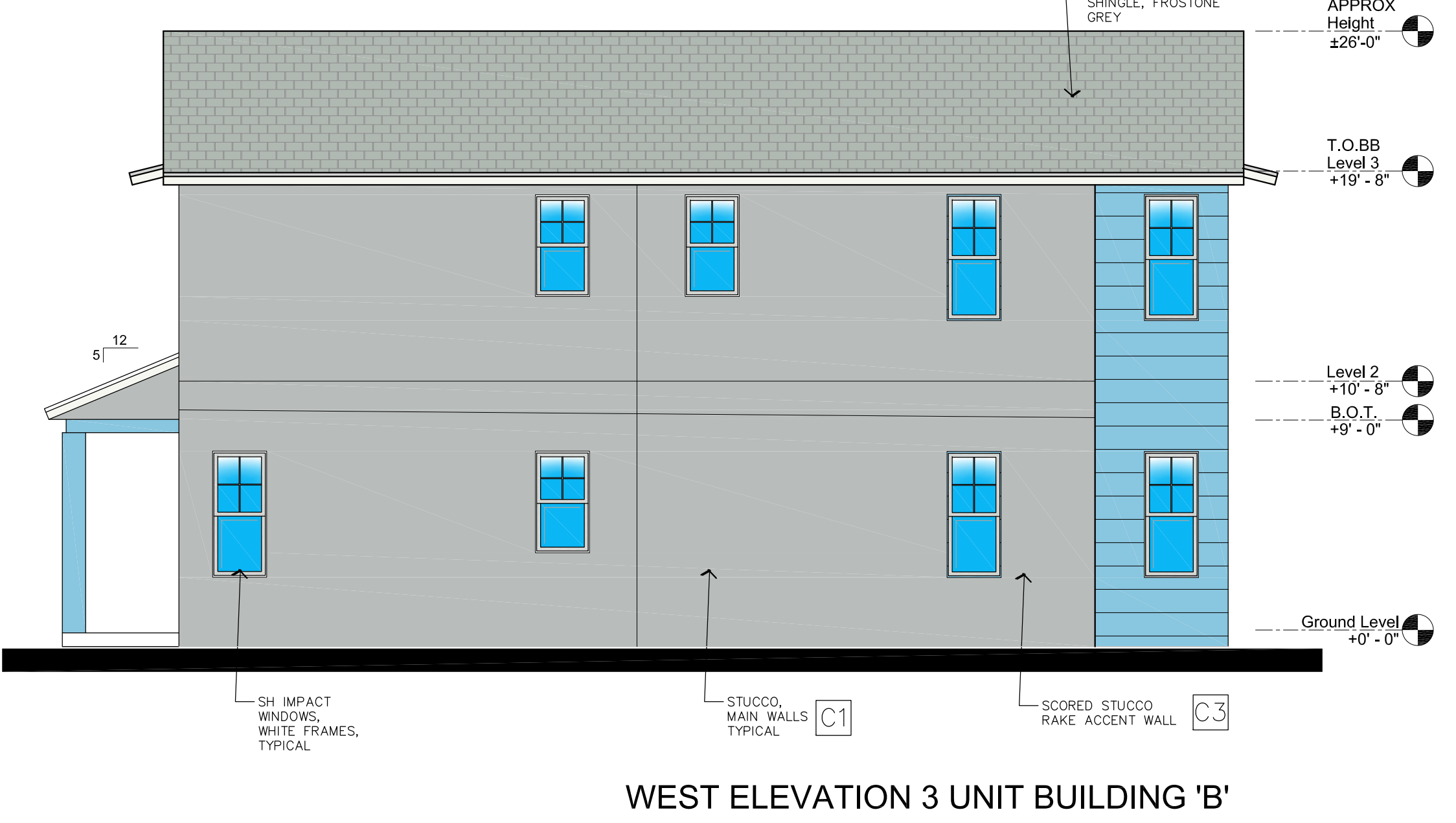
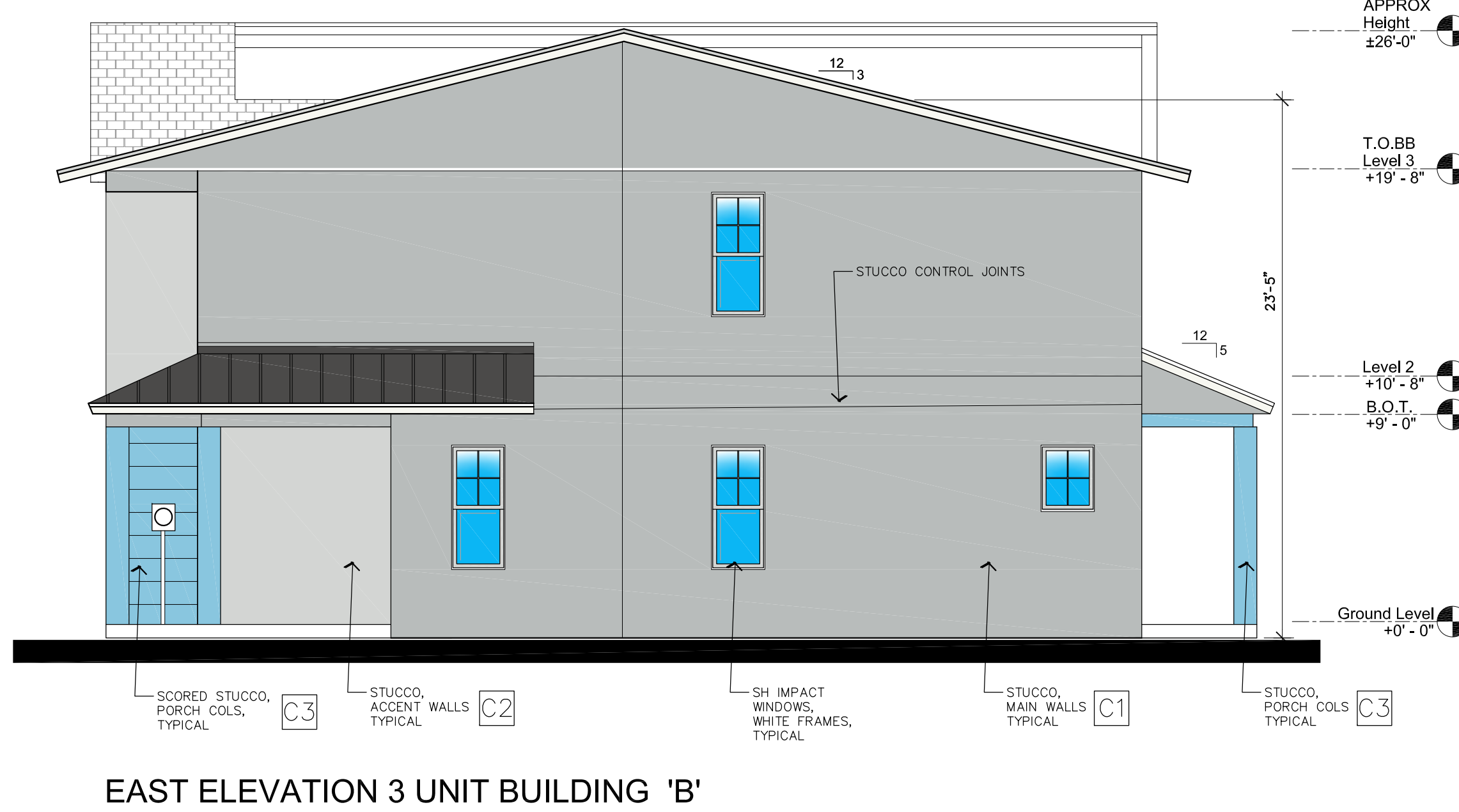
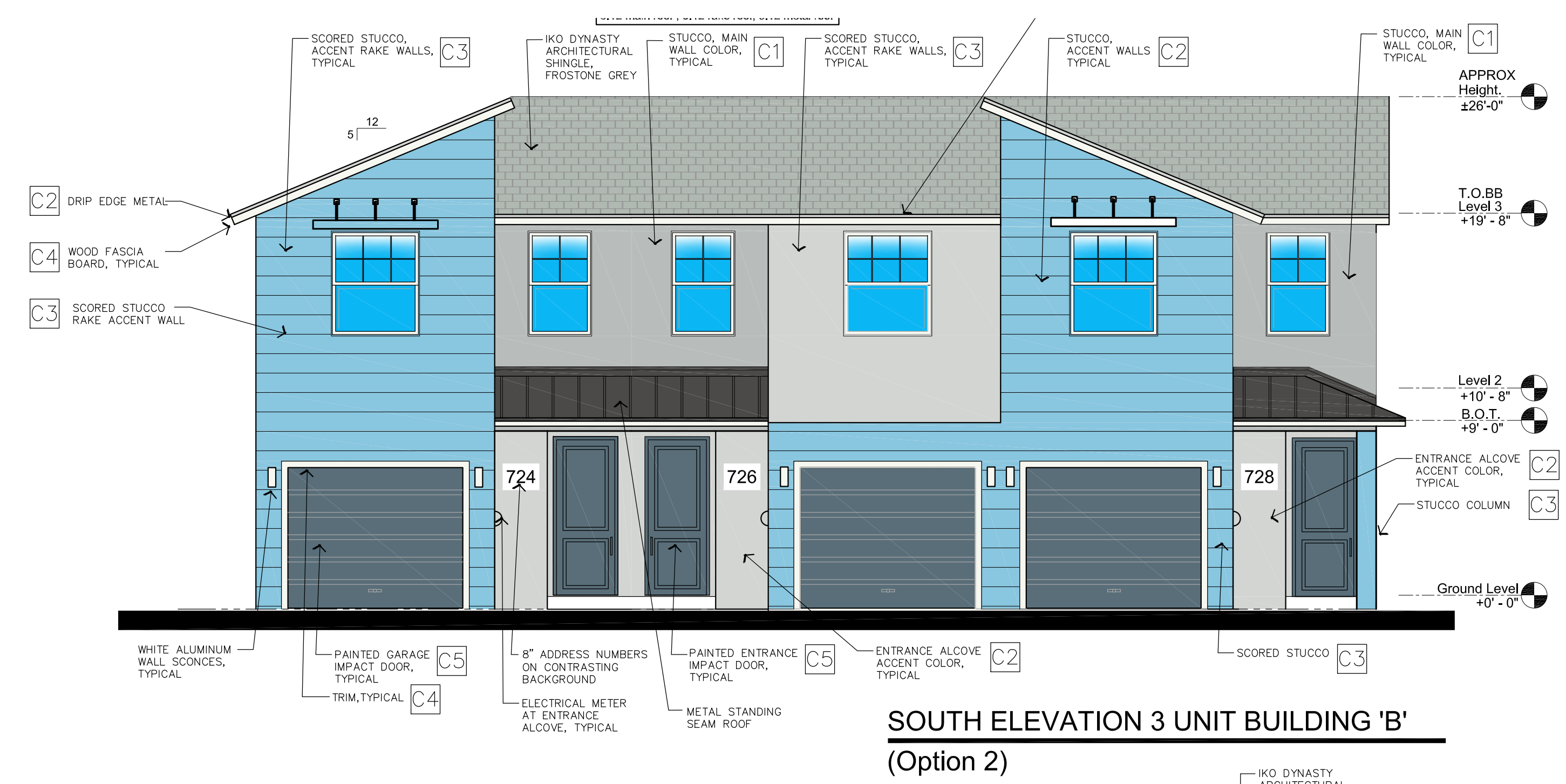
1	LABEL ELEVATION DIRECTION	06.30.21
2	CORRECTED BUILDING ORIENTATION PER NORTH ARROW	07.28.21

DRAWN KD
 CHECKED KD
 DATE 06.01.2021
 SCALE 1/8" = 1'-0"
 PROJECT NO. 21722

SHEET
13 UNIT BLDG 'C'
ELEVATIONS
A4.4

EXTERIOR COLOR SELECTIONS

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KIMBERLY A. DELLASTATIOUS, P.A.
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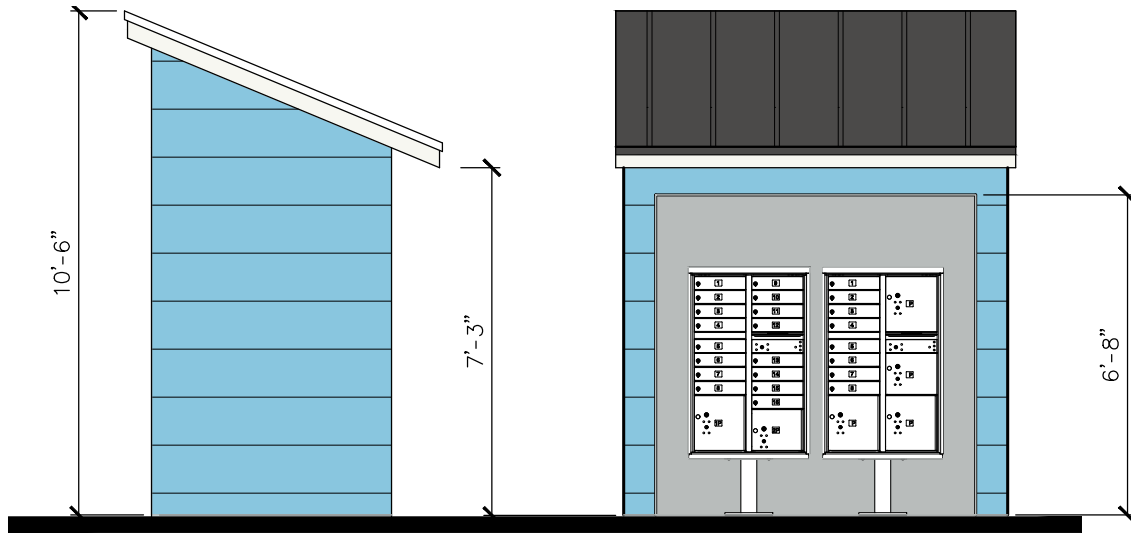
SEAL

KIMBERLY A. DELLASTATIOUS
REGISTERED FLORIDA ARCHITECT
#00017509

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITHIN THE APPLICABLE BUILDING CODES AND LOCAL MUNICIPAL ORDINANCES. ALL MATERIALS APPEARING HEREIN CONSTITUTE THE WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE FLORIDA LICENSED ARCHITECT OF RECORD. COPYRIGHT - 2021 KIMBERLY A. DELLASTATIOUS, P.A.

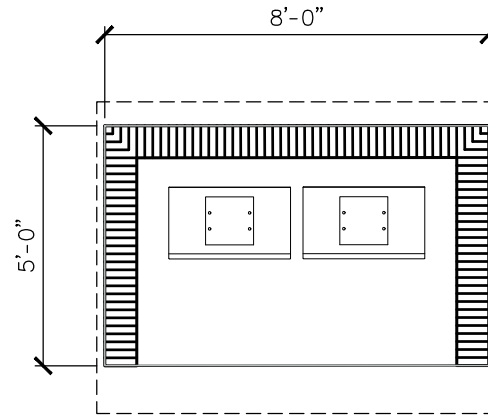
PRESENTATION PLANS
Prince Place
307 Prince Drive
Palm Springs, FL 33461

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TO CLIENT	
PROGRESS PRINT DATE	
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SCALE 1/4" = 1'-0"	
PROJECT NO 21722	
SHEET	
3 UNIT BLDG 'B' ELEVATION A4.6(2)	

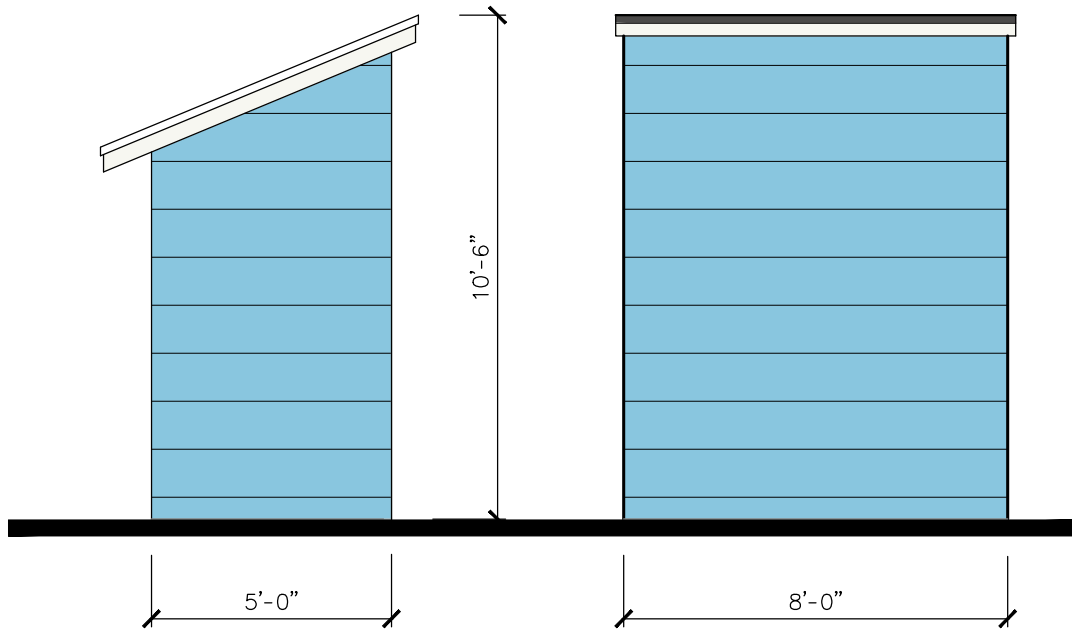


North

East Elevation



Mail Kiosk Plan



South

West Elevation

- INTERIOR MAIN WALLS, C1
- SHERWIN WILLIAMS
- SW 7663
- MONORAIL SILVER

- EXTERIOR WALLS, C3
- W/ STUCCO SCORE TO MATCH BLDG
- SHERWIN WILLIAMS
- SW 9049
- SKY FALL

- EXTREME METAL,
- STANDING SEAM ROOFING, C7
- PRE-WEATHERED GALVALUME

Prepared by and return to:

Bruce S. Rosenwater
Attorney at Law
Bruce S. Rosenwater & Associates, P.A.
1601 Forum Place, Suite 602
West Palm Beach, FL 33401-8104
561-688-0991

Parcel Identification No. 70-43-44-30-01-098-0053/40/30

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 15th day of March, 2021 between **Prince Partners, a Florida Joint Venture, composed of Edward W. Sandall, Michael S. Zeide, Marvin A. Kohn, Joseph B. Chalal and Ellio S. Musso** whose post office address is 1501 Presidential Way, Suite 6, West Palm Beach, FL 33401 of the County of **Palm Beach**, State of **Florida**, grantor*, and **Princeton Court LLC, a Florida limited liability company** whose post office address is **2552 Peters Road, Ste. B, Fort Pierce, FL 34945** of the County of **Saint Lucie**, State of **Florida**, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Palm Beach County, Florida**, to-wit:

PARCEL 1

Lot C, less the East 180.0 feet thereof, Block 98, The Palm Beach Farms Co. Plat No. 7 of Sec. 30, T. 44S, R. 43E., according to the Plat thereof, as recorded in Plat Book 5, Page 72, Palm Beach County, Florida; LESS a strip of land for road right of way purposes as laid out and in use known as Ferrell Drive, located in Palm Beach Farms Company Plat No. 7 of Section 30, Township 44 South, Range 43 East, more particularly described as follows: The North 30.0 feet of Lot C, less the East 180.0 feet thereof, Block 98, Palm Beach Farms Company Plat No. 7.

PARCEL 2

Lot D, Block 98, The Palm Beach Farms Co. Plat No. 7 of Sec. 30, T. 44S, R. 43E., Palm Beach County, Florida, according to the Plat thereof recorded in Plat Book 5, Page 72, Public Records of Palm Beach County, Florida.

PARCEL 3

The East 125.0 feet of Lot E, Block 98, The Palm Beach Farms Co. Plat No. 7 of Sec. 30, T. 44S, R. 43E., according to the Plat thereof as recorded in Plat Book 5, Page 72; LESS the South 34.0 feet thereof as granted in O.R. Book 2225, Page 1069, Public Records of Palm Beach County, Florida.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

(Signature on following page.)

Signed, sealed and delivered in our presence:

PRINCE PARTNERS, a Florida Joint Venture

Donna Kottarz
Print Name: Donna Kottarz

By: *Michael S. Zeide*
Michael S. Zeide, Partner
Authorized Signatory

Jim Cloth
Print Name: Jim Cloth

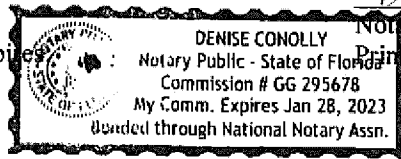
State of FLORIDA
County of PALM BEACH

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 16 day of April, 2021, by Michael S. Zeide, as Partner and Authorized Signatory for Prince Partners, a Florida Joint Venture, who is personally known or has produced a driver's license as identification.

[Notary Seal]

Denise Conolly
Notary Public

My Commission Expires



Name: _____



FLORIDA DEPARTMENT OF STATE
DIVISION OF CORPORATIONS

Attached are the form and instructions to **amend the Articles of Organization of a Florida Limited Liability Company.**

A limited liability company can amend its articles of organization by filing articles of amendment with the Division of Corporations that meet the requirements of s. 605.0202, Florida Statutes, which is printed on the reverse side of this letter.

- Pursuant to s.605.0202 (2)(d), Florida Statutes, the document must be typed or printed and must be legible.
- Pursuant to s. 605.0207, Florida Statutes, an effective date may be specified but it must be specific, cannot be prior to the date of filing, and cannot be more than 90 days in the future.
- If you are changing the name of the limited liability company, the new name must be distinguishable on the records of the Florida Department of State.

The new name must end with the words "Limited Liability Company," the abbreviation "L.L.C.," or the designation "LLC."

A preliminary search for name availability can be made on the Internet through the Division's records at www.sunbiz.org. Preliminary name searches and name reservations are no longer available from the Division of Corporations. You are responsible for any name infringement that may result from your name selection.

- If the registered agent is changed by the amendment, the new agent must sign accepting the appointment, and must state that he or she is familiar with and accepts the obligations of the position. Additional sheets may be attached if necessary.
- **The fees are as follows:**
 - \$25.00 Filing Fee**
 - \$30.00 Certified copy (optional)**
 - \$ 5.00 Certificate of Status (optional)**
- Submit one check made payable to the Florida Department of State for the total amount of the filing fee and any certificate or copy. Please include a cover letter containing your daytime telephone number and return address. A letter of acknowledgment will be issued after the amendment has been filed.

Any further inquiries on this matter should be directed to the Registration Section by calling (850) 245-6051, or by writing Division of Corporations, P. O. Box 6327, Tallahassee, FL, 32314.

NOTE: THIS FORM FOR FILING ARTICLES OF AMENDMENT IS BASIC. EACH LIMITED LIABILITY COMPANY IS A SEPARATE ENTITY AND AS SUCH HAS SPECIFIC GOALS, NEEDS, AND REQUIREMENTS. ADDITIONAL SHEETS MAY BE ATTACHED AS REQUIRED.

THE DIVISION OF CORPORATIONS RECOMMENDS THAT ALL DOCUMENTS BE REVIEWED BY YOUR LEGAL COUNSEL. THE DIVISION IS A FILING AGENCY AND AS SUCH DOES NOT RENDER ANY LEGAL, ACCOUNTING, OR TAX ADVICE. THE PROFESSIONAL ADVICE OF YOUR LEGAL COUNSEL TO ASCERTAIN EXACT COMPLIANCE WITH ALL STATUTORY REQUIREMENTS IS STRONGLY RECOMMENDED.

605.0202 Amendment or restatement of articles of organization.—

- (1) The articles of organization may be amended or restated at any time.
- (2) To amend the articles of organization, a limited liability company must deliver to the department for filing an amendment, designated as such in its heading, which contains the following:
 - (a) The present name of the company.
 - (b) The date of filing of the company's articles of organization.
 - (c) The amendment to the articles of organization.
 - (d) The delayed effective date, as provided under s. 605.0207, if the amendment is not effective on the date the department files the amendment.
- (3) To restate its articles of organization, a limited liability company must deliver to the department for filing an instrument, entitled "Restatement of Articles of Organization," which contains the following:
 - (a) The present name of the company.
 - (b) The date of the filing of its articles of organization.
 - (c) All of the provisions of its articles of organization in effect, as restated.
 - (d) The delayed effective date, as provided under s. 605.0207, if the restatement is not effective on the date the department files the restatement.
- (4) A restatement of the articles of organization of a limited liability company may also contain one or more amendments to the articles of organization, in which case the instrument must be entitled "Amended and Restated Articles of Organization."
- (5) If a member of a member-managed limited liability company or a manager of a manager-managed limited liability company knew that information contained in filed articles of organization was inaccurate when the articles of organization were filed or became inaccurate due to changed circumstances, the member or manager shall promptly:
 - (a) Cause the articles of organization to be amended; or
 - (b) If appropriate, deliver to the department for filing a statement of change under s. 605.0114 or a statement of correction under s. 605.0209.

COVER LETTER

**TO: Registration Section
Division of Corporations**

SUBJECT: _____
Name of Limited Liability Company

The enclosed Articles of Amendment and fee(s) are submitted for filing.

Please return all correspondence concerning this matter to the following:

Name of Person

Firm/Company

Address

City/State and Zip Code

E-mail address: (to be used for future annual report notification)

For further information concerning this matter, please call:

_____ at (_____) _____
Name of Person Area Code Daytime Telephone Number

Enclosed is a check for the following amount:

- \$25.00 Filing Fee \$30.00 Filing Fee & Certificate of Status \$55.00 Filing Fee & Certified Copy (additional copy is enclosed) \$60.00 Filing Fee, Certificate of Status & Certified Copy (additional copy is enclosed)

Mailing Address:
Registration Section
Division of Corporations
P.O. Box 6327
Tallahassee, FL 32314

Street Address:
Registration Section
Division of Corporations
The Centre of Tallahassee
2415 N. Monroe Street, Suite 810
Tallahassee, FL 32303

**ARTICLES OF AMENDMENT
TO
ARTICLES OF ORGANIZATION
OF**

(Name of the Limited Liability Company as it now appears on our records.)
(A Florida Limited Liability Company)

The Articles of Organization for this Limited Liability Company were filed on _____ and assigned Florida document number _____.

This amendment is submitted to amend the following:

A. If amending name, enter the new name of the limited liability company here:

The new name must be distinguishable and contain the words "Limited Liability Company," the designation "LLC" or the abbreviation "L.L.C."

Enter new principal offices address, if applicable:

(Principal office address MUST BE A STREET ADDRESS)

Enter new mailing address, if applicable:

(Mailing address MAY BE A POST OFFICE BOX)

B. If amending the registered agent and/or registered office address on our records, enter the name of the new registered agent and/or the new registered office address here:

Name of New Registered Agent:

New Registered Office Address:

Enter Florida street address

_____, **Florida** _____

City

Zip Code

New Registered Agent's Signature, if changing Registered Agent:

I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relative to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent as provided for in Chapter 605, F.S. Or, if this document is being filed to merely reflect a change in the registered office address, I hereby confirm that the limited liability company has been notified in writing of this change.

If Changing Registered Agent, Signature of New Registered Agent

If amending Authorized Person(s) authorized to manage, enter the title, name, and address of each person being added or removed from our records:

MGR = Manager

AMBR = Authorized Member

<u>Title</u>	<u>Name</u>	<u>Address</u>	<u>Type of Action</u>
_____	_____	_____	<input type="checkbox"/> Add
		_____	<input type="checkbox"/> Remove
		_____	<input type="checkbox"/> Change
_____	_____	_____	<input type="checkbox"/> Add
		_____	<input type="checkbox"/> Remove
		_____	<input type="checkbox"/> Change
_____	_____	_____	<input type="checkbox"/> Add
		_____	<input type="checkbox"/> Remove
		_____	<input type="checkbox"/> Change
_____	_____	_____	<input type="checkbox"/> Add
		_____	<input type="checkbox"/> Remove
		_____	<input type="checkbox"/> Change
_____	_____	_____	<input type="checkbox"/> Add
		_____	<input type="checkbox"/> Remove
		_____	<input type="checkbox"/> Change



Village of Palm Springs

Prince Place

 Property Boundary

The Data is provided "as is" without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The Village of Palm Springs make no warranties, express or implied, as to the use of the licensed Data. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is dynamic and is in a constant state of maintenance, correction and update.

Data Source: Tax Deed Parcels and Village Limits data provided by the Village of Palm Springs, Parcels provided by Palm Beach Basemap provided by ESRI World Imager



Roberts Ln

Ferrell Dr

Paetzold Dr

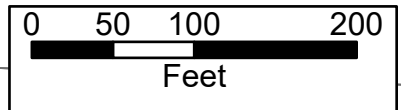
Prince Dr

McSherry Dr

70434430010980030


70434430010980040

70434430010980053



Village of Palm Springs

Prince Place

-  Parcels
-  Property Boundary

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Village of Palm Springs

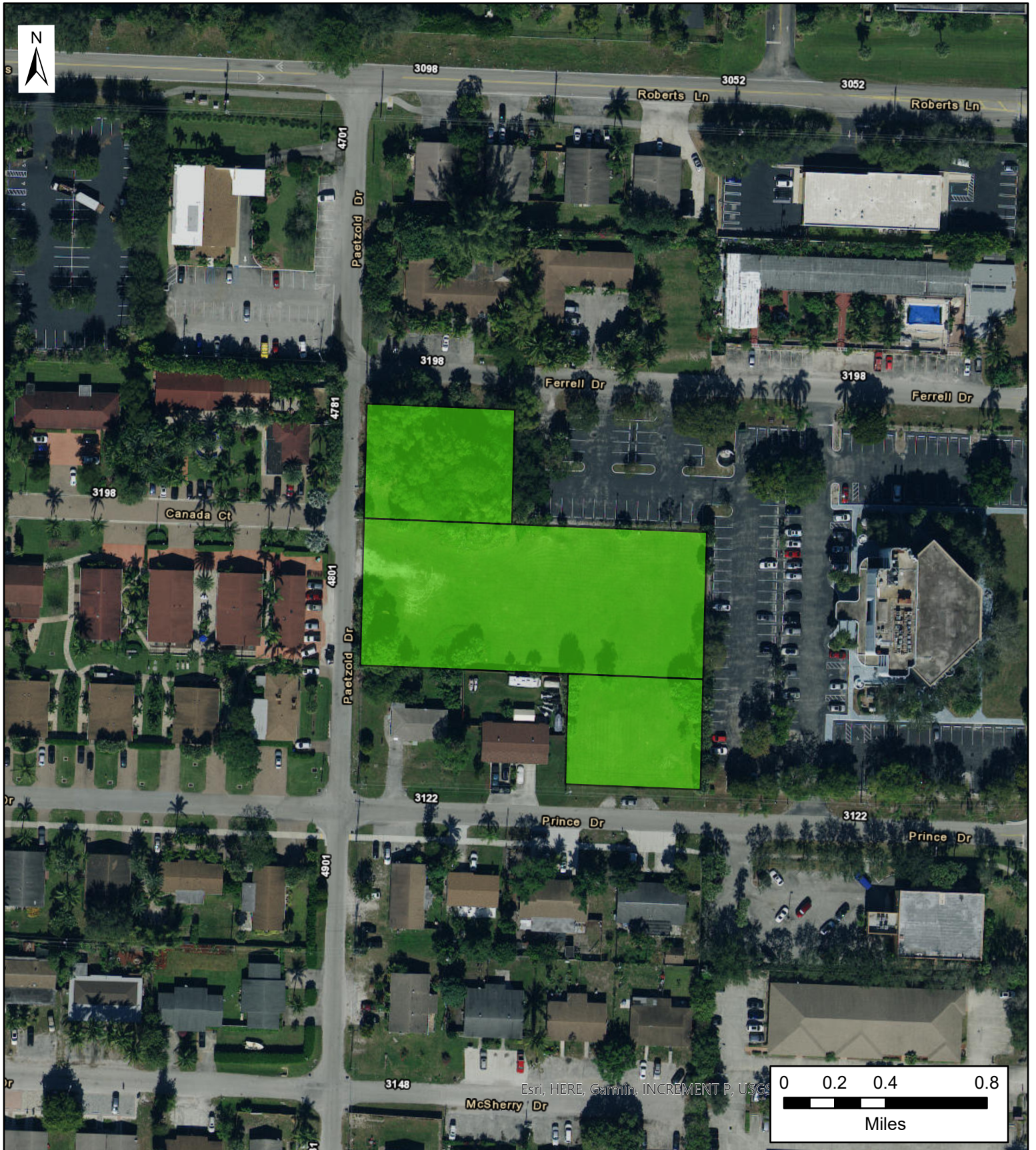
Proposed FLU Map

Prince Place

High Density
 High Density

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Data Source: Tax Deed Parcels and Village Limits data provided by the Village of Palm Springs, Parcels provided by Palm Beach Basemap provided by ESRI World Imager



Village of Palm Springs

Proposed Zoning Map

Prince Place

RM (Residential Multi-Family)

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