



**AGENDA
PLANNING AND ZONING BOARD
VILLAGE HALL COUNCIL CHAMBERS
JANUARY 11, 2022
6:30 PM**

CALL TO ORDER

ROLL CALL

Chairman Johnnie Tieche
Vice Chairman Richard Hughes
Ralph Lashells
James Mandigo
Peter Braun

PZ&B Director, Iramis Cabrera
PZ&B Planner, Rojelio Gonzalez Village
Attorney Susan Garrett Deputy Assistant
Village Manager, Kimberly Glas-Castro
Village Clerk Jane R. Worth

Kim Gehrman, Sr. Alternate
Larry Saingilus, Jr. Alternate

PLEDGE OF ALLEGIANCE

ADDITIONS, DELETIONS OR MODIFICATIONS TO THE AGENDA

APPROVAL OF MINUTES

PUBLIC HEARINGS

1. Planning & Zoning Board Order 2022-01 - Minimum Landscape Buffer width Variance (PSV22-01) - 7-Eleven - 1730 South Military Trail
Staff: Iramis Cabrera, PZB Director
2. Resolution 2022-02 - Site Development Plan Amendment - 7-Eleven - 1730 South Military Trail (Quasi-Judicial Hearing)
Staff: Iramis Cabrera, PZB Director

ACTIONS AND REPORTS

1. Discussion: Land Use, Density and Intensity Considerations
(THIS ITEM IS BEING REMOVED FROM THE AGENDA)

Staff: Iramis Cabrera, PZB Director

ADJOURNMENT

**NEXT PLANNING AND ZONING BOARD MEETING
TUESDAY, FEBRUARY 8, 2021 @ 6:30 PM**

If a person decides to appeal any decision made by this Council with respect to any matter considered at this meeting, he will need a record of the proceeding, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons who need an accommodation in order to attend or participate in this meeting should contact the Village Clerk at (561) 965-4010 at least 3 business days prior to the meeting in order to request such assistance.



Village of Palm Springs

Executive Brief

AGENDA DATE: January 11, 2022

DEPARTMENT: Planning, Zoning & Building

ITEM Planning & Zoning Board Order 2022-01 - Minimum Landscape Buffer Width
#61: Variance (PSV22-01) - 7-Eleven - 1730 South Military Trail

Paul Mazzillo, agent for the owner, 7 Eleven INC, is requesting a site development plan amendment (SPR22-02) for the Commercial General property located at 1730 South Military Trail. The applicant is proposing to redesign the entire frontage (western and southern) portions of the property due to right-of-way condemnation by the Florida Department of Transportation (FDOT).

FDOT proposes to make intersection improvements to State Road 809 (South Military Trail) and State Road 882 (Forest Hill Boulevard), which necessitates widening both roadways along with the approach and departure from the intersection. The widening project resulted in the state taking 2,271 square feet along the entire length of the property's western and southern frontage. The taking will impact the property, causing the loss of a right-of-way landscape buffer.

Note: Currently, the 0.871-acre property is being developed with a 3,650 square-foot commercial building, 15 parking spaces, and 12 fuel stations.

The applicant proposes a cure plan for remedial action for loss of the property and to minimize the negative impact. The proposed plan will re-accommodate the right-of-way landscaped buffers.

As part of the proposed Site Development Plan amendment, the applicant is requesting one variance (PSV22-01) which is subject to the Planning and Zoning Board's consideration:

1. (PSV22-01) - Request to allow an irregular landscape buffer along the west and south sides of the property, adjacent to Military Trail and Forest Hill Boulevard, with a minimum width of 7' (a reduction of 8') (Provides relief from Section 34-162(b)(5) that requires a minimum 15' wide buffer.)

The Planning, Zoning & Building Staff does not object to the variance requested and recommends conditional approval to facilitate the redevelopment of the property as a result of the state condemnation, the proposed site plan for which is the subject of a separate agenda item.

FISCAL IMPACT:

The proposed modification to the project is not expected to have a fiscal impact on the Village.

ATTACHMENTS:

1. Planning & Zoning Board Order 2022-01 - 1730 South Military Trail - 7 Eleven
2. Exhibit "A" Staff Report

3. Variance Justification Statement
4. Site Plan and Letters
5. Warranty Deed
6. Stipulated Order of Taking
7. Aerial and Location Maps

**VILLAGE OF PALM SPRINGS, FLORIDA
PLANNING AND ZONING BOARD**

**PZ&B Order 2022-01
(PSV22-01)**

**7-Eleven #37223
1730 South Military Trail
Palm Springs, FL 33461**

PCN: 70-42-44-12-00-000-5430

Applicant(s)

FINAL ORDER

THIS MATTER having come before the Village of Palm Springs Planning and Zoning Board ("The Board") on **January 11, 2022**. The Board, having considered the evidence presented by the parties; and having been fully apprised of the circumstances, makes the following finding of fact and conclusions of law.

FINDINGS OF FACT

1. The Board has jurisdiction over the following variance application PSV22-01.
2. The above Applicant(s) is the owner of the property legally described as: **12-44-42, SLY 242.4 FT OF WLY 285.12 FT OF NW 1/4 OF SE 1/4 (LESS S 72 FT FOREST HILL BLVDW 60.5 FT MILITARY TR & TRGLR PAR R/WS)**
3. The Applicant has submitted an application for one (1) variance from the Village of Palm Springs, Florida as set forth below:
 - 1) **PSV22-01**– A variance relief from Section 34-162(b)(5) to allow an irregular landscape buffer along the west side adjacent to Military Trail with a minimum width of 9' (6' less) instead of 15' minimum required
4. The Village's Land Development Code Section 34-603(b) requires the Board to determine that the variance meets the following requirements:
 1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures, or buildings in the same land development district.
 2. The special conditions and circumstances do not result from the actions of the applicant.
 3. Granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings, or structures in the same land development district.
 4. Literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same land development district under the terms of this chapter and would work unnecessary and undue hardship on the applicant.
 5. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

PZ&B Order 2022-01 – (PSV22-01)

- 6. The grant of the variance will be in harmony with the general intent and purpose of this chapter.
- 7. Such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

_____ The Board having determined, based upon the evidence presented, that the requested variance PSV22-01, meets all the requirements of Section 34-603(b) of the Land Development Code, the variance is hereby **GRANTED**.

_____ The Board having determined, based upon the evidence presented, that the requested variance PSV22-01 does not meet all the requirements of Section 34-603(b) of the Land Development Code, the variance is hereby **DENIED** for the following reasons(s).

DONE AND ORDERED in Palm Springs, Florida this 11th day of January 2022.

ATTEST:

Jane Worth, Deputy Village Clerk

Johnnie Tieche, Chairman
Planning and Zoning Board

Copies furnished to:

Paul Mazzillo, Mazzillo and Associates, Inc., 6727 1st Avenue South, Suite 106, St. Petersburg, FL 33707

Iramis Cabrera, Planning, Zoning and Building Director, 226 Cypress Lane, Palm Springs, FL 33461

Glen J. Torcivia, Village Attorney, Northpoint Corporate Center, 701 Northpoint Parkway, Suite 209, West Palm Beach, FL 33407



PLANNING, ZONING & BUILDING STAFF REPORT

SUBJECT: Site Development Plan Amendment Application – 7-Eleven – 1730 S Military Trail

Application Summary				
Petitioner	Paul Mazzillo, Mazzillo and Associates, inc.	Submittal Date	11/23/2021	
Reference Name	7-Eleven #37223	Case Number	SPR22-02 / PSV22-01	
		Parcel Control No	70-42-44-12-00-000-5430	
Location	1730 S Military Trail	Site Area	+/- 0.8732 acres	
PZB Meeting	Tuesday, January 11, 2022	Council Meeting	Thursday, February 10, 2022	
Requests				
Existing Use	Gas Station with Convenience Store			
Number of Buildings	1 building with 3,650 square feet			
Variances	PSV22-01: Requesting a variance relief from Sec.34-162(b)(5) to allow an irregular landscape buffer along the west and south sides adjacent to S Military Trail and Forest Hill Boulevard respectively, with a minimum width of 7' instead of 15' minimum required.			
Parking				
Code	Required	Existing	Meets Requirement	
Total Parking	37	27	No* (Parking unchanged, variance approved by PBC prior to annexation)	
Setbacks				
Code	Required Minimum	Existing/Proposed		
Front yard (West)	50'	47' (canopy) Over 100' (building) **Variance approved by PBC to be 45' setback prior to annexation**		
Side yard corner (south)	25'	Over 40'		
Side yard (north)	20'	7' (variance approved by PBC prior to annexation)		
Rear yard (east)	20'	20'		
Site Characteristics				
Previous/Proposed Use	No changes proposed to the use of the property			
Zoning	Commercial General (CG)	Existing Future Land Use		Commercial
Surrounding Existing Land Use, Future Land Use, and Zoning				
Direction	Existing Use	Future Land Use	Zoning District	
North	Retail and Professional Offices	Commercial	Commercial General (CG)	
South	Burger King Fast Food Restaurant	Commercial	Commercial General (CG)	
East	Colombino Italian Bakery & Deli	Commercial	Commercial General (CG)	
West	Stanton Optical	Unincorporated PBC	Unincorporated PBC	
Recommendation				
Planning, Zoning & Building Staff recommends conditional approval of the proposed site plan amendment to redesign the two fronts of the property adjacent to South Military Trail and Forest Hill Boulevard rights-of-way. The Florida Department of Transportation (FDOT) proposes to widen a portion of the State Roads and as part of the project, a portion of the				

property along these segments are taken through eminent domain.



I Site History

- Ordinance 2008-24: Annexation

The property was voluntarily annexed into the Village of Palm Springs in December 2008 and designated with the Land Development as Commercial General zoning district and Future Land Use Commercial.

II Comprehensive Plan Consistency

- The subject property's Zoning and Future Land Use designation are Commercial and Commercial General (CG), respectively. The existing use of the property as a gas station with convenience store and a car wash is permitted as special exception use.

III Variances Requested

The applicant is seeking the following variance:

- **PSV22-01** The applicant is requesting a variance relief from Sec.34-162(b)(5) to allow an irregular landscape buffer along the west and south sides adjacent to S Military Trail and Forest Hill Boulevard respectively, with a minimum width of 7' instead of 15' minimum required.

The Applicant's full justification to the waivers is attached hereto.

The 7-Eleven site was subject to a right-of-way taking by the Florida Department of Transportation (FDOT) for the SR-809 (Military Trail at Forest Hill Boulevard Intersection Improvements), Project FPN: 437878-1-52-01, Palm Beach County, FDOT Acquisition Parcels 109, and Temporary Construction Easements 704 & 706.

The acquisition of FDOT Parcel 109 reduced the Military Trail Landscape Buffer width by 7 feet and the Forest Hill Boulevard landscape buffer width by 5 feet. After the taking, the remaining landscape buffers vary from approximately 8± feet to a minimum of 7± at the intersection along the new southwest property boundary. The Village of Palm Springs Code "Section 34-162 Required Buffers" requires a 15-foot minimum landscape buffer width for these roadway frontages.

The taking of Parcel 109 by the FDOT reduced the landscape buffer width but left the majority of the landscaping buffer plantings in place along both Military Trail and Forest Hill Boulevard. The only landscape plants impacted by the FDOT right-of-way taking were located at the site's southwest corner and the base of the business signs.

We request a variance to allow the proposed 7-foot minimum width landscape buffer along the 7-Eleven property's roadway frontages. The Site Plan Modification restores the landscape buffer width at the intersection corner clip area from a width of 4± to a minimum width of 7 feet. After the taking by FDOT of Parcel 109 and the implementation of the proposed site modifications, the landscape buffer width varies from 7± to 8± with a minimum width of 7 feet. The proposed site plan modifications restore the landscape buffer to the greatest extent possible without severely impacting the existing site and improvements and the function of the existing 7-Eleven convenience store with fuel sale business. The site modifications maintain site safety by preserving onsite circulation and vehicle maneuvering area.

The 7-Eleven property was annexed into the Village of Palm Springs per Voluntary Annexation Agreement Resolution No. 2008-72. When the property was annexed into the Village of Palm Springs, the property's roadway landscape buffers measured 14± feet in width, and the site contained fifteen (15) marked parking spaces, including (1) handicap space.

No increases are proposed to the existing building square footage or impervious area. All remaining site improvements including, parking, will remain per the original site plan as annexed into the Village of Palm Springs.

Staff generally supports the applicant's request based on the intent of the applicant to comply with parking requirements. The applicant intent to prioritize life-safety and circulation on the site maintaining the minimum drive aisle width.

IV Neighborhood Compatibility

- 1) The proposed project is located on the northeast corner of South Military Trail and Forest Hill Boulevard.
- 2) Properties on the North, West and South are Commercial General.
- 3) A mix of different commercial uses are existing along both corridors.

V Regulatory Issues:

- The site plan conforms to the property development standards of the CG district.
 - 1) Proposed project plan generally meets required site development regulation.
 - 2) Power poles shall be relocated.
 - 3) A Palm Tran bus stop will be relocated by FDOT.

- 4) PBC Water Utility Department shall review and approved the plans.

VI Environmental Issues:

There are no environmental (wetlands, floodplains, etc) issues identified.

VII Community Outreach/ Notification

- The subject property was posted on December 29, 2021.
- Public Notification letters were mailed to all property owners within 300-foot radius of subject property on December 29, 2021.
- Legal advertisement was published in the paper on January 6, 2022.
- Staff has not received any inquiries or comments because of the notices.

VIII Proposed Development Plan Details

The petitioner's development plans dated received on November 23, 2021 depicts the following:

Application for Site Development Plan approval to amend the previously approved site plan due to dedication of right-of-way to FDOT.

1. Site Plan dated received November 23, 2021 revised and resubmitted on December 29, 2021.
2. Survey
3. Project Narrative and Justification Statement

IX Recommendation

The applicant is proposing a site development plan amendment to redesign the entire front portions of the property due to a right-of way dedication to Florida Department of Transportation (FDOT). FDOT proposes to widen a portion of State Roads 809 and 882 (South Military Trail and forest Hill Boulevard) and as a result 2,271 square feet along the length of the western and southern property lines have been taken through eminent domain. This taken will impact the remaining property and improvements. It will cause the loss of landscape buffer.

The applicant proposes a cure plan for remedial action for loss of the property and to minimize, to the extent possible, the negative impact to the property.

The proposed site modifications include the construction of one stormwater inlet and pipe to reconnect the northwest portion of the site to the existing drainage system. The FDOT roadway modifications remove the existing driveway culvert located at that driveway. The FDOT is reconstructing the existing outfall from the 7-Eleven property and has agreed to continue accepting runoff from the site. The site plan also includes re-grading the driveways to provide a more gradual slope after the FDOT roadway modifications are complete. The existing driveway widths will remain unchanged and will re-accommodate the landscaped buffer.

Planning, Zoning and Building Staff has conducted a review of the application and found the proposed amendment to be consistent with goals, objectives and policies of the Village's Comprehensive Plan. The proposed cure plan is generally consistent with the Land Development and zoning regulation and all other portions of the code.

Planning, Zoning and Building Staff recommends conditional approval of the Site Plan Amendment subject to the following eighteen (18) conditions below:

1. The Site Plan expires twenty-four months from approval if the proposed improvements are not constructed within that time frame.
2. Any new proposed sign shall be reviewed and approved by the Planning, Zoning and Building Department at **time of permitting** and shall be in conformance with the Village Code.
3. Civil/Utility plans shall be approved by the Village Engineer and PBC Water Department **at time of permitting**.
4. Any existing dead landscape material shall be replaced or supplemented with Village approval prior to **Certificate of Completion**.
5. The Applicant may be required to undertake additional security measures, based on the number of complaints or calls for service for incidents at the premises, as determined by the Police Chief. Such additional security measures, as approved by the Police Chief, may include provisions of on-site security at the operator's sole expense.
6. Trees/palms slated for removal and destruction shall be offered to the village for relocation to a public property. Property owners shall provide at least 60 days' notice to the village and grant the village permission to enter the property and relocate any trees approved for removal.
7. Verify utility and easement locations to ensure that there are no conflicts with landscaping, revise at time of permitting, as needed.
8. Landscaped areas shall be irrigated. New irrigation systems shall be maintained separately from potable water distribution systems, and shall include rain sensor shut-off mechanisms.
9. A pre-construction meeting shall be scheduled with the Village Planning, Zoning and Building Department prior to commencement of any construction activity. Permits are required from Planning, Zoning and Building Department prior to commencing any construction or renovation.
10. All new electrics shall be underground.
11. A silt barrier shall be installed around the perimeter of the property prior to commencement of any site work or construction activity and shall remain through substantial completion.
12. The Landscaping shall be certified by the Landscape Architect upon completion and prior to Certificate of Occupancy.
13. Plants installed shall conform to or exceed the minimum standards for Florida Number 1, as provided in the most current edition of the Grades and standards for Nursery Plants, Part I and II, prepared by the State Department of Agriculture and Consumer Services.
14. Any sidewalk broken or damaged during construction shall be replaced by the contractor prior to CO.
15. The civil engineer of record shall certify the site construction prior to Certificate of Occupancy.
16. The General Contractor shall be on site during any and all construction activity in accordance with FS 489.1195.
17. The project shall receive approval from all Authorities Having Jurisdiction and submit copies of approvals to the Village of Palm Springs.
18. At the time of CC, the petitioner shall provide the Land Development Department with electronic copies of as-builts.

Mazzillo And Associates, Inc.

*Civil Engineering and Permitting
6727 1st Ave. South, Suite 106
St Petersburg, FL 33707
(727) 398-1020,*

JUSTIFICATION STATEMENT

7-Eleven #37223, 1730 South Military Trail, Village of Palm Springs, Florida

December 30, 2021

We request a variance to allow the proposed 7-foot minimum width landscape buffer along the 7-Eleven property's roadway frontages. After the taking by FDOT of Parcel 109 and implementing the proposed site modifications, the landscape buffer width varies from 7± to 8± with a minimum width of 7 feet. The attached Site Plan Modification restores the landscape buffer width at the intersection corner clip area from a width of 4± to a minimum width of 7 feet.

Request:

On behalf of 7-Eleven, Inc. I am requesting the following:

- Approval of an 8-foot reduction in the required 15' Right-of-Way Buffer along both Military Trail and Forest Hill Boulevard for the 7-Eleven property; The remaining landscape buffer will have a minimum width of 7 feet.

Per Section: 34-162 (5), The minimum required Right-of-Way Landscape Buffer width is 15 feet.

<u>Buffer Location</u>	<u>Required</u>	<u>Provided</u>	<u>Variance</u>
Military Trail	15'	7'(min)	8'
Forest Hill Blvd.	15'	7'(min)	8'

Variance Request Justification: Per Village of Palm Springs Code

- a. **Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same land development district (Planning and Zoning District).**

The 7-Eleven property located at 1730 South Military Trail was subject to a right-of-way taking by the Florida Department of Transportation (FDOT) for the SR-809 (Military Trail at Forest Hill Boulevard Intersection Improvements), Project FPN: 437878-1-52-01, Palm Beach County, FDOT Acquisition Parcels 109, and Temporary Construction Easements 704 & 706.

The acquisition of FDOT Parcel 109 reduced the Military Trail Landscape Buffer width by 7 feet and the Forest Hill Boulevard landscape buffer width by 5 feet. After the taking, the remaining landscape buffers vary from approximately 8± feet to a minimum of 4± at the intersection along the new southwest property boundary.

The taking of Parcel 109 by the FDOT reduced the landscape buffer width but left the majority of the landscaping buffer plantings in place along both Military Trail and Forest Hill Boulevard. The only landscape plants impacted by the FDOT right-of-way taking were located at the site's southwest corner and the base of the business signs.

Additionally, The 7-Eleven property was annexed into the Village of Palm Springs per Voluntary Annexation Agreement Resolution No. 2008-72. When the property was annexed into the Village of Palm Springs, the property's roadway landscape buffers measured 14± feet in width, and the site contained fifteen (15) marked parking spaces, including (1) handicap space.

b. The special conditions and circumstances do not result from the actions of the applicant.

See (a.) above and; The FDOT initiated the Right-of-way Taking by using the Eminent Domain process. The FDOT right-of-way taking caused the site to be in non-compliance with the Village of Palm Springs Code and the annexation agreement. The variance request process was initiated by the property owner (7-Eleven, Inc.) due to the actions of the FDOT and the eminent domain taking. Before the FDOT, right-of-way taking the property was in compliance with the annexation agreement.

The small size and configuration of the site eliminate the possibility of complying with the minimum 15' ROW Buffer requirements for both the Military Trail and Forest Hill Boulevard frontages. The site constraints are a direct result of the FDOT taking and not the actions from the property owner.

c. Granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings, or structures in the same land development district.

The granting of the requested variance allows the site to remain operational in the same configuration as it has been since the property was annexed into the Village of Palm Springs. The requested variance does not allow any increases in square footage of the improvements or a change in business operations. The approval of the variance the site will remedy a non-compliance issue created by the FDOT right-of-way taking.

After the granting of the variance, the site will still comply with the intent of the code by providing a substantial landscape buffer of trees, shrubs, and other plants. The buffer area removed from the 7-Eleven site by the FDOT right-of-way taking included mainly paved areas and sod. The majority of the landscape buffer trees and plants were not impacted by the FDOT right-of-way taking and remain on the 7-Eleven property. Additionally, landscaping plants are proposed for the small area of the existing buffer that was impacted by the right-of-way taking located at the southwest corner of the property.

No increases are proposed to the existing building square footage or impervious area. All remaining site improvements including, parking, will remain per the original site plan as annexed into the Village of Palm Springs per the voluntary annexation agreement resolution No. 2008-72.

d. Literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same land development district under the terms of this chapter and would cause unnecessary and undue hardship on the applicant.

After reviewing several alternative site configurations, it was determined that there is insufficient site area remaining after the FDOT right-of-way taking to allow restoration of the code required 15-foot wide landscape buffers along the property's frontages. Restoration of the buffer to comply with the current code width of 15 feet would severely impact the site drive aisle widths, vehicular circulation, and parking. The 7-Eleven Site would no longer function as a convenience store with fuel sales if the code required 15-foot wide landscape buffer was replaced on the remaining site.

e. The variance granted is the minimum necessary for the application to make reasonable use of the property.

The proposed site plan modifications restore the landscape buffer to the greatest extent possible without severely impacting the existing site and improvements and the function of the existing 7-Eleven convenience store with fuel sale business. The proposed site modifications maintain site safety by preserving onsite circulation and vehicle maneuvering areas. After reviewing several alternative site configurations, it was determined that any reduction in the existing vehicular maneuvering area, site drive aisle widths, and parking would create additional code violations and site safety issues.

f. The grant of the variance will be in harmony with the general intent and purpose of this chapter.

After the granting of the variance, the site will still comply with the intent of the code by providing a substantial landscape buffer of trees, shrubs, and other plants. The buffer area removed from the 7-Eleven site by the FDOT right-of-way taking included mainly paved areas and sod. The majority of the landscape buffer trees and plants were not impacted by the FDOT right-of-way taking and remain on the 7-Eleven property. Additionally, landscaping plants are proposed for a small area of the existing buffer that was impacted by the right-of-way taking located at the southwest corner of the property.

g. Such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The proposed site modifications maintain site safety by preserving onsite circulation and vehicle maneuvering areas. The 7-Eleven property is located at the intersection of two (2) major arterial/collector roadways with commercially developed frontages. These Commercial Uses will not be negatively impacted by the reduction in the portion of the ROW Buffer area located on the 7-Eleven property. The only noticeable difference will be a reduction in the width of the existing grassed area between the sidewalk located in FDOT right-of-way and the existing landscape buffer trees, shrubs, and plantings. The majority of the existing landscaping trees, shrubs, and plants will remain, and any gaps will be filled with new coed compliant plant materials. There will be no negative effects on the commercial uses to the North or South of the subject site as a result of the reduction in the ROW Buffer adjacent to the 7-Eleven site being reduced from 15' to 7' minimum width.

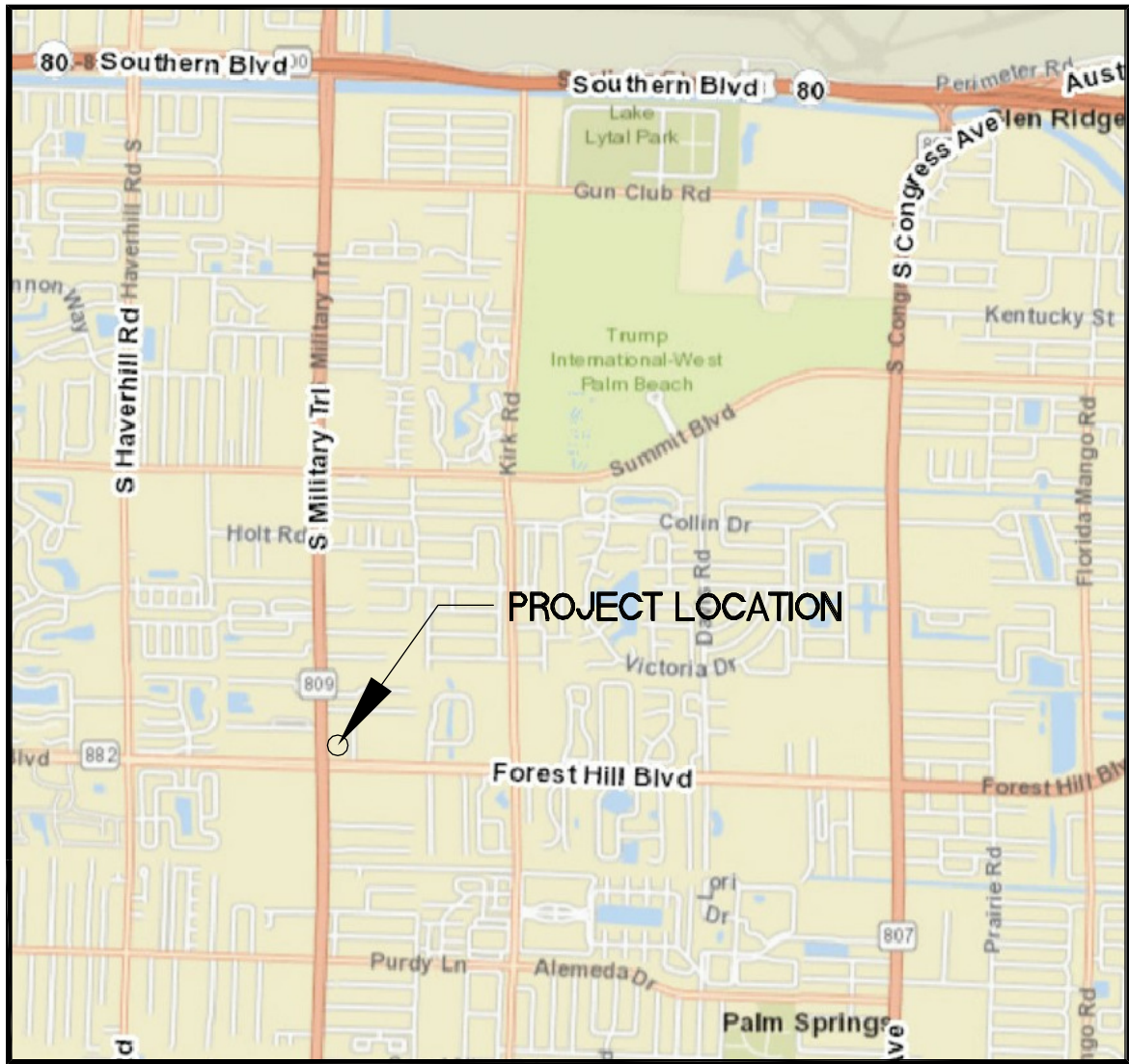
The proposed site modifications include the construction of one stormwater inlet and pipe to reconnect the northwest portion of the site to the existing drainage system. The FDOT roadway modifications remove the existing driveway culvert located at that driveway. The FDOT is reconstructing the existing outfall from the 7-Eleven property and has agreed to continue accepting runoff from the site. The site plan also includes regrading the driveways to provide a more gradual slope after the FDOT roadway modifications are complete. The existing driveway widths will remain unchanged.

MAZZILLO AND ASSOCIATES, INC.



Paul J. Mazzillo, P.E. #44051

7-ELEVEN #37223
SITE MODIFICATIONS



Location Map
SEC 12, TWP 44 S, RNG 42 E

Project:
7-ELEVEN #37223
MINOR SITE PLAN AMENDMENT

Located at:
1730 SOUTH MILITARY TRAIL
VILLAGE OF PALM SPRINGS, FLORIDA 33415

Prepared by:
MAZZILLO
AND ASSOCIATES, INC.
6727 1ST AVE. SOUTH, SUITE 106
SAINT PETERSBURG, FL 33707
ENGINEERING BUSINESS No. 27369

Project Manager:
PAUL J. MAZZILLO, P.E.

INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	GENERAL NOTES
3	BOUNDARY & TOPOGRAPHIC SURVEY
4	SITE PLAN

FOR REVIEW ONLY NOT
FOR CONSTRUCTION

I. GENERAL CONSTRUCTION NOTES

- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
- ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO SHALL BE OF LATEST REVISIONS AND/OR LATEST EDITION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.
- CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTOR'S AND UTILITY COMPANIES.
- BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AND COMPACTED TO A FIRMNESS EQUAL TO THAT OF THE SOIL ADJACENT TO THE TRENCH AROUND PIPES IN 6" LAYERS UP TO AN UNDISTURBED LEVEL OF AT LEAST 1" ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED, SPECIFIED OR REQUIRED.
- REINFORCING SHALL BE BILLET STEEL BARS CONFORMING TO ASTM A615 GRADE 40 OR BETTER.
- THE CONTRACTOR/SUBCONTRACTOR SHALL PLACE A 1" DEEP CONTRACTION JOINT EVERY 4' IN THE SIDEWALK.
- SIDEWALK CONSTRUCTION SHALL BE FLUSH WITH PAVEMENT WHERE THEY ARE ADJACENT OR MEET, UNLESS OTHERWISE SHOWN.
- MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2000, OR LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO.
- ALL PIPE NOTED ON THE PLANS AS ROP SHALL BE REINFORCED CONCRETE PIPE, CLASS III, WITH RUBBER GASKET JOINTS.
- REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON A SET OF THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS. WITHIN TWO WEEKS FOLLOWING FINAL INSPECTION THE CONTRACTOR SHALL SUBMIT ONE SET OF RECORD DRAWINGS TO THE ENGINEER OF RECORD. THE FINAL RECORD DRAWINGS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - DRAWINGS TO BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
 - DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UTILITIES AND RELATED APPURTENANCES, BOTH ABOVE AND BELOW GROUND. ALL CHANGES TO PIPING LOCATION INCLUDING HORIZONTAL & VERTICAL LOCATIONS OF UTILITIES & APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS. DRAWINGS SHALL ALSO SHOW ACTUAL INSTALLED PIPE MATERIAL, ETC.
 - DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.
 - DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN.
 - LOCATIONS OF ALL MANHOLES, HYDRANTS, VALVES, & VALVE BOXES SHALL BE SHOWN.
 - THE CONTRACTOR SHALL PROVIDE CERTIFIED ASBUILT DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE ASBUILT DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS OF ALL UTILITIES INCLUDING SANITARY SEWER CLEAN OUT INVERTS, WATER LINE LOCATIONS, STORM SEWER STRUCTURE LOCATIONS, GRATE ELEVATIONS, INVERTS, AND POND DETAILS (INCLUDING TOP OF BANK AND BOTTOM DIMENSIONS AND ELEVATIONS), OUTFALL STRUCTURE DETAILS (INCLUDING GRATE, WEIR, ORIFICE AND SKIMMER DIMENSIONS AND ELEVATIONS). THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED ASBUILT DRAWINGS TO THE ENGINEER.
- CLASS "B" TYPE I BEDDING SHALL BE USED UNLESS INDICATED OTHERWISE ON THE DRAWINGS, OR BY THE ENGINEER.
- SOILS ENGINEER WILL SUPPLY THE DESIGN ENGINEER WITH A PHOTOCOPY OF ALL COMPACTION TESTS, ASPHALT RESULTS, AND CONCRETE RESULTS THE SOILS ENGINEER IS TO CERTIFY TO THE DESIGN ENGINEER IN WRITING THAT ALL TESTING REQUIREMENTS REQUIRED BY THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE IMPROVEMENTS AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS FOR THE ON-SITE HAVE BEEN SATISFIED.
- CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION IF PROVIDED.
- IRRIGATION SYSTEM SHALL HAVE COLOR CODED PIPING AND LABELING ON THE PIPE TO ENSURE DIFFERENTIATION FROM POTABLE WATER PIPING.
- AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- OWNER SPECIFIC SPECIFICATIONS TO BE PROVIDED TO CONTRACTOR DURING BIDDING.

II. SAFETY NOTES

- DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR SAFETY CONTROL OF THE TRAVELING PUBLIC AND THE SAFETY OF ITS PERSONNEL. LABOR SAFETY REGULATIONS SHALL BE AS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF LABOR.
- THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKERS FROM HAZARDS WITHIN THE PROJECT LIMITS.
- ALL TRAFFIC CONTROL MARKINGS, FLAGGERS, AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

III. STANDARD UTILITY NOTES

- CHAPTER 556 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY SUNSHINE 811 A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING. MAPS SHOW ONLY THE APPROXIMATE LOCATION OF UTILITIES AND GAS MAINS AND DO NOT SHOW SERVICE LINES. THE ONLY SAFE AND PROPER WAY TO LOCATE EITHER MAINS OR SERVICE LINES IS BY AN ON-SITE INSPECTION. THEREFORE, EXCAVATORS ARE REQUIRED TO NOTIFY SUNSHINE 811 A MINIMUM OF TWO WORKING DAYS BEFORE ENTERING A CONSTRUCTION AREA.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE, TESTED AND INSPECTED AS REQUIRED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST TWO (2) BUSINESS DAYS NOTICE IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, BY NOTIFYING SUNSHINE 811 BY TELEPHONE OR INTERNET TICKET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE 811" TWO (2) BUSINESS DAYS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.

ALL UTILITIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, THE FOLLOWING SHOULD BE CONTACTED BY THE CONTRACTOR:

 - GAS
 - TELEPHONE
 - CABLE
 - POWER
 - CITY/COUNTY WATER AND SEWER
 - CITY/COUNTY/STATE TRAFFIC SIGNAL UTILITY (FIBER, HARDWIRE TRAFFIC SIGNAL INTERCONNECT)
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY.

THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.

IV. PAVING AND GRADING NOTES

- ALL DELETERIOUS MATERIAL (I.E., MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FDOT TYPE CURBING AND GUTTERS CALLED FOR ON THESE PLANS.
- IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.
- PRIOR TO CONSTRUCTION OF CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR REVIEW.
- CONTRACTOR TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.
- ALL PAVEMENT MARKINGS SHALL BE MADE WITH PERMANENT PAINT AND SHALL CONFORM TO FDOT STANDARD INDEX NO. 17346, SHEETS 1-7. PARKING STALL STRIPING TO BE 4" WIDE PAINTED STRIPES. ON-SITE STRIPE COLOR SHALL BE WHITE EXCEPT AS SHOWN ON THE ENGINEERING PLANS. PARKING STALL STRIPING SHALL BE COMPATIBLE WITH THE PAVEMENT TYPE (IE CONCRETE, ASPHALT) AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- CONTRACTOR SHALL INSTALL STORM PIPING AND CULVERTS IN ACCORDANCE WITH FDOT INDEX 205 AND PLACE EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH A SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO THE TESTING SCHEDULE REQUIRED BY APPLICABLE REGULATORY AGENCIES AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

V. CLEARING AND EROSION CONTROL NOTES

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER. ONLY "GRADING BY HAND" IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO REMAIN.
- THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.
- CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. HAY BALES SHALL BE PLACED ALONG THE STOCKPILE PERIMETER FOR EROSION CONTROL.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.
- CONTRACTOR TO OBTAIN SITE CLEARING & TREE REMOVAL PERMIT PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITIES AND CLEARING THE SITE.
- PROTECTION OF EXISTING STORM SEWER SYSTEMS:

DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- ALL DISTURBED AREAS WHICH ARE NOT TO BE SODDED ARE TO BE SEEDED AND MULCHED TO FDOT STANDARDS AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER HAVE BEEN OBTAINED. ANY WASHOUTS, REGRADING, RESEEDING, AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE BY THE REGULATORY AGENCY AND ENGINEER.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (STRAW BALE OR STAKED SILT FENCE) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH, OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO RECOVER SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.
- THERE SHALL BE NO DISCHARGE (I.E. PUMPING, SHEET FLOW, SWALE, DITCH, ETC.) INTO EXISTING LAKE, SYSTEM, WETLAND, OR RIVER, WITHOUT THE USE OF SETTLING PONDS. IF THE CONTRACTOR DESIRES TO DISCHARGE INTO THE EXISTING LAKE SYSTEM OR RIVER, A SETTLING POND PLAN MUST BE SUBMITTED AND APPROVED BY THE ENGINEER AND LOCAL REGULATORY AGENCY PRIOR TO CONSTRUCTION.

VI. SANITARY SEWER NOTES

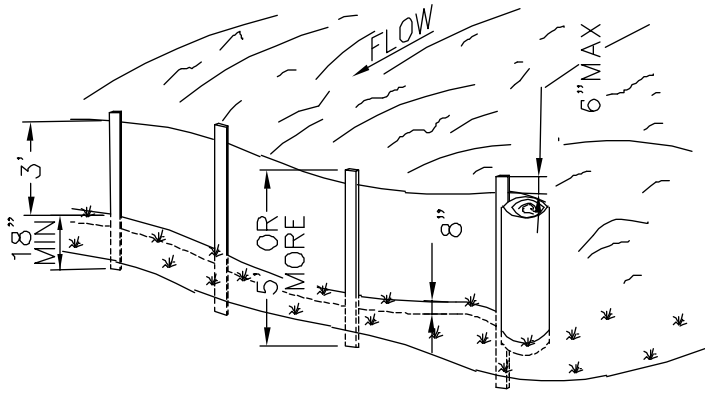
- SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 6 INCHES (12 INCHES PREFERRED) BETWEEN THE INVERT OF THE UPPER PIPE & THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS & WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 6 FEET BETWEEN ANY JOINTS AND THE POINT OF CROSSING. ALTERNATIVELY, THE SEWER MAIN MAY BE ENCASED IN A SLEEVE.
- A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER WHERE PRACTICAL WITH 3FT MINIMUM IF WATERMAIN IS 6 INCHES ABOVE TOP OF GRAVITY SEWER.
- ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE (PVC), SDR 35.
- ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- PVC PIPE AND FITTINGS SHALL CONFORM WITH A.S.T.M. SPECIFICATIONS DESIGNATION D-3034-77C, MA SDR 35. INSTALLATION OF SDR PIPE SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF A.S.T.M. SPECIFICATION DESIGNATION D3321. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.
- ALL PVC FORCE MAINS WITHIN PUBLIC R/W SHALL BE CLASS 200, SDR 21, WITH MECHANICAL JOINTS, AND HAVE A GREEN MAGNETIC TAPE A MINIMUM OF 3" WIDE, PLACED 24" BELOW THE PROPOSED GRADE. THE PRINT ON THE MAGNETIC TAPE SHOULD READ "FORCE MAIN".
- ALL DUCTILE IRON PIPE SHALL BE CLASS 52 IN ACCORDANCE WITH ANSI A 21.50 (AWWA C 150) AND ANSI 21.51 (AWWA C 151). H.C. PIPE SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8, OR A 21.51.
- ALL SANITARY SEWER GRAVITY MAINS OR SANITARY SEWER FORCE MAINS THAT REQUIRE D.I.P. ARE TO BE POLYUNED OR EPOXY LINED.
- ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.
- SANITARY SEWERS SHALL HAVE A MINIMUM COVER OF THREE (3) FEET AND SHALL BE INSTALLED ACCOMPANIED BY A METAL TAPE SIMILAR TO "TERRATAPE" COLORED GREEN AND LAID ONE FOOT ABOVE THE PIPE OR PER LOCAL GOVERNMENT REQUIREMENTS.
- ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS CONTRACTOR'S RESPONSIBILITY.

VII. DRAINAGE SYSTEM NOTES

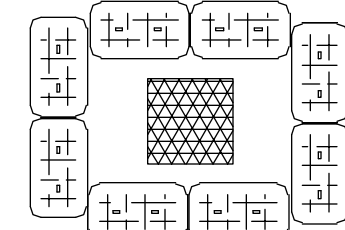
- STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
- PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS WHICH ARE INCLUDED IN LENGTHS.
- ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- CONTRACTOR TO SOD THE DETENTION POND AS INDICATED ON PLANS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE POND.
- THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR SHALL COORDINATE A FINAL INSPECTION OF THE COMPLETED STORMWATER MANAGEMENT SYSTEM PRIOR TO FINAL ACCEPTANCE BY THE OWNER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.

POST (OPTIONS: 2"x4" OR 2 1/2" MIN DIA WOOD; STEEL 1,33 LBS/FT MIN) 6" CENTERS MAX

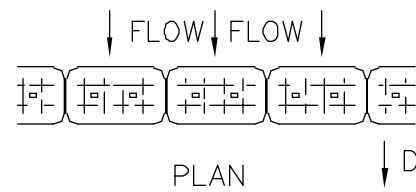
GEOTEXTILE CRITERIA
GRAB TENSILE STRENGTH 90 LBS
TRAPEZOIDAL TEAR 35 LBS
MULLEN BURST 180 PSI
SEE FDOT INDEX NO 199



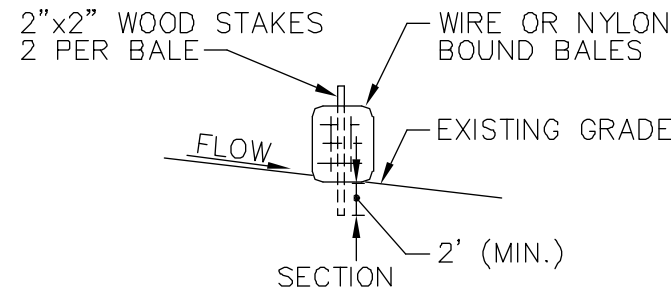
STAKED SILT FENCE



STORMWATER INLET



PLAN



ELEVATION

ANGLE FIRST STAKE TOWARD PREVIOUSLY LAID BALE

BALES BUTTED TIGHTLY TOGETHER

STRAWBALE SILT BARRIER

EROSION CONTROL DETAIL

FDOT INDEX NO. 102



GENERAL NOTES

FOR REVIEW ONLY

DESIGNER: PJM	SCALE: AS NOTED	MAZZILLO AND ASSOCIATES, INC.	DATE	BY	REVISION	SHEET
DRAWN BY: PJM	DATE: 11-19-21					2 OF 4
CHECKED BY: PJM	PROJ. NO.: 010-106.1					
6727 1ST AVE. SOUTH SUITE 106 SAINT PETERSBURG, FL 33707 ENGINEERING BUSINESS No. 27389						

BOUNDARY and TOPOGRAPHIC SURVEY

SITE ADDRESS:
1730 S. MILITARY TRAIL
WEST PALM BEACH, FLORIDA 33415

REMAINDER OF LOT 4, BLOCK 4
SECTION 12, PLAT BOOK 10, PG. 20

FOREST HILL BOULEVARD
(STATE ROAD 882)

CATCH BASIN #1
GRATE ELEVATION = 18.72'
WEST INVERT ELEVATION = 14.77'
NORTH INVERT (4" PVC) = 16.32'

CATCH BASIN #2
GRATE ELEVATION = 18.79'
EAST INVERT ELEVATION = 14.78'
SOUTH INVERT ELEVATION = 14.80'

CATCH BASIN #3
GRATE EL. = 18.79'
NORTH / SOUTH INVERT EL. = 14.75'
TOP OF WEIR EL. = 18.55'
BOTTOM OF WEIR EL. = 18.30'
(NO BLEEDER FOUND)

CATCH BASIN #4
GRATE ELEVATION @ EOP = 18.44'
GRATE ELEVATION @ THROAT = 18.06'
NORTH INVERT ELEVATION = 14.5' +/-
(NOT ACCESSABLE)

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

UTILITY LINES

UNDERGROUND UTILITY LINES AS WITNESSED AND LOCATED
—TR— TRAFFIC SIGNAL LINES
—WM— WATER MAIN
—G— NATURAL GAS LINE

ABBREVIATIONS:

NAVD = NORTH AMERICAN VERTICAL DATUM
x 10.00' = EXISTING SPOT ELEVATIONS
F.F.L. = FINISH FLOOR ELEVATION
EL. = ELEVATION
IG = INVERT ELEVATION
WPP = WOOD POWER POLE
CPP = CONCRETE POWER POLE
UR = UTILITY RISER
F.O. = FIBER OPTIC
F.O.P. = FIBER OPTIC PULLBOX
FO = FIBER OPTIC
EPB = ELECTRIC PULLBOX
UR = UTILITY RISER
CWS = CROSSWALK SIGNAL POLE
TPB = TRAFFIC PULLBOX
TSP = TRAFFIC SIGNAL POLE
ELEC. = ELECTRIC
MTR. = METER

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM ASBUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.
4. THIS PROPERTY WAS SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.
5. THE BEARING BASE OF THIS SURVEY IS ALONG THE WEST LINE OF THE SE 1/4 OF SECTION 12-42-40, N01°01'19"W.
6. ALL BEARINGS AND DISTANCES SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. SITE AREA: 3587.16 SQUARE FEET AND/OR 0.82 ACRES +/-
9. THE EXPECTED USE FOR THIS SURVEY AND MAP IS FOR COMMERCIAL PURPOSES.
10. ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, IN FEET.
11. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.

FLOOD ZONE NOTE:

LANDS SHOWN HEREON ARE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 12099C0588F, DATED 10/5/2017, 2020 AND IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM 1988.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY MAP AND/OR REPORT WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5-17, FLORIDA ADMINISTRATIVE CODE AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

CRAIG D. WATSON
PROFESSIONAL SURVEYOR & MAPPER
NO. 5647 STATE OF FLORIDA

PREPARED FOR:

CRAIG WATSON AND ASSOCIATES LLC
PROFESSIONAL SURVEYING MAPPING

2240 NE DIXIE HIGHWAY - JENSEN BEACH - FLORIDA - 34957
O 772-334-0868 C 772-260-0249 craigwatson@live.com

DATE: 3-22-21

SCALE: 1" = 20'

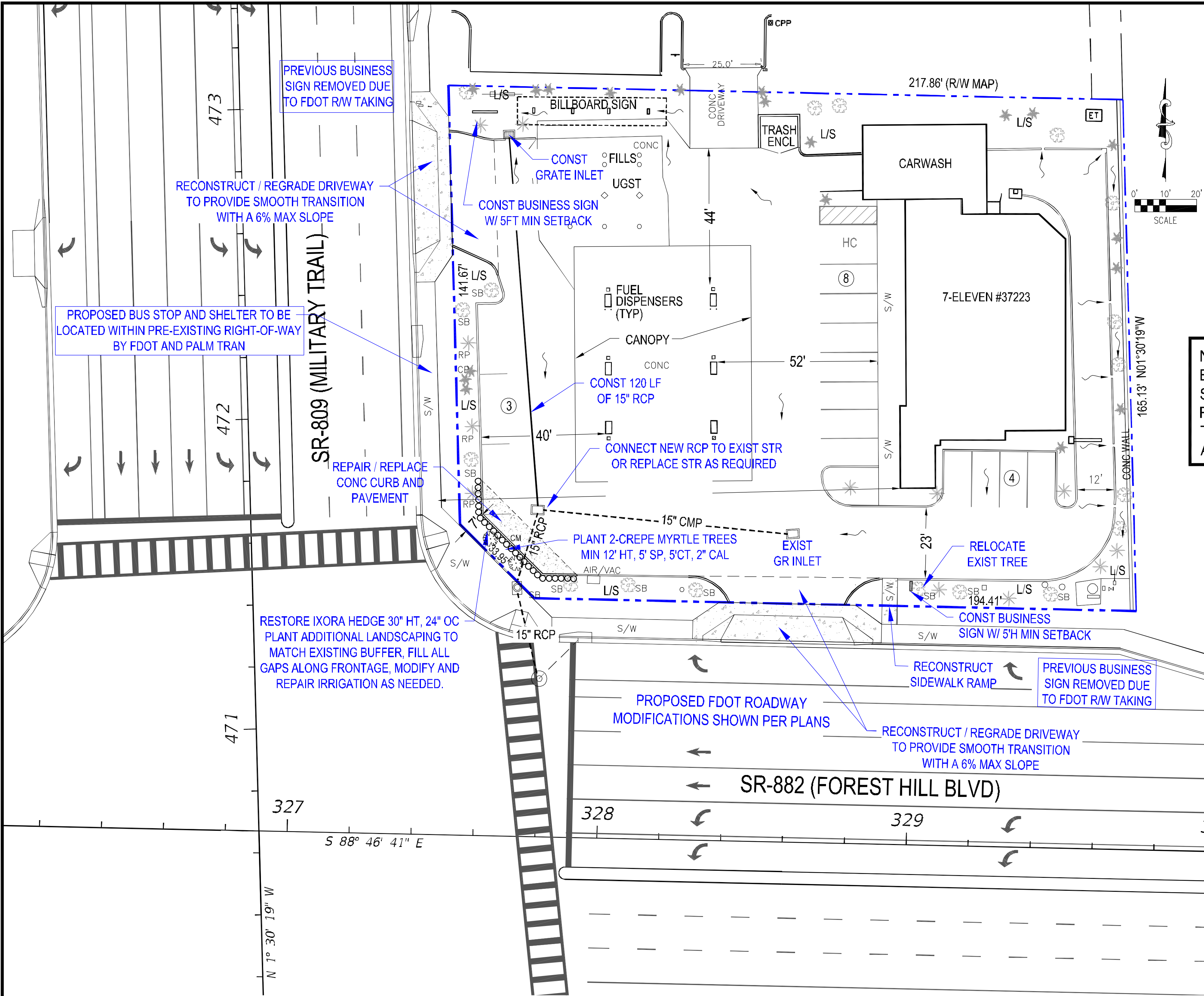
DWG. BY: C.D.W.

CHECKED BY: C.D.W.

JOB NUMBER: 21056

SHEET NUMBER

1 OF 1



BUILDING SETBACKS & BUFFERS			
SETBACKS	REQUIRED	PROVIDED	CO VARIANCE
FRONT BUILDING	50'	142.8'	
FRONT CANOPY	25'	37.5'	*5'
SIDE YARD	25' (Side St)	51.7'	
SIDE YARD (CARWASH)	15' (Interior)	8.8'	*8'
REAR YARD	20'	20'	
R/W LANDSCAPE BUFFER	15'	**7'	*1'

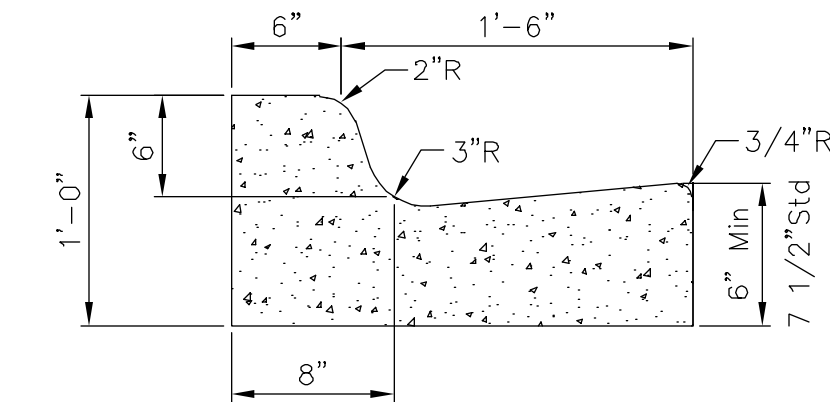
NOTE: * VARIANCES APPROVED BY PALM BEACH COUNTY PRIOR TO VOLUNTARY ANNEXATION AGREEMENT RESOLUTION NO. 2008-72
** REQUESTED LANDSCAPE BUFFER VARIANCE TO 7 FT MINIMUM.

NO INCREASES ARE PROPOSED TO THE EXISTING BUILDING SQUARE FOOTAGE OR IMPERVIOUS AREA. ALL SITE IMPROVEMENTS INCLUDING PARKING ARE TO REMAIN PER THE ORIGINAL SITE PLAN AS ANNEXED INTO THE VILLAGE OF PALM SPRINGS PER THE VOLUNTARY ANNEXATION AGREEMENT RESOLUTION NO. 2008-72.

SITE SUMMARY		
ZONING	CG - COMMERCIAL GENERAL	
LAND USE	COMMERCIAL	
TYPE OF CONSTRUCTION	CONVENIENCE STORE W/ FUEL SALES	
FLOOD ZONE:	ZONE X	
ZONING INFORMATION	AS ANNEXED	PROVIDED
LOT	37,947 SF	
LOT WIDTH	170'	165'
PROJECT AREA	37,947 SF (0.871 AC)	35,676 SF (0.819 AC)
IMPERVIOUS AREA	NONE	28,351 SF (79 %)
PERVIOUS AREA	NONE	7,325 SF (21 %)
BUILDING (EXISTING)	NONE	
SIZE	NONE	3,650 SF
HEIGHT	150'-0" (Max.)	30'-0" ± 1-story
FLOOR AREA RATIO	NONE	
PARKING		
STALL SIZE	9' x 18' - 6"	9' - 6" x 18' - 6"
SPACES	15	15
HANDICAP SPACES	1	1

GENERAL SITE NOTES:

- SEE COVER SHEET FOR SITE LOCATION MAP.
- SEE SITE SURVEY SHEET NO. 3 FOR BOUNDARY INFORMATION, EASEMENTS AND BENCHMARK DATA.
- EXISTING IMPROVEMENTS NOT MODIFIED, TO BE PROTECTED INCLUDING UNDERGROUND STORAGE TANKS, CONCRETE, CURBING, LIGHTING AND LANDSCAPING.
- ALL DIMENSIONS TO THE FACE OF CURB, EXCEPT LANDSCAPE BUFFER WIDTHS MEASURED TO BACK OF CURB.
- ALL CURBING AND CONCRETE PAVEMENT SHALL BE PER THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEXES AND SPECIFICATIONS LATEST REVISION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH VILLAGE OF PALM SPRINGS AND OTHER APPLICABLE AGENCY CODES, REGULATIONS AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORK AREA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST SUBMIT A CONCRETE JOINT PATTERN PLAN TO ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D. AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEXES LATEST REVISION.
- ALL PAVEMENT STRIPPING AND SIGNAGE SHALL BE PER FDOT STANDARD INDEXES LATEST REVISION.
- ALL CURB RAMPS SHALL HAVE DETECTABLE WARNINGS PER FDOT STANDARD INDEXES LATEST REVISION.
- ALL UNPAVED DISTURBED AREAS SHALL BE LANDSCAPED OR SODDED.
- SEE GENERAL NOTES SHEET NO. 2 FOR ADDITIONAL REQUIREMENTS AND NOTES.



FDOT STD
TYPE "F" CURB

CONCRETE	
SUB-GRADE	

CONCRETE 6" THICK 3,500 PSI WITH NYCON NYLON - 6 FIBERS & LAMBERT RB-64 CURING COMPOUND.
SUB-GRADE 6" COMPACTED SUB-GRADE COMPACTED TO 98% AASHTO T-180

TYPICAL CONCRETE PAVEMENT SECTION

AREA CALCULATIONS			
EXISTING PROPERTY PRIOR TO FDOT TAKING:			
AREA	SF	ACRES	%
OPEN SPACE AREA EXISTING	9,079 SF	(0.208 A.C.)	(24)
IMPERVIOUS AREA EXISTING	28,868 SF	(0.663 A.C.)	(76)
TOTAL	37,947 SF	(0.871 A.C.)	(100)
FDOT R/W TAKING SUMMARY:			
SITE AREA BEFORE R/W TAKE	(37,947 SF)	(0.871 A.C.)	
FDOT R/W TAKING PARCEL 109	(2,271 SF)	(0.052 A.C.)	
REMAINING SITE AREA	35,676 SF	(0.819 A.C.)	(100)
SITE PLAN AFTER FDOT TAKING:			
AREA	SF	ACRES	%
PROPOSED OPEN SPACE AREA	7,325 SF	(0.168 A.C.)	(21)
PROPOSED IMPERVIOUS AREA	28,351 SF	(0.651 A.C.)	(79)
TOTAL	35,676 SF	(0.819 A.C.)	(100)

PARKING CALCULATIONS			
USE	AREA	RATIO	REQUIRED SPACES
BUILDING AREA	3,650 SF	1/100 SF	37
STANDARD PARKING SPACES PROVIDED			15*
FUELING POSITIONS PROVIDED			12
HANDICAP PARKING SPACES PROVIDED			1

NOTE: * VARIANCES APPROVED BY PALM BEACH COUNTY PRIOR TO VOLUNTARY ANNEXATION AGREEMENT RESOLUTION NO. 2008-72
PARKING UNCHANGED SINCE ANNEXATION.

PAUL J. MAZZILLO,
State of Florida, Professional Engineer, License No. 44051
This item has been digitally signed and sealed by PAUL J. MAZZILLO on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

FOR REVIEW ONLY

PAUL J. MAZZILLO
P.E. #44051

SITE PLAN

7-ELEVEN #37223, 1730 S. MILITARY TRAIL, VILLAGE OF PALM SPRINGS, FL
PROPOSED SITE MODIFICATIONS WITH FDOT ROADWAY IMPROVEMENTS

DESIGNER: PJM	SCALE: AS NOTED	MAZZILLO AND ASSOCIATES, INC.	DATE: 12/28/21	BY: PJM	REVISION: NOTES PER VILLAGE OF PALM SPRINGS REVIEW	SHEET: 4 OF 4
DRAWN BY: PJM	DATE: 10-21-21					
CHECKED BY: PJM	PROJ. NO.: 010-106.1					

6727 1ST AVE. SOUTH SUITE 106
SAINT PETERSBURG, FL 33707
ENGINEERING BUSINESS No. 27369



December 8, 2021

To: Iramis Cabrera, VPS Planning, Zoning & Building Director

From: Tara Bamber, PE 

**Re: 7 Eleven #32773 at 1730 S. Military Trl
Site Plan Amendment Approval Letter
Engenuity Group Project No. 6001.119**

We have received the following on 11-24-21 through email link:

1. Site Modifications Plan, 4 sheets, dated 10-21-21, by Mazzillo and Associates, Inc.
2. Survey, 1 sheet, dated 3-22-21, by Craig Watson and Associates, LLC
3. Voluntary Annexation Agreement, 15 sheets, dated 10-24-08, by VPS
4. Site Photographs, 12 Sheets
5. Site Plan Narrative, 1 sheet, dated Nov. 2021, by Mazzillo and Associates, Inc.
6. Amended Order of Taking, 20 sheets, dated 10-06-20, by PBC Circuit Court.
7. Unified Development Application, 7 sheets, dated 11-21-21, by VPS

We recommend Site Plan approval with the following conditions:

1. Provide Paving, Grading & Drainage Plan including:
 - a. Grading of all proposed work including driveways.
 - b. Delineating proposed asphalt/concrete areas.
 - c. Proposed striping and signage.
2. Provide permits from all applicable permitting agencies, including but not limited to, PBC Water Utilities Department, FDOT Driveway and Utility Permits, etc.

If you should have any questions, please give me a call at 561-655-1151.

Cc: Lisa Tropepe, PE

From: Wesley Jolin R. <WJolin@pbcgov.org>
Sent: Tuesday, November 30, 2021 09:30
To: Rogelio J. Perez Gonzalez <rperezgonzalez@vpsfl.org>
Subject: RE: Comment Request 7-Eleven 1730 S. Military

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and are confident the content is safe.

No fire review comments. Thank you.

Wesley Jolin, IAAI-CFI[®]
Fire Safety Specialist
Palm Beach County Fire Rescue
wjolin@pbcgov.org
561.233.2695
2300 North Jog Road: Suite 1E-40
West Palm Beach FL 33411

01-07-20

Parcel No. 109 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510, being more particularly described as follows:

Commence at a mag nail & disk stamped "LB 6770", found marking the South One-Quarter (S. 1/4) Corner of said Section 12; thence North 01°30'19" West along the North-South One-Quarter (N-S 1/4) Section line of said Section 12, a distance of 600.21 feet to the point of tangent STA. 463+33.12 being a point on the Baseline of Survey of State Road 809 (Military Trail); thence continue North 01°30'19" West along said North-South One-Quarter (N-S 1/4) Section line and said Baseline of Survey of State Road 809 (Military Trail), a distance of 826.99 feet; thence North 88°29'41" East along a line at a right angle to the previously described course, a distance of 60.50 feet to a point on the Easterly Existing Right of Way line of State Road 809 (Military Trail) and the POINT OF BEGINNING; thence North 01°30'19" West along said Easterly Existing Right of Way line of State Road 809 (Military Trail), a distance of 146.29 feet; thence South 88°46'57" East, a distance of 7.01 feet; thence South 01°30'19" East, a distance of 141.67 feet; thence South 45°08'30" East, a distance of 33.95 feet; thence South 88°46'41" East, a distance of 194.41 feet to the West line of the Lot 8, ERIE TERRACE, according to the plat thereof, as recorded in Plat Book 24, Page 2, of the Public Records of Palm Beach County, Florida; thence South 01°30'19" East along the West line of said Lot 8, a distance of 5.01 feet to a point on the Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard); thence North 88°46'41" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 201.04 feet; thence North 45°08'30" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 34.50 feet to the POINT OF BEGINNING.

Containing 2,271 square feet, more or less.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

07-12-19

Parcel No. 704 State Road 809 Palm Beach County Description

RETURN TO: 133403
Republic Title of Texas, Inc.
2626 Howell Street, 10th Floor
Dallas, TX 75204

PREPARED BY:

J. Donald Stevenson, Jr.
Legal Department
7-Eleven, Inc.
One Arts Plaza
1722 Routh Street, Suite 1000
Dallas, Texas 75201-2506

WHEN RECORDED MAIL TO:

7-Eleven, Inc.
Attn: Legal Dept. (VG)
1722 Routh Street, Suite 1000
Dallas, Texas 75201-2506

MAIL SUBSEQUENT TAX STATEMENTS TO:

7-Eleven, Inc.
Attn: Ad Valorem Taxes (37223)
P.O. Box 711
Dallas, Texas 75221-0741

CFN 20150131676
OR BK 27461 PG 1794
RECORDED 04/13/2015 13:44:11
Palm Beach County, Florida
AMT 2,900,000.00
DEED DOC 20,300.00
Sharon R. Bock
CLERK & COMPTROLLER
Pgs 1794-1797; (4Pgs)

PIN: 70-42-44-12-00-000-5439

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

GENERAL WARRANTY DEED

THIS GENERAL WARRANTY DEED, given as of this 10th day of April, 2015, by **LEGEND PETROLEUM, LLC**, a Florida limited liability company ("Grantor"), whose mailing address is 1730 S. Military Trail, West Palm Beach, Florida 33415 to **7-ELEVEN, INC.**, a Texas corporation, with principal offices at 1722 Routh Street, Suite 1000, Dallas, Texas 75201-2506 ("Grantee");

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration, the receipt whereof is hereby acknowledged, has granted, bargained and sold, and by these presents does grant, bargain and sell unto Grantee, that certain property situated in the Municipality of Palm Springs, City of West Palm Beach, Palm Beach County, State of Florida, more particularly described on Exhibit A attached hereto and made a part hereof for all purposes (the "Property").

TOGETHER WITH all improvements thereon and all tenements, hereditaments, easements and appurtenances belonging thereto, to have and to hold in fee simple forever.

SUBJECT TO current taxes and assessments not yet delinquent, and taxes and assessments for subsequent years, and those particular matters of record shown on Exhibit B attached hereto and incorporated herein.

THE PROPERTY is not the homestead of Grantor.

Loc. 37223 FL

4pgs/\$35.50

AND GRANTOR HEREBY COVENANTS that it is lawfully seized of the Property in fee simple, that Grantor has good right and lawful authority to sell and convey the Property, and that Grantor does hereby fully warrant title to the Property and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has duly executed this General Warranty Deed as of the date first above written.

GRANTOR:

LEGEND PETROLEUM, LLC,
a Florida limited liability company

By: _____

Vijay A. Kumar
Managing Member

Signed in the presence of:

Witness

Dominick Napoli
Printed Name

Witness

Renato Kendrick
Printed Name

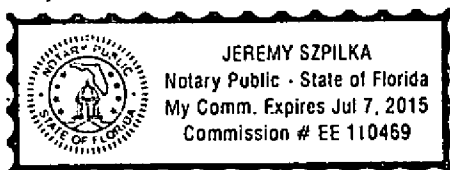
ACKNOWLEDGMENT

STATE OF FLORIDA §
 §
COUNTY OF PALM BEACH §

BEFORE ME, the undersigned, a Notary Public in and for said State, on this day personally appeared Vijay A. Kumar, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 09 day of April, 2015.

(SEAL)



Notary Public, in and for the State of Florida

Jeremy Szpilka
(type or printed name)

EXHIBIT A
(Property Description)

The Land referred to herein below is situated in the County of Palm Beach, State of Florida, and is described as follows:

The South 242.4 feet of the West 285.12 feet of Lot 4, Block 4, Section 12, of PALM BEACH PLANTATIONS, according to the Plat thereof, as recorded in Plat Book 10, Page 20, LESS Right of Way conveyed to Palm Beach County in O.R. Book 10815, Page 351, Public Records of Palm Beach County, Florida, and LESS Right of Way of Forest Hills Boulevard and Military Trail.

More commonly known as 1730 S. Military Trail, West Palm Beach, FL 33415

EXHIBIT B
(Permitted Exceptions)

This conveyance is subject to the following:

1. Taxes and assessments for the year 2015 and subsequent years, which are not yet due and payable.
2. Provisions of the Plat of Plat No. 1 Palm Beach Plantation, recorded in Plat Book 10, Page 20 of the Public Records of Palm Beach County, Florida.
3. Easement conveyed by Quit Claim Deed recorded in Book 3989, Page 1607.
4. The terms, provisions and conditions contained in that certain Standard Wastewater Development Agreement recorded in Book 10242, Page 1158.
5. Easement granted to Florida Power & Light Company by instrument recorded in Book 11755, Page 33.
6. The terms, provisions and conditions contained in that certain Utility Easement recorded in Book 11976, Page 1513.
7. The terms, provisions and conditions contained in that certain Indemnity Agreement recorded in Book 11997, Page 1744.

IN THE CIRCUIT COURT OF THE 15TH JUDICIAL
CIRCUIT IN AND FOR PALM BEACH COUNTY, FLORIDA
STATE OF FLORIDA DEPARTMENT
OF TRANSPORTATION,

Petitioner,

CIVILCASE NO.:502020CA006851XXXXMB

-vs-

Parcel No(s): 109,704,706

7-ELEVEN, INC., a Texas corporation, et al.,
Defendants.

_____/

ORDER OF TAKING

THIS CAUSE coming before the Court, and it appearing that proper notice was first given to all the Defendants and to all persons having or claiming any equity, lien, title, or other interest in or to the real property described in the Petition that the Petitioner would apply to this Court on the 29th day of September 2020, for an Order of Taking, and the Court being fully advised in the premises, upon consideration, it is, therefore,

ADJUDGED:

1. That the Court has jurisdiction of the subject matter of this cause, as well as of the parties;
2. That the pleadings in this cause are sufficient, and the Petitioner is properly exercising its delegated authority;
3. That each Estimate of Value filed in this cause by the Petitioner was made in good faith.
4. That upon the payment of the deposit hereinafter specified into the Registry of this Court, all right, title, or interest specified in the Petition, as described herein, shall vest in the Petitioner; to wit:

Item/Segment No. 4378781 Fee Simple Right of Way
(Section 93150-2510)

01-07-20

Parcel No. 109 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510, being more particularly described as follows:

Commence at a mag nail & disk stamped "LB 6770", found marking the South One-Quarter (S. 1/4) Corner of said Section 12; thence North 01°30'19" West along the North-South One-Quarter (N-S 1/4) Section line of said Section 12, a distance of 600.21 feet to the point of tangent STA. 463+33.12 being a point on the Baseline of Survey of State Road 809 (Military Trail); thence continue North 01°30'19" West along said North-South One-Quarter (N-S 1/4) Section line and said Baseline of Survey of State Road 809 (Military Trail), a distance of 826.99 feet; thence North 88°29'41" East along a line at a right angle to the previously described course, a distance of 60.50 feet to a point on the Easterly Existing Right of Way line of State Road 809 (Military Trail) and the POINT OF BEGINNING; thence North 01°30'19" West along said Easterly Existing Right of Way line of State Road 809 (Military Trail), a distance of 146.29 feet; thence South 88°46'57" East, a distance of 7.01 feet; thence South 01°30'19" East, a distance of 141.67 feet; thence South 45°08'30" East, a distance of 33.95 feet; thence South 88°46'41" East, a distance of 194.41 feet to the West line of the Lot 8, ERIE TERRACE, according to the plat thereof, as recorded in Plat Book 24, Page 2, of the Public Records of Palm Beach County, Florida; thence South 01°30'19" East along the West line of said Lot 8, a distance of 5.01 feet to a point on the Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard); thence North 88°46'41" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 201.04 feet; thence North 45°08'30" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 34.50 feet to the POINT OF BEGINNING.

Containing 2,271 square feet, more or less.

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Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

07-12-19

Parcel No. 704 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East; said portion lying Northerly of and adjacent to Parcel 109, extending Northerly no more than 5.00 feet between Baseline of Survey of State Road 882 (Forest Hill Boulevard) Stations 328+38.66 and 328+81.66, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510.

Containing 215 square feet, more or less.

A temporary easement for the purpose of tying in and harmonizing said property and the driveways, walkways, etc. together with the right of access, ingress and egress, along with any other incidences necessary or convenient in connection with the construction to be undertaken by the Department, in State Road 809 (Military Trail) adjacent thereto.

This Easement is granted upon the condition that the sloping and/or grading upon the above land shall not extend beyond the limits outlined above, and that all grading or sloping shall conform to all existing structural improvements within the limits designated, and all work will be performed in such manner that the existing structural improvements will not be damaged.

This Easement shall expire upon the completion of this transportation project but not later than the last day of March 2027.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

10-23-19

Parcel No. 706 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East; said portion lying Northeasterly of and adjacent to Parcel 109, extending Northeasterly no more than 15.00 feet between Baseline of Survey of State Road 882 (Forest Hill Boulevard) Station 327+99.93 and Baseline of Survey of State Road 809 (Military Trail) Station 471+86.13, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510.

Containing 745 square feet, more or less.

A temporary easement for the purpose of demolition and removal and/or cutting, refacing and modifying of improvements that are partially on the area of Parcel 109 and partially on the remaining property area, and any work incidental to said activities and to tie-in and harmonize said property with the construction to be undertaken for the project.

This easement includes the right to ingress and egress, occupy, possess and control the property for the stated purposes, and to stage equipment for the stated purposes. By this easement, the Florida Department of Transportation is hereby authorized to apply for any and all necessary permits and/or approvals to accomplish the stated purposes.

This Easement shall expire upon the completion of the work described herein but not later than the last day of September 2021.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

5. That the deposit of money will secure the persons lawfully entitled to the compensation which will ultimately be determined by final judgment of this Court;
6. That the sum of money to be deposited in the Registry of the Court within twenty (20) days of the entry of this Order, shall be in the amount of:

Parcel 110 \$357,700.00

TOTAL \$357,700.00

7. That on deposit as set forth above and without further notice or Order of this Court, the Petitioner shall be entitled to possession of the property described in the Petition.
8. This Order is entered without prejudice to the Defendant's right to jury trial on the amount of full compensation to ultimately be paid for the property acquired herein;
9. The Petitioner shall construct its project in substantial conformity with the construction plans attached hereto and incorporated herein as Exhibit "A".

DONE AND ORDERED in Chambers, at West Palm Beach, Palm Beach County, Florida.

 50-2020-CA-006851-XXXX-MB 10/05/2020
SCOTT KERNER
Scott Kerner, Judge
ADMINISTRATIVE OFFICE OF THE COURT

50-2020-CA-006851-XXXX-MB 10/05/2020
Scott Kerner
Judge

COPIES TO:

KEVIN F. MOOT	3400 WEST COMMERCIAL BOULEVARD FORT LAUDERDALE, FL 33309	KEVIN.MOOT@DOT.STATE. FLUS shalonda.sutton@dot.state.fl.us d4-ogcservice@dot.state.fl.us
ORFELIA M. MAYOR	P.O. BOX 3715 WEST PALM BEACH, FL 33402	OMAYOR@PBCTAX.COM legalservices@pbctax.com
PAUL D. BAIN	101 E KENNEDY BLVD SUITE 2700 TAMPA, FL 33602	PBAIN@TRENAM.COM
THOMAS R. BOLF	PO BOX 15764 PLANTATION, FL 33318	tbolf@bolflaw.com

IN THE CIRCUIT COURT OF THE FIFTEENTH JUDICIAL CIRCUIT
IN AND FOR PALM BEACH COUNTY, FLORIDA

CIRCUIT CIVIL DIVISION AJ
CASE NO. 50-2020-CA-006851-XXXX-MB

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION,
Plaintiff/Petitioner

vs.

7 ELEVEN INC,
COLOMBINO BAKERY INC,
PALM BEACH COUNTY A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA,
Defendant/Respondents.

AMENDED ORDER OF TAKING
(as to attachment of exhibits only)

THIS CAUSE coming before the Court, and it appearing that proper notice was first given to all the Defendants and to all persons having or claiming any equity, lien, title, or other interest in or to the real property described in the Petition that the Petitioner would apply to this Court on the 29th day of September 2020, for an Order of Taking, and the Court being fully advised in the premises, upon consideration, it is, therefore,

ADJUDGED:

1. 1.That the Court has jurisdiction of the subject matter of this cause, as well as of the parties;
2. 2.That the pleadings in this cause are sufficient, and the Petitioner is properly exercising its delegated authority;
3. 3.That each Estimate of Value filed in this cause by the Petitioner was made in good faith.
4. 4.That upon the payment of the deposit hereinafter specified into the Registry of this Court, all right, title, or interest specified in the Petition, as described herein, shall vest in the Petitioner; to wit:

Item/Segment No. 4378781 Fee Simple Right of Way
(Section 93150-2510)

01-07-20

Parcel No. 109 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510, being more particularly described as follows:

Commence at a mag nail & disk stamped "LB 6770", found marking the South One-Quarter (S. 1/4) Corner of said Section 12; thence North 01°30'19" West along the North-South One-Quarter (N-S 1/4) Section line of said Section 12, a distance of 600.21 feet to the point of tangent STA. 463+33.12 being a point on the Baseline of Survey of State Road 809 (Military Trail); thence continue North 01°30'19" West along said North-South One-Quarter (N-S 1/4) Section line and said Baseline of Survey of State Road 809 (Military Trail), a distance of 826.99 feet; thence North 88°29'41" East along a line at a right angle to the previously described course, a distance of 60.50 feet to a point on the Easterly Existing Right of Way line of State Road 809 (Military Trail) and the POINT OF BEGINNING; thence North 01°30'19" West along said Easterly Existing Right of Way line of State Road 809 (Military Trail), a distance of 146.29 feet; thence South 88°46'57" East, a distance of 7.01 feet; thence South 01°30'19" East, a distance of 141.67 feet; thence South 45°08'30" East, a distance of 33.95 feet; thence South 88°46'41" East, a distance of 194.41 feet to the West line of the Lot 8, ERIE TERRACE, according to the plat thereof, as recorded in Plat Book 24, Page 2, of the Public Records of Palm Beach County, Florida; thence South 01°30'19" East along the West line of said Lot 8, a distance of 5.01 feet to a point on the Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard); thence North 88°46'41" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 201.04 feet; thence North 45°08'30" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 34.50 feet to the POINT OF BEGINNING.

Containing 2,271 square feet, more or less.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

07-12-19

Parcel No. 704 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East; said portion lying Northerly of and adjacent to Parcel 109, extending Northerly no more than 5.00 feet between Baseline of Survey of State Road 882 (Forest Hill Boulevard) Stations 328+38.66 and 328+81.66, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510.

Containing 215 square feet, more or less.

A temporary easement for the purpose of tying in and harmonizing said property and the driveways, walkways, etc. together with the right of access, ingress and egress, along with any other incidences necessary or convenient in connection with the construction to be undertaken by the Department, in State Road 809 (Military Trail) adjacent thereto.

This Easement is granted upon the condition that the sloping and/or grading upon the above land shall not extend beyond the limits outlined above, and that all grading or sloping shall conform to all existing structural improvements within the limits designated, and all work will be performed in such manner that the existing structural improvements will not be damaged.

This Easement shall expire upon the completion of this transportation project but not later than the last day of March 2027.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

10-23-19

Parcel No. 706 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East; said portion lying Northeasterly of and adjacent to Parcel 109, extending Northeasterly no more than 15.00 feet between Baseline of Survey of State Road 882 (Forest Hill Boulevard)

Station 327+99.93 and Baseline of Survey of State Road 809 (Military Trail) Station 471+86.13, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510.

Containing 745 square feet, more or less.

A temporary easement for the purpose of demolition and removal and/or cutting, refacing and modifying of improvements that are partially on the area of Parcel 109 and partially on the remaining property area, and any work incidental to said activities and to tie-in and harmonize said property with the construction to be undertaken for the project.

This easement includes the right to ingress and egress, occupy, possess and control the property for the stated purposes, and to stage equipment for the stated purposes. By this easement, the Florida Department of Transportation is hereby authorized to apply for any and all necessary permits and/or approvals to accomplish the stated purposes.

This Easement shall expire upon the completion of the work described herein but not later than the last day of September 2021.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

1. 5.That the deposit of money will secure the persons lawfully entitled to the compensation which will ultimately be determined by final judgment of this Court;
2. 6.That the sum of money to be deposited in the Registry of the Court within twenty (20) days of the entry of this Order, shall be in the amount of:

Parcel 110 \$357,700.00

TOTAL \$357,700.00

1. 7.That on deposit as set forth above and without further notice or Order of this Court, the Petitioner shall be entitled to possession of the property described in the Petition.
2. 8.This Order is entered without prejudice to the Defendant's right to jury trial on the amount of full compensation to ultimately be paid for the property acquired herein;
3. 9.The Petitioner shall construct its project in substantial conformity with the construction plans attached hereto and incorporated herein as Exhibit "A".

DONE AND ORDERED, in West Palm Beach, Palm Beach County, Florida this 6th day of October, 2020.



50-2020-CA-006851-XXXX-MB 10/06/2020
Scott Kerner
Judge

COPIES TO:

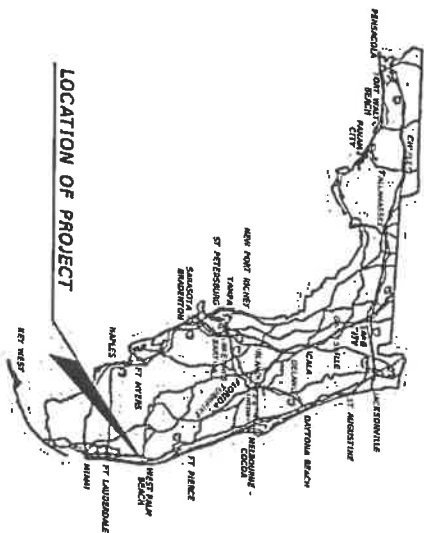
KEVIN F. MOOT	3400 WEST COMMERCIAL BOULEVARD FORT LAUDERDALE, FL 33309	KEVIN.MOOT@DOT.STATE. FLUS shalonda.sutton@dot.state.fl.us d4-ogcservice@dot.state.fl.us
ORFELIA M. MAYOR	P.O. BOX 3715 WEST PALM BEACH, FL 33402	OMAYOR@PBCTAX.COM legalservices@pbctax.com
PAUL D. BAIN	101 E KENNEDY BLVD SUITE 2700 TAMPA, FL 33602	PBAIN@TRENAM.COM
THOMAS R. BOLF	PO BOX 15764 PLANTATION, FL 33318	tbolf@bolflaw.com

EXHIBIT "A"

CONTRACT PLANS

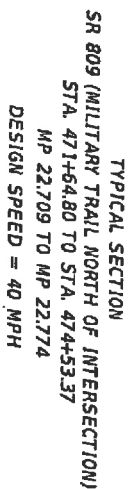
PALM BEACH COUNTY (93070)

INDEX OF ROADWAY PLANS	
SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2 - 3	TYPICAL SECTION
4 - 5	ROADWAY PLAN
6 - 9	ROADWAY PROFILES
10 - 12	CROSS SECTIONS
13 - 14	SIGNING AND PAVEMENT MARKINGS



PARCEL 109, 704, 706

CONSTRUCTION CONTRACT NO.	FISCAL YEAR	SHEET NO.
T.B.D.	22	1

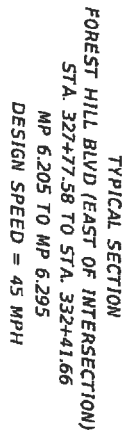


**MILL EXISTING ASPHALT CONCRETE PAVEMENT
1.0 INCHES AVERAGE DEPTH
RESURFACING**

OPTIONAL BASE GROUP 9 WITH
TYPE SP STRUCTURAL COURSE (TRAFFIC C) (37)
AND FRICTION COURSE FC-9.5 (1) (PG 76-22)
OVERBUILD FOR SLOPE

TYPE SP OVERBUILD (TRAFFIC C) THICKNESS VARIES (3" TO 14")

TYPICAL SECTION



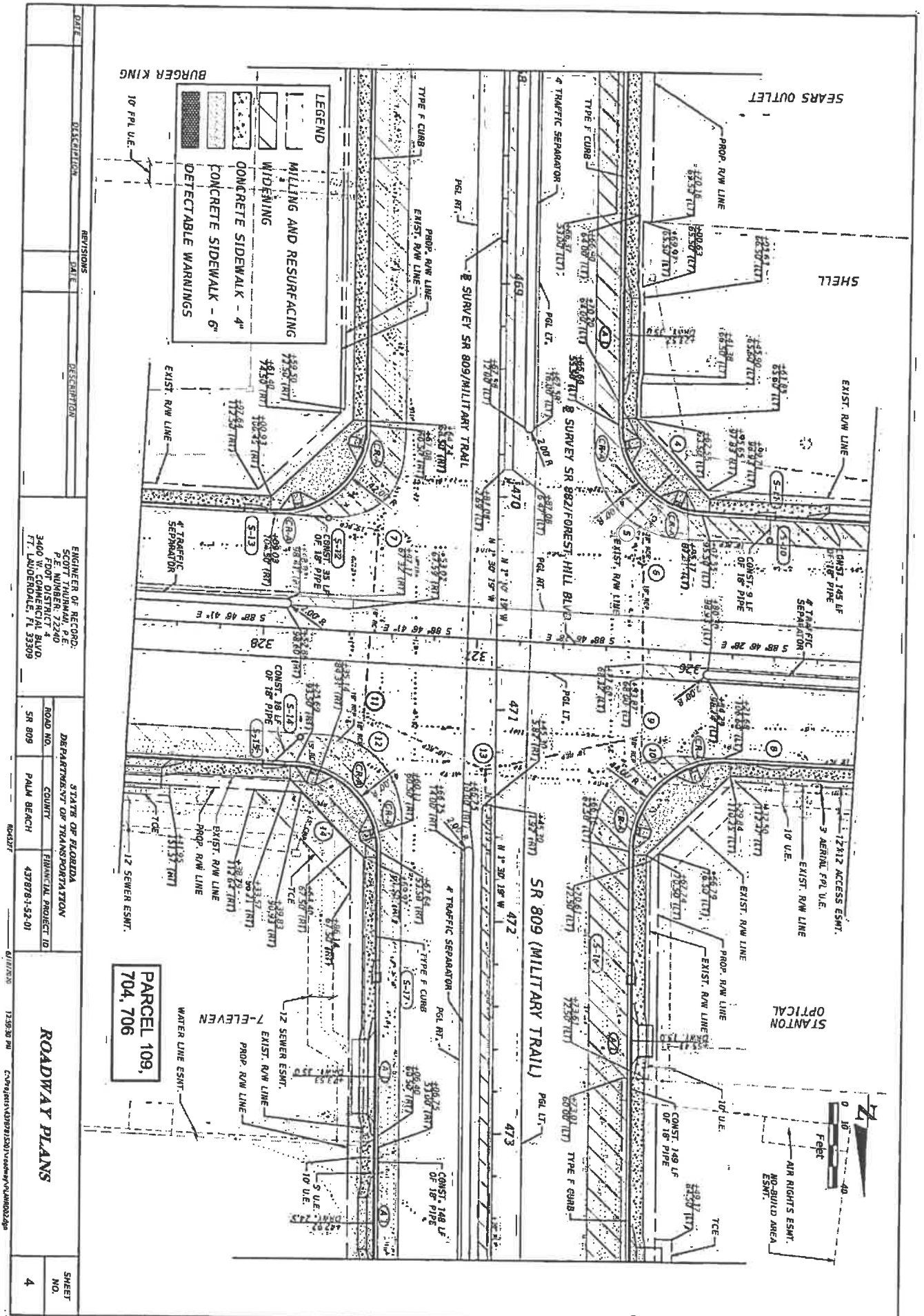
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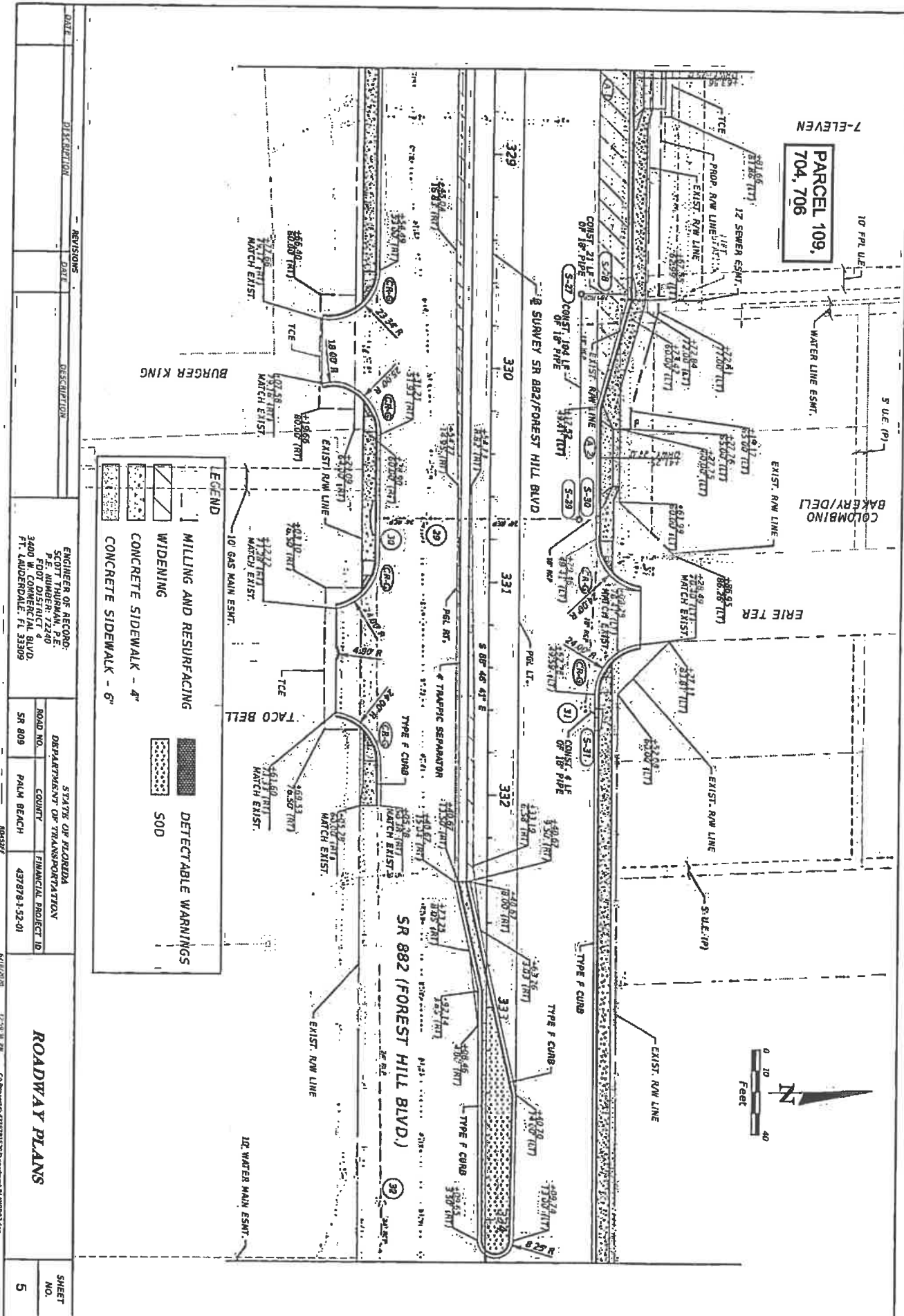
STA. 327+77.58 TO STA. 332+41.66

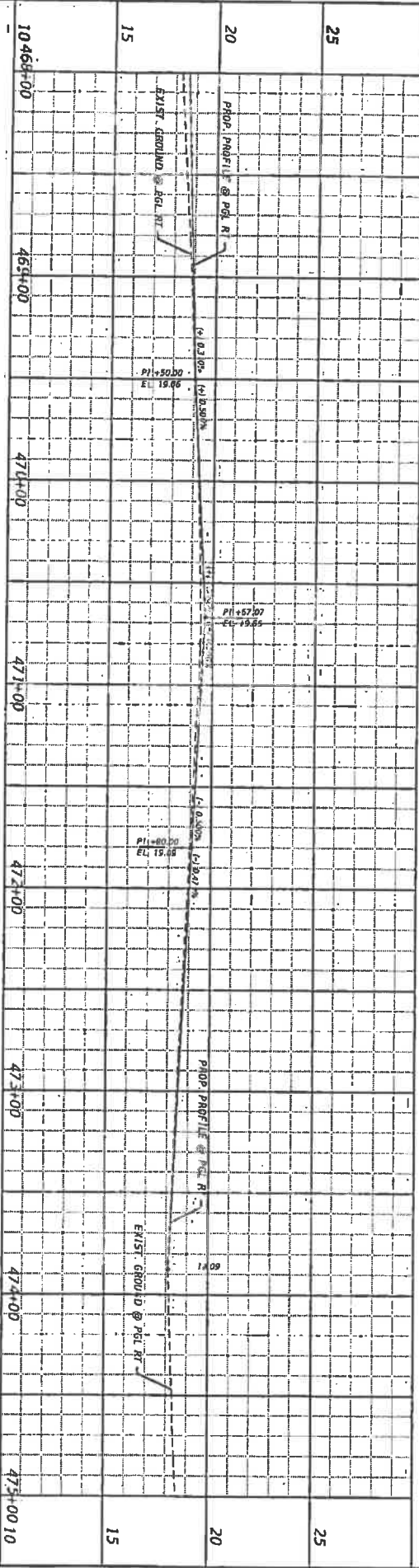
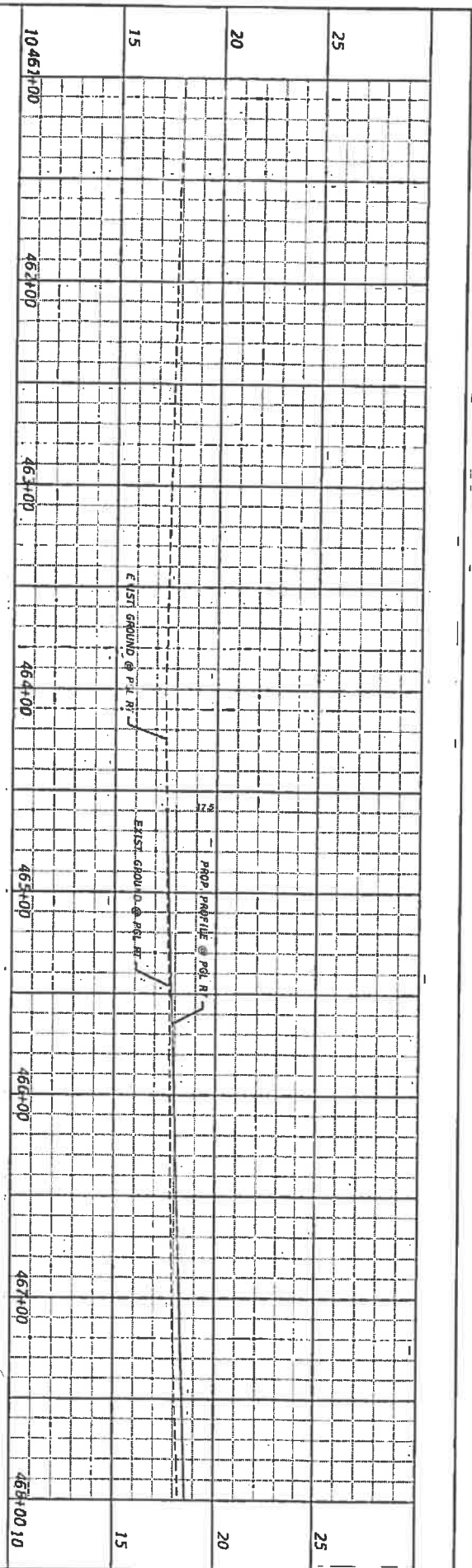
CURRENT YEAR ESTIMATE = 2017 AADT = 39,000
DESIGN YEAR ESTIMATE = 2022 AADT = 40,200
DESIGN YEAR ESTIMATE = 2042 AADT = 44,900
K = 9% D = 60.6% T = 4.9% (24 HOUR)
DESIGN SPEED = 45 MPH
POSTED SPEED = 45 MPH

MILL EXISTING ASPHALT CONCRETE PAVEMENT
20 INCHES AVERAGE DEPTH
RESURFACING
TYPE SP STRUCTURAL COURSE (TRAFFIC C) (11),
AID FRICTION COURSE (FC-9.5 (17) (PG 76-32))
WIDENING
OPTIONAL BASE GROUP WITH
TYPE SP STRUCTURAL COURSE (TRAFFIC C) (17)
AID FRICTION COURSE (FC-9.5 (17) (PG 76-32))

TYPICAL SECTION



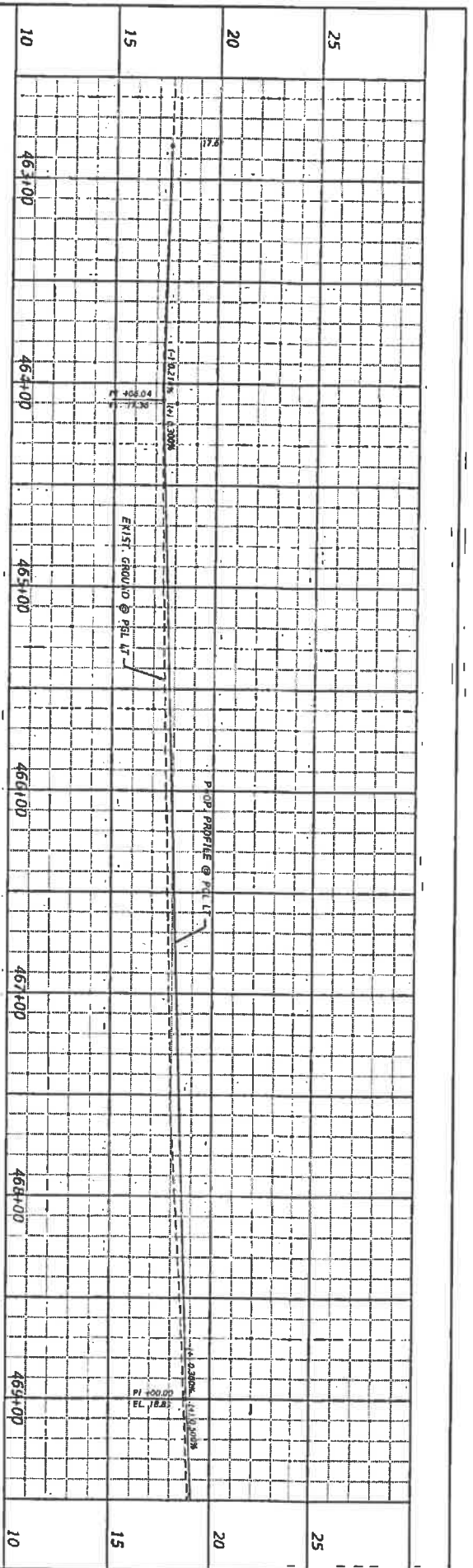


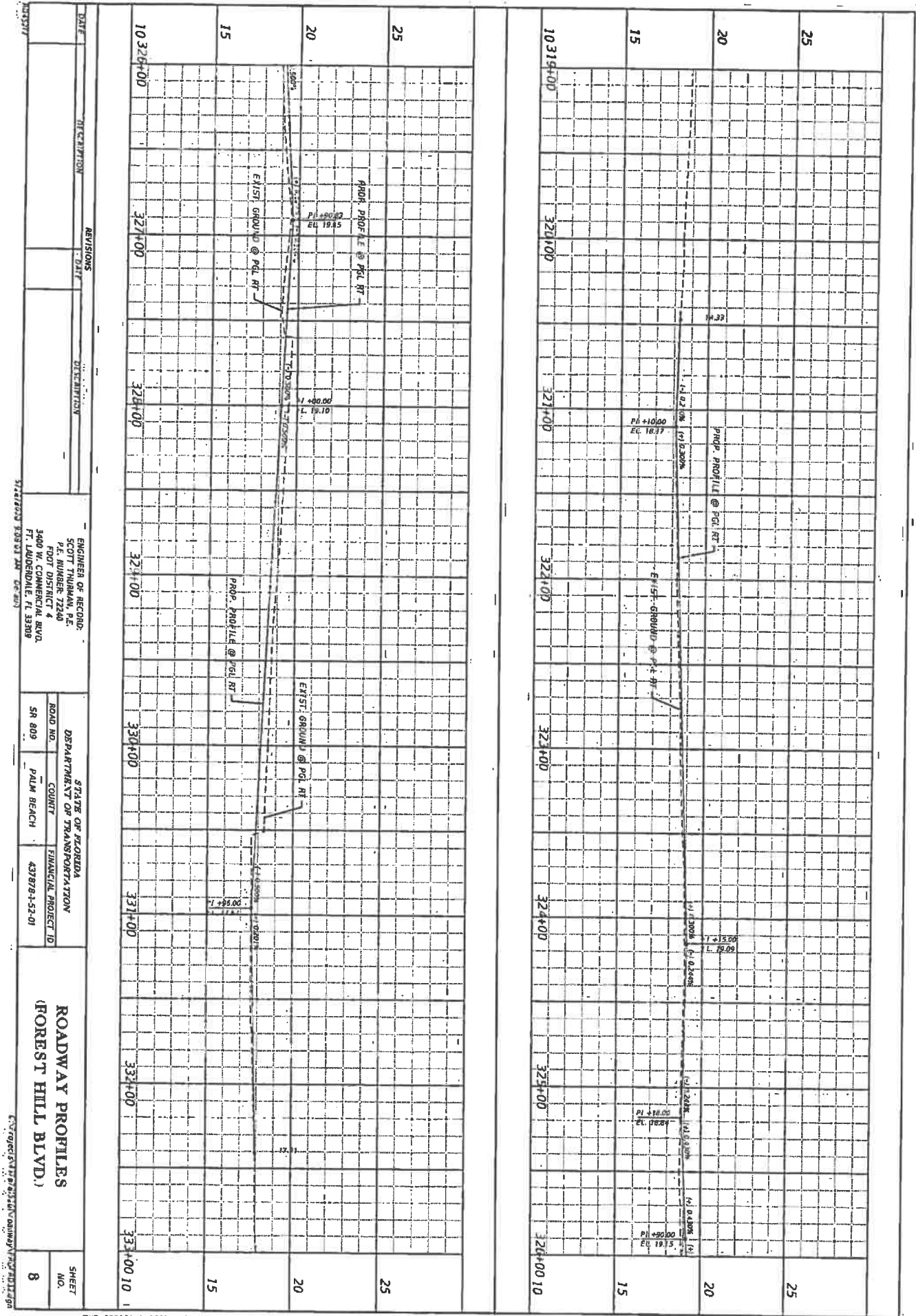


DATE	DESCRIPTION	REVISIONS	DATE	DESCRIPTION

ENGINEER OF RECORD: SCOTT THURMAN, P.E. P.E. NUMBER: 72340 FDOT DISTRICT 4 3400 W. COMMERCIAL BLVD. FT. LAUDERDALE, FL 33309		STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION COUNTY: PALM BEACH FINANCIAL PROJECT ID: 437878-52-01		ROADWAY PROFILES (MILITARY TRAIL)	SHEET NO. 6
SR 809					

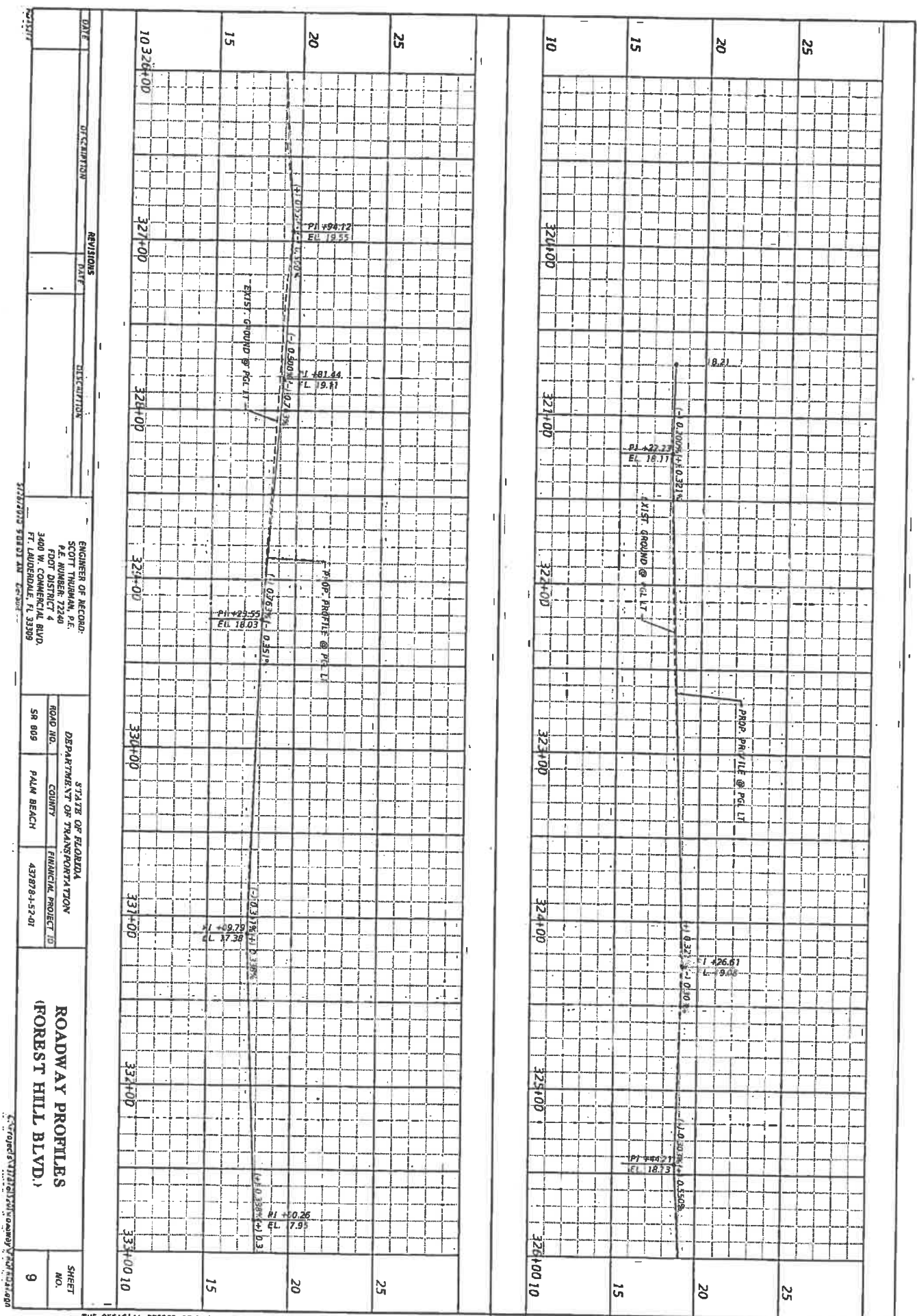
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.





REVISIONS		3747E OF FLORIDA		ROADWAY PROFILES	
DATE	DESCRIPTION	DEPARTMENT OF TRANSPORTATION	COUNTY	FINANCIAL PROJECT ID	SHEET NO.
	ENGINEER OF RECORD: SCOTT THUNMAN, P.E. P.E. NUMBER 7240 FDOT DISTRICT 4 3400 W. COMMERCIAL BLVD. FT. LAUDERDALE, FL 33309				
		SR 809	PALM BEACH	43787-1-52-01	8

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



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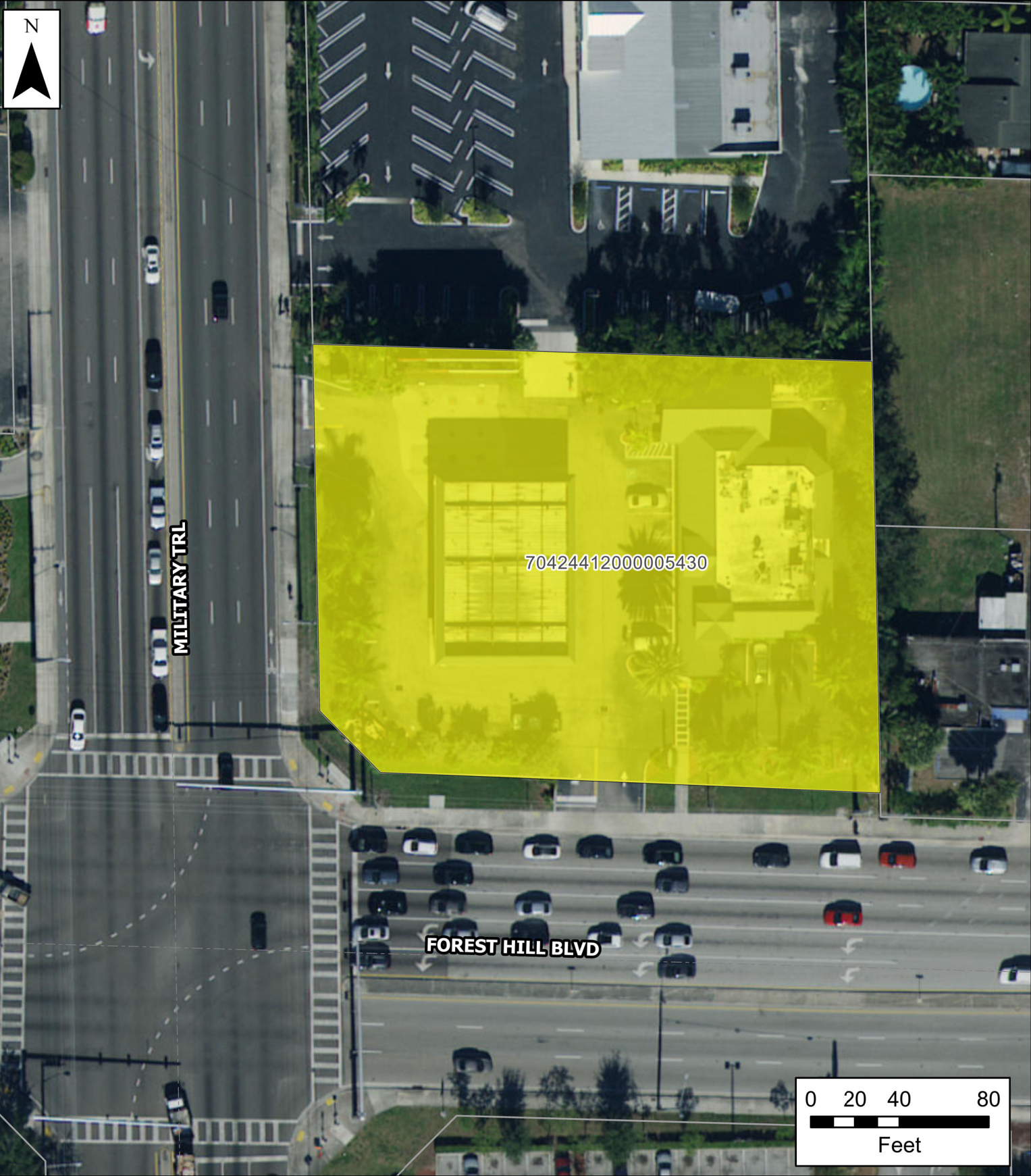
THE ELECTRO

OF THE

P.E. NUMBER 17240 1901 DISTRICT 9 3800 W. COMMERCIAL BLVD. FT. LAUDERDALE, FL 33309		ROAD NO. SR 809	COUNTY PALM BEACH	FINANCIAL PROJECT ID 437870-152-01	NO. 14
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C:\Projects\43787815201\signing\LANSP01.dgn

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



Village of Palm Springs

1730 S Military Trail

-  Parcels
-  Property Boundary

The Data is provided "as is" without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The Village of Palm Springs make no warranties, express or implied, as to the use of the licensed Data. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is dynamic and is in a constant state of maintenance, correction and update

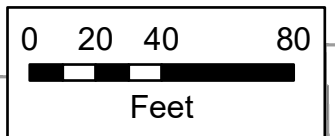
Data Source: Parcels provided by Palm Beach County



MILITARY TRAIL

70424412000005430

FOREST HILL BLVD



Village of Palm Springs

1730 S Military Trail

-  Parcels
-  Property Boundary

The Data is provided "as is" without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The Village of Palm Springs make no warranties, express or implied, as to the use of the licensed Data. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is dynamic and is in a constant state of maintenance, correction and update

Data Source: Parcels provided by Palm Beach County



Village of Palm Springs

Executive Brief

AGENDA DATE: January 11, 2022

DEPARTMENT: Planning, Zoning & Building

ITEM #62: Resolution 2022-03 - Site Development Plan Amendment - 7-Eleven - 1730 South Military Trail (Quasi-Judicial Hearing)

Paul Mazzillo, agent for the owner, 7 Eleven INC, is requesting a Site Development Plan Amendment (SPR22-02) for the Commercial General property located at 1730 South Military Trail. The applicant is proposing to redesign the entire frontage (western and southern) portions of the property due to right-of-way condemnation by the Florida Department of Transportation (FDOT).

FDOT proposes to make intersection improvements at State Road 809 (South Military Trail) and State Road 882 (Forest Hill Boulevard), which necessitates widening both roadways along the approach and departure from the intersection. The widening project resulted in the state taking 2,271 square feet along the entire length of the property's western and southern frontage. The taking will impact the property, causing the loss of right-of-way landscape buffer.

Note: Currently, the 0.871 acre property is being developed with a 3,650 square-foot commercial building, 15 parking spaces and 12 fuel stations.

The applicant proposes a cure plan for remedial action for loss of the property and to minimize the negative impact. The proposed plan will re-accommodate the right-of-way landscaped buffers.

As part of the proposed Site Development Plan amendment, the applicant is requesting one variance (PSV22-01) which is the subject of a separate agenda item.

The Planning, Zoning & Building Staff does not object to the variance requested and recommend conditional approval to facilitate the redevelopment of the property as a result of the state condemnation, the proposed site plan for which is the subject of a separate agenda item.

FISCAL IMPACT:

The proposed modification to the project is not expected to have a fiscal impact on the Village.

ATTACHMENTS:

1. Res No. 2022-03 Site Plan Development Amendment (SPR22-02) Variance (PSV22-01) -7-Eleven - 1730 S. Military Trail
2. Exhibit "A" Staff Report
3. Project Narrative and Justification Statement
4. Site Plan and Letters
5. Warranty Deed

6. Stipulated Order of Taking
7. Aerial and Location Maps

RESOLUTION NO. 2022-03

A RESOLUTION OF THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA, REQUESTING (APPROVING/DENYING), WITH CONDITIONS, A SITE DEVELOPMENT PLAN AMENDMENT, (SPR22-02) TO REDESIGN THE SITE DUE TO FDOT RIGHT-OF-WAY ACQUISITION ALONG THE WESTERN AND SOUTHERN SIDES OF THE COMMERCIAL PROPERTY, LOCATED AT 1730 SOUTH MILITARY TRAIL AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Mr. Paul Mazzillo of Mazzillo and Associates, Inc., Agent for 7-Eleven, Inc., (“Applicant”) is requesting a Site Development Plan Amendment (SPR22-02) to redesign the site due to FDOT right-of-way acquisition along the western and southern portions of the commercial property, located at 1730 South Military Trail; and

WHEREAS, the Planning and Zoning Board has approved the Applicant’s request for: one (1) variance (PSV22-01) to allow an irregular landscaped buffer along the west and south sides of the property, adjacent to Military Trail and Forest Hill Boulevard, with a minimum width of 7’ (a reduction of 8’). (Provides relief from Section 34-162(b)(5) that requires a minimum 15’ wide buffer).

WHEREAS, the recommendation of the Planning, Zoning and Building Department is to approve this application, subject to staff report conditions; and

WHEREAS, the Village Council has considered the presentation and other evidence presented by the Applicant; has received and considered the recommendations of the Village Staff; and has otherwise been fully informed regarding this matter; and

NOW THEREFORE, BE IT RESOLVED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:

Section 1. The Village Council having received and considered the request of Mr. Paul Mazzillo of Mazzillo and Associates, Inc., Agent for 7-Eleven, Inc., (“Applicant”), for approval of Site Development Plan Amendment (SPR22-02), to allow the redesign of the site due to FDOT right-of-way acquisition along the western and southern portions of the commercial property.

_____Having been otherwise fully apprised of the premises herein, the Village Council hereby finds that the application meets the requirements of Chapter 34, Article VI, Division 5 of the Village of Palm Springs Code of Ordinances, and approves the said application, with the staff report conditions attached hereto as Exhibit “A”, and which is incorporated herein by reference.

OR

_____ Having been otherwise fully apprised of the premises herein, the Village Council hereby denies the application, finding that Chapter 34, Article VI, Division 5, for the following reason(s):

Notwithstanding any exceptions, conditions or other approvals granted herein, the applicant must conform to all other applicable codes, ordinances, and laws whether stated herein or not.

Section 2. This Resolution shall take effect immediately upon adoption.

Council Member _____ offered the foregoing resolution. Council Member _____ seconded the motion, and upon being put to a vote, the vote was as follows:

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>
BEV SMITH, MAYOR	☐	☐	☐
GARY READY, VICE MAYOR	☐	☐	☐
DOUGLAS GUNTHER, MAYOR PRO TEM	☐	☐	☐
PATTI WALLER, COUNCIL MEMBER	☐	☐	☐
JONI BRINKMAN, COUNCIL MEMBER	☐	☐	☐

The Mayor thereupon declared the Resolution duly passed and adopted this _____ day of _____ 2022.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: _____
BEV SMITH, MAYOR

ATTEST:

BY: _____
KIMBERLY M. WYNN, VILLAGE CLERK

REVIEWED FOR FORM AND LEGAL SUFFICIENCY

BY: _____
GLENN J. TORCIVIA, VILLAGE ATTORNEY



PLANNING, ZONING & BUILDING STAFF REPORT

SUBJECT: Site Development Plan Amendment Application – 7-Eleven – 1730 S Military Trail

Application Summary				
Petitioner	Paul Mazzillo, Mazzillo and Associates, inc.	Submittal Date	11/23/2021	
Reference Name	7-Eleven #37223	Case Number	SPR22-02 / PSV22-01	
		Parcel Control No	70-42-44-12-00-000-5430	
Location	1730 S Military Trail	Site Area	+/- 0.8732 acres	
PZB Meeting	Tuesday, January 11, 2022	Council Meeting	Thursday, February 10, 2022	
Requests				
Existing Use	Gas Station with Convenience Store			
Number of Buildings	1 building with 3,650 square feet			
Variances	PSV22-01: Requesting a variance relief from Sec.34-162(b)(5) to allow an irregular landscape buffer along the west and south sides adjacent to S Military Trail and Forest Hill Boulevard respectively, with a minimum width of 7' instead of 15' minimum required.			
Parking				
Code	Required	Existing	Meets Requirement	
Total Parking	37	27	No* (Parking unchanged, variance approved by PBC prior to annexation)	
Setbacks				
Code	Required Minimum	Existing/Proposed		
Front yard (West)	50'	47' (canopy) Over 100' (building) **Variance approved by PBC to be 45' setback prior to annexation**		
Side yard corner (south)	25'	Over 40'		
Side yard (north)	20'	7' (variance approved by PBC prior to annexation)		
Rear yard (east)	20'	20'		
Site Characteristics				
Previous/Proposed Use	No changes proposed to the use of the property			
Zoning	Commercial General (CG)	Existing Future Land Use		Commercial
Surrounding Existing Land Use, Future Land Use, and Zoning				
Direction	Existing Use	Future Land Use	Zoning District	
North	Retail and Professional Offices	Commercial	Commercial General (CG)	
South	Burger King Fast Food Restaurant	Commercial	Commercial General (CG)	
East	Colombino Italian Bakery & Deli	Commercial	Commercial General (CG)	
West	Stanton Optical	Unincorporated PBC	Unincorporated PBC	
Recommendation				
Planning, Zoning & Building Staff recommends conditional approval of the proposed site plan amendment to redesign the two fronts of the property adjacent to South Military Trail and Forest Hill Boulevard rights-of-way. The Florida Department of Transportation (FDOT) proposes to widen a portion of the State Roads and as part of the project, a portion of the				

property along these segments are taken through eminent domain.



I Site History

- Ordinance 2008-24: Annexation

The property was voluntarily annexed into the Village of Palm Springs in December 2008 and designated with the Land Development as Commercial General zoning district and Future Land Use Commercial.

II Comprehensive Plan Consistency

- The subject property's Zoning and Future Land Use designation are Commercial and Commercial General (CG), respectively. The existing use of the property as a gas station with convenience store and a car wash is permitted as special exception use.

III Variances Requested

The applicant is seeking the following variance:

- **PSV22-01** The applicant is requesting a variance relief from Sec.34-162(b)(5) to allow an irregular landscape buffer along the west and south sides adjacent to S Military Trail and Forest Hill Boulevard respectively, with a minimum width of 7' instead of 15' minimum required.

The Applicant's full justification to the waivers is attached hereto.

The 7-Eleven site was subject to a right-of-way taking by the Florida Department of Transportation (FDOT) for the SR-809 (Military Trail at Forest Hill Boulevard Intersection Improvements), Project FPN: 437878-1-52-01, Palm Beach County, FDOT Acquisition Parcels 109, and Temporary Construction Easements 704 & 706.

The acquisition of FDOT Parcel 109 reduced the Military Trail Landscape Buffer width by 7 feet and the Forest Hill Boulevard landscape buffer width by 5 feet. After the taking, the remaining landscape buffers vary from approximately 8± feet to a minimum of 7± at the intersection along the new southwest property boundary. The Village of Palm Springs Code "Section 34-162 Required Buffers" requires a 15-foot minimum landscape buffer width for these roadway frontages.

The taking of Parcel 109 by the FDOT reduced the landscape buffer width but left the majority of the landscaping buffer plantings in place along both Military Trail and Forest Hill Boulevard. The only landscape plants impacted by the FDOT right-of-way taking were located at the site's southwest corner and the base of the business signs.

We request a variance to allow the proposed 7-foot minimum width landscape buffer along the 7-Eleven property's roadway frontages. The Site Plan Modification restores the landscape buffer width at the intersection corner clip area from a width of 4± to a minimum width of 7 feet. After the taking by FDOT of Parcel 109 and the implementation of the proposed site modifications, the landscape buffer width varies from 7± to 8± with a minimum width of 7 feet. The proposed site plan modifications restore the landscape buffer to the greatest extent possible without severely impacting the existing site and improvements and the function of the existing 7-Eleven convenience store with fuel sale business. The site modifications maintain site safety by preserving onsite circulation and vehicle maneuvering area.

The 7-Eleven property was annexed into the Village of Palm Springs per Voluntary Annexation Agreement Resolution No. 2008-72. When the property was annexed into the Village of Palm Springs, the property's roadway landscape buffers measured 14± feet in width, and the site contained fifteen (15) marked parking spaces, including (1) handicap space.

No increases are proposed to the existing building square footage or impervious area. All remaining site improvements including, parking, will remain per the original site plan as annexed into the Village of Palm Springs.

Staff generally supports the applicant's request based on the intent of the applicant to comply with parking requirements. The applicant intent to prioritize life-safety and circulation on the site maintaining the minimum drive aisle width.

IV Neighborhood Compatibility

- 1) The proposed project is located on the northeast corner of South Military Trail and Forest Hill Boulevard.
- 2) Properties on the North, West and South are Commercial General.
- 3) A mix of different commercial uses are existing along both corridors.

V Regulatory Issues:

- The site plan conforms to the property development standards of the CG district.
 - 1) Proposed project plan generally meets required site development regulation.
 - 2) Power poles shall be relocated.
 - 3) A Palm Tran bus stop will be relocated by FDOT.

- 4) PBC Water Utility Department shall review and approved the plans.

VI Environmental Issues:

There are no environmental (wetlands, floodplains, etc) issues identified.

VII Community Outreach/ Notification

- The subject property was posted on December 29, 2021.
- Public Notification letters were mailed to all property owners within 300-foot radius of subject property on December 29, 2021.
- Legal advertisement was published in the paper on January 6, 2022.
- Staff has not received any inquiries or comments because of the notices.

VIII Proposed Development Plan Details

The petitioner's development plans dated received on November 23, 2021 depicts the following:

Application for Site Development Plan approval to amend the previously approved site plan due to dedication of right-of-way to FDOT.

1. Site Plan dated received November 23, 2021 revised and resubmitted on December 29, 2021.
2. Survey
3. Project Narrative and Justification Statement

IX Recommendation

The applicant is proposing a site development plan amendment to redesign the entire front portions of the property due to a right-of way dedication to Florida Department of Transportation (FDOT). FDOT proposes to widen a portion of State Roads 809 and 882 (South Military Trail and forest Hill Boulevard) and as a result 2,271 square feet along the length of the western and southern property lines have been taken through eminent domain. This taken will impact the remaining property and improvements. It will cause the loss of landscape buffer.

The applicant proposes a cure plan for remedial action for loss of the property and to minimize, to the extent possible, the negative impact to the property.

The proposed site modifications include the construction of one stormwater inlet and pipe to reconnect the northwest portion of the site to the existing drainage system. The FDOT roadway modifications remove the existing driveway culvert located at that driveway. The FDOT is reconstructing the existing outfall from the 7-Eleven property and has agreed to continue accepting runoff from the site. The site plan also includes re-grading the driveways to provide a more gradual slope after the FDOT roadway modifications are complete. The existing driveway widths will remain unchanged and will re-accommodate the landscaped buffer.

Planning, Zoning and Building Staff has conducted a review of the application and found the proposed amendment to be consistent with goals, objectives and policies of the Village's Comprehensive Plan. The proposed cure plan is generally consistent with the Land Development and zoning regulation and all other portions of the code.

Planning, Zoning and Building Staff recommends conditional approval of the Site Plan Amendment subject to the following eighteen (18) conditions below:

1. The Site Plan expires twenty-four months from approval if the proposed improvements are not constructed within that time frame.
2. Any new proposed sign shall be reviewed and approved by the Planning, Zoning and Building Department at **time of permitting** and shall be in conformance with the Village Code.
3. Civil/Utility plans shall be approved by the Village Engineer and PBC Water Department **at time of permitting**.
4. Any existing dead landscape material shall be replaced or supplemented with Village approval prior to **Certificate of Completion**.
5. The Applicant may be required to undertake additional security measures, based on the number of complaints or calls for service for incidents at the premises, as determined by the Police Chief. Such additional security measures, as approved by the Police Chief, may include provisions of on-site security at the operator's sole expense.
6. Trees/palms slated for removal and destruction shall be offered to the village for relocation to a public property. Property owners shall provide at least 60 days' notice to the village and grant the village permission to enter the property and relocate any trees approved for removal.
7. Verify utility and easement locations to ensure that there are no conflicts with landscaping, revise at time of permitting, as needed.
8. Landscaped areas shall be irrigated. New irrigation systems shall be maintained separately from potable water distribution systems, and shall include rain sensor shut-off mechanisms.
9. A pre-construction meeting shall be scheduled with the Village Planning, Zoning and Building Department prior to commencement of any construction activity. Permits are required from Planning, Zoning and Building Department prior to commencing any construction or renovation.
10. All new electrics shall be underground.
11. A silt barrier shall be installed around the perimeter of the property prior to commencement of any site work or construction activity and shall remain through substantial completion.
12. The Landscaping shall be certified by the Landscape Architect upon completion and prior to Certificate of Occupancy.
13. Plants installed shall conform to or exceed the minimum standards for Florida Number 1, as provided in the most current edition of the Grades and standards for Nursery Plants, Part I and II, prepared by the State Department of Agriculture and Consumer Services.
14. Any sidewalk broken or damaged during construction shall be replaced by the contractor prior to CO.
15. The civil engineer of record shall certify the site construction prior to Certificate of Occupancy.
16. The General Contractor shall be on site during any and all construction activity in accordance with FS 489.1195.
17. The project shall receive approval from all Authorities Having Jurisdiction and submit copies of approvals to the Village of Palm Springs.
18. At the time of CC, the petitioner shall provide the Land Development Department with electronic copies of as-builts.

Mazzillo And Associates, Inc.

*Civil Engineering and Permitting
6727 1st Ave. South, Suite 106
St Petersburg, FL 33707
(727) 398-1020,*

7-Eleven #37223, 1730 South Military Trail, Village of Palm Springs, Florida

Proposed Site Plan Amendment

November 2021

The 7-Eleven site was subject to a right-of-way taking by the Florida Department of Transportation (FDOT) for the SR-809 (Military Trail at Forest Hill Boulevard Intersection Improvements), Project FPN: 437878-1-52-01, Palm Beach County, FDOT Acquisition Parcels 109, and Temporary Construction Easements 704 & 706.

The acquisition of FDOT Parcel 109 reduced the Military Trail Landscape Buffer width by 7 feet and the Forest Hill Boulevard landscape buffer width by 5 feet. After the taking, the remaining landscape buffers vary from approximately 8± feet to a minimum of 4± at the intersection along the new southwest property boundary. The Village of Palm Springs Code "Section 34-162 Required Buffers" requires a 15-foot minimum landscape buffer width for these roadway frontages.

The taking of Parcel 109 by the FDOT reduced the landscape buffer width but left the majority of the landscaping buffer plantings in place along both Military Trail and Forest Hill Boulevard. The only landscape plants impacted by the FDOT right-of-way taking were located at the site's southwest corner and the base of the business signs.

We request a variance to allow the proposed 7-foot minimum width landscape buffer along the 7-Eleven property's roadway frontages. The attached Site Plan Modification restores the landscape buffer width at the intersection corner clip area from a width of 4± to a minimum width of 7 feet. After the taking by FDOT of Parcel 109 and the implementation of the proposed site modifications, the landscape buffer width varies from 7± to 8± with a minimum width of 7 feet. The proposed site plan modifications restore the landscape buffer to the greatest extent possible without severely impacting the existing site and improvements and the function of the existing 7-Eleven convenience store with fuel sale business. The site modifications maintain site safety by preserving onsite circulation and vehicle maneuvering area.

The 7-Eleven property was annexed into the Village of Palm Springs per Voluntary Annexation Agreement Resolution No. 2008-72. When the property was annexed into the Village of Palm Springs, the property's roadway landscape buffers measured 14± feet in width, and the site contained fifteen (15) marked parking spaces, including (1) handicap space.

No increases are proposed to the existing building square footage or impervious area. All remaining site improvements including, parking, will remain per the original site plan as annexed into the Village of Palm Springs per the voluntary annexation agreement resolution No. 2008-72.

The proposed site modifications include the construction of one stormwater inlet and pipe to reconnect the northwest portion of the site to the existing drainage system. The FDOT roadway modifications remove the existing driveway culvert located at that driveway. The FDOT is reconstructing the existing outfall from the 7-Eleven property and has agreed to continue accepting runoff from the site. The site plan also includes regrading the driveways to provide a more gradual slope after the FDOT roadway modifications are complete. The existing driveway widths will remain unchanged.

MAZZILLO AND ASSOCIATES, INC.



Paul J. Mazzillo, P.E. #44051

Mazzillo And Associates, Inc.

*Civil Engineering and Permitting
6727 1st Ave. South, Suite 106
St Petersburg, FL 33707
(727) 398-1020,*

JUSTIFICATION STATEMENT

7-Eleven #37223, 1730 South Military Trail, Village of Palm Springs, Florida

December 30, 2021

We request a variance to allow the proposed 7-foot minimum width landscape buffer along the 7-Eleven property's roadway frontages. After the taking by FDOT of Parcel 109 and implementing the proposed site modifications, the landscape buffer width varies from 7± to 8± with a minimum width of 7 feet. The attached Site Plan Modification restores the landscape buffer width at the intersection corner clip area from a width of 4± to a minimum width of 7 feet.

Request:

On behalf of 7-Eleven, Inc. I am requesting the following:

- Approval of an 8-foot reduction in the required 15' Right-of-Way Buffer along both Military Trail and Forest Hill Boulevard for the 7-Eleven property; The remaining landscape buffer will have a minimum width of 7 feet.

Per Section: 34-162 (5), The minimum required Right-of-Way Landscape Buffer width is 15 feet.

<u>Buffer Location</u>	<u>Required</u>	<u>Provided</u>	<u>Variance</u>
Military Trail	15'	7'(min)	8'
Forest Hill Blvd.	15'	7'(min)	8'

Variance Request Justification: Per Village of Palm Springs Code

- a. **Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same land development district (Planning and Zoning District).**

The 7-Eleven property located at 1730 South Military Trail was subject to a right-of-way taking by the Florida Department of Transportation (FDOT) for the SR-809 (Military Trail at Forest Hill Boulevard Intersection Improvements), Project FPN: 437878-1-52-01, Palm Beach County, FDOT Acquisition Parcels 109, and Temporary Construction Easements 704 & 706.

The acquisition of FDOT Parcel 109 reduced the Military Trail Landscape Buffer width by 7 feet and the Forest Hill Boulevard landscape buffer width by 5 feet. After the taking, the remaining landscape buffers vary from approximately 8± feet to a minimum of 4± at the intersection along the new southwest property boundary.

The taking of Parcel 109 by the FDOT reduced the landscape buffer width but left the majority of the landscaping buffer plantings in place along both Military Trail and Forest Hill Boulevard. The only landscape plants impacted by the FDOT right-of-way taking were located at the site's southwest corner and the base of the business signs.

Additionally, The 7-Eleven property was annexed into the Village of Palm Springs per Voluntary Annexation Agreement Resolution No. 2008-72. When the property was annexed into the Village of Palm Springs, the property's roadway landscape buffers measured 14± feet in width, and the site contained fifteen (15) marked parking spaces, including (1) handicap space.

b. The special conditions and circumstances do not result from the actions of the applicant.

See (a.) above and; The FDOT initiated the Right-of-way Taking by using the Eminent Domain process. The FDOT right-of-way taking caused the site to be in non-compliance with the Village of Palm Springs Code and the annexation agreement. The variance request process was initiated by the property owner (7-Eleven, Inc.) due to the actions of the FDOT and the eminent domain taking. Before the FDOT, right-of-way taking the property was in compliance with the annexation agreement.

The small size and configuration of the site eliminate the possibility of complying with the minimum 15' ROW Buffer requirements for both the Military Trail and Forest Hill Boulevard frontages. The site constraints are a direct result of the FDOT taking and not the actions from the property owner.

c. Granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings, or structures in the same land development district.

The granting of the requested variance allows the site to remain operational in the same configuration as it has been since the property was annexed into the Village of Palm Springs. The requested variance does not allow any increases in square footage of the improvements or a change in business operations. The approval of the variance the site will remedy a non-compliance issue created by the FDOT right-of-way taking.

After the granting of the variance, the site will still comply with the intent of the code by providing a substantial landscape buffer of trees, shrubs, and other plants. The buffer area removed from the 7-Eleven site by the FDOT right-of-way taking included mainly paved areas and sod. The majority of the landscape buffer trees and plants were not impacted by the FDOT right-of-way taking and remain on the 7-Eleven property. Additionally, landscaping plants are proposed for the small area of the existing buffer that was impacted by the right-of-way taking located at the southwest corner of the property.

No increases are proposed to the existing building square footage or impervious area. All remaining site improvements including, parking, will remain per the original site plan as annexed into the Village of Palm Springs per the voluntary annexation agreement resolution No. 2008-72.

d. Literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same land development district under the terms of this chapter and would cause unnecessary and undue hardship on the applicant.

After reviewing several alternative site configurations, it was determined that there is insufficient site area remaining after the FDOT right-of-way taking to allow restoration of the code required 15-foot wide landscape buffers along the property's frontages. Restoration of the buffer to comply with the current code width of 15 feet would severely impact the site drive aisle widths, vehicular circulation, and parking. The 7-Eleven Site would no longer function as a convenience store with fuel sales if the code required 15-foot wide landscape buffer was replaced on the remaining site.

e. The variance granted is the minimum necessary for the application to make reasonable use of the property.

The proposed site plan modifications restore the landscape buffer to the greatest extent possible without severely impacting the existing site and improvements and the function of the existing 7-Eleven convenience store with fuel sale business. The proposed site modifications maintain site safety by preserving onsite circulation and vehicle maneuvering areas. After reviewing several alternative site configurations, it was determined that any reduction in the existing vehicular maneuvering area, site drive aisle widths, and parking would create additional code violations and site safety issues.

f. The grant of the variance will be in harmony with the general intent and purpose of this chapter.

After the granting of the variance, the site will still comply with the intent of the code by providing a substantial landscape buffer of trees, shrubs, and other plants. The buffer area removed from the 7-Eleven site by the FDOT right-of-way taking included mainly paved areas and sod. The majority of the landscape buffer trees and plants were not impacted by the FDOT right-of-way taking and remain on the 7-Eleven property. Additionally, landscaping plants are proposed for a small area of the existing buffer that was impacted by the right-of-way taking located at the southwest corner of the property.

g. Such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The proposed site modifications maintain site safety by preserving onsite circulation and vehicle maneuvering areas. The 7-Eleven property is located at the intersection of two (2) major arterial/collector roadways with commercially developed frontages. These Commercial Uses will not be negatively impacted by the reduction in the portion of the ROW Buffer area located on the 7-Eleven property. The only noticeable difference will be a reduction in the width of the existing grassed area between the sidewalk located in FDOT right-of-way and the existing landscape buffer trees, shrubs, and plantings. The majority of the existing landscaping trees, shrubs, and plants will remain, and any gaps will be filled with new coed compliant plant materials. There will be no negative effects on the commercial uses to the North or South of the subject site as a result of the reduction in the ROW Buffer adjacent to the 7-Eleven site being reduced from 15' to 7' minimum width.

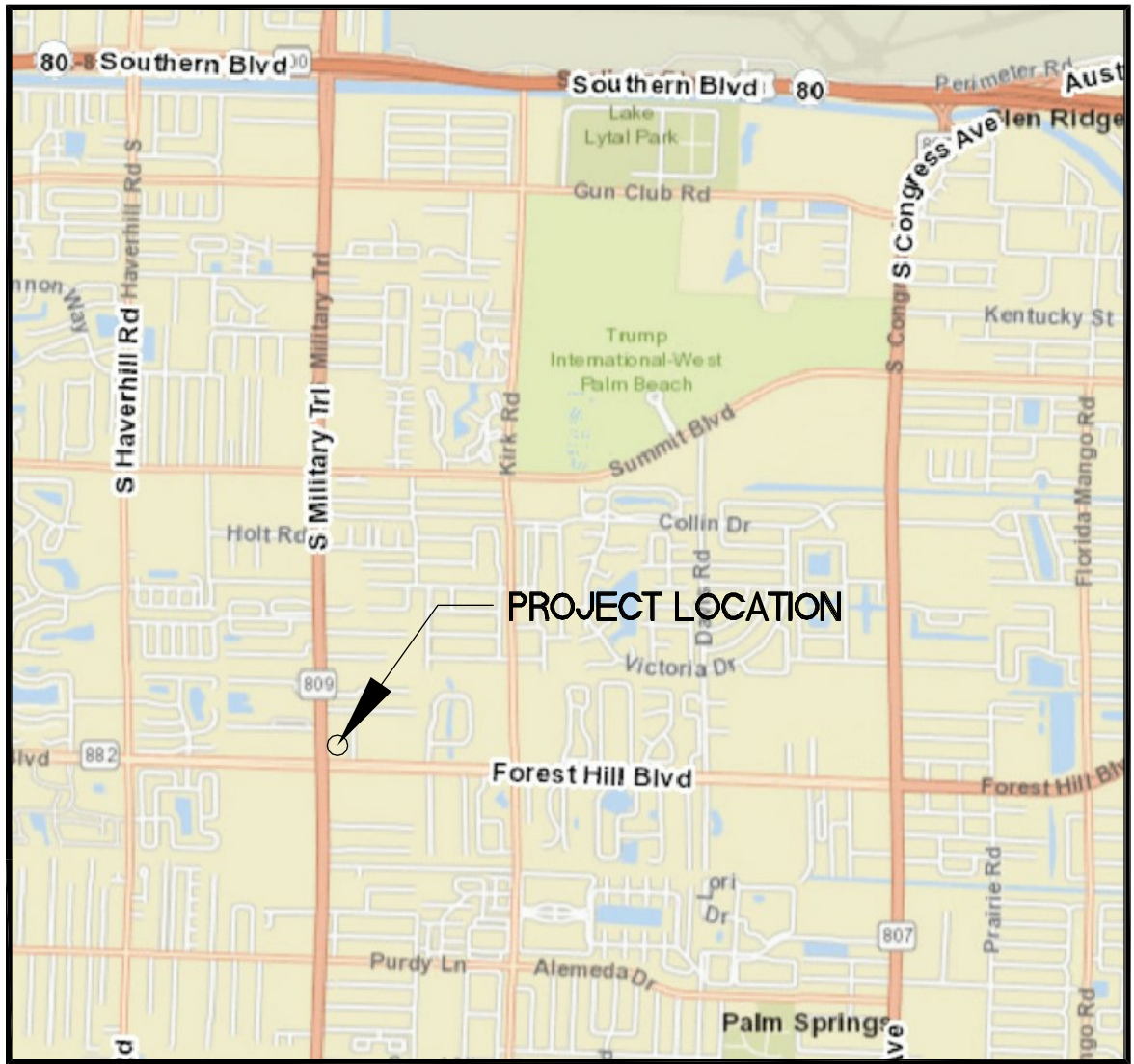
The proposed site modifications include the construction of one stormwater inlet and pipe to reconnect the northwest portion of the site to the existing drainage system. The FDOT roadway modifications remove the existing driveway culvert located at that driveway. The FDOT is reconstructing the existing outfall from the 7-Eleven property and has agreed to continue accepting runoff from the site. The site plan also includes regrading the driveways to provide a more gradual slope after the FDOT roadway modifications are complete. The existing driveway widths will remain unchanged.

MAZZILLO AND ASSOCIATES, INC.



Paul J. Mazzillo, P.E. #44051

7-ELEVEN #37223
SITE MODIFICATIONS



Location Map
SEC 12, TWP 44 S, RNG 42 E

Project:
7-ELEVEN #37223
MINOR SITE PLAN AMENDMENT

Located at:
1730 SOUTH MILITARY TRAIL
VILLAGE OF PALM SPRINGS, FLORIDA 33415

Prepared by:
MAZZILLO
AND ASSOCIATES, INC.
6727 1ST AVE. SOUTH, SUITE 106
SAINT PETERSBURG, FL 33707
ENGINEERING BUSINESS No. 27369

Project Manager:
PAUL J. MAZZILLO, P.E.

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SHEET NO.	TITLE
1	COVER SHEET
2	GENERAL NOTES
3	BOUNDARY & TOPOGRAPHIC SURVEY
4	SITE PLAN

FOR REVIEW ONLY NOT
FOR CONSTRUCTION

I. GENERAL CONSTRUCTION NOTES

- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
- ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO SHALL BE OF LATEST REVISIONS AND/OR LATEST EDITION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.
- CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTOR'S AND UTILITY COMPANIES.
- BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AND COMPACTED TO A FIRMNESS EQUAL TO THAT OF THE SOIL ADJACENT TO THE TRENCH AROUND PIPES IN 6" LAYERS UP TO AN UNDISTURBED LEVEL OF AT LEAST 1" ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED, SPECIFIED OR REQUIRED.
- REINFORCING SHALL BE BILLET STEEL BARS CONFORMING TO ASTM A615 GRADE 40 OR BETTER.
- THE CONTRACTOR/SUBCONTRACTOR SHALL PLACE A 1" DEEP CONTRACTION JOINT EVERY 4' IN THE SIDEWALK.
- SIDEWALK CONSTRUCTION SHALL BE FLUSH WITH PAVEMENT WHERE THEY ARE ADJACENT OR MEET, UNLESS OTHERWISE SHOWN.
- MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2000, OR LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO.
- ALL PIPE NOTED ON THE PLANS AS ROP SHALL BE REINFORCED CONCRETE PIPE, CLASS III, WITH RUBBER GASKET JOINTS.
- REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON A SET OF THE APPROVED PLANS CONCURRENT WITH CONSTRUCTION PROGRESS. WITHIN TWO WEEKS FOLLOWING FINAL INSPECTION THE CONTRACTOR SHALL SUBMIT ONE SET OF RECORD DRAWINGS TO THE ENGINEER OF RECORD. THE FINAL RECORD DRAWINGS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - DRAWINGS TO BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
 - DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UTILITIES AND RELATED APPURTENANCES, BOTH ABOVE AND BELOW GROUND. ALL CHANGES TO PIPING LOCATION INCLUDING HORIZONTAL & VERTICAL LOCATIONS OF UTILITIES & APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS. DRAWINGS SHALL ALSO SHOW ACTUAL INSTALLED PIPE MATERIAL, ETC.
 - DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.
 - DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN.
 - LOCATIONS OF ALL MANHOLES, HYDRANTS, VALVES, & VALVE BOXES SHALL BE SHOWN.
 - THE CONTRACTOR SHALL PROVIDE CERTIFIED ASBUILT DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE ASBUILT DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS OF ALL UTILITIES INCLUDING SANITARY SEWER CLEAN OUT INVERTS, WATER LINE LOCATIONS, STORM SEWER STRUCTURE LOCATIONS, GRATE ELEVATIONS, INVERTS, AND POND DETAILS (INCLUDING TOP OF BANK AND BOTTOM DIMENSIONS AND ELEVATIONS), OUTFALL STRUCTURE DETAILS (INCLUDING GRATE, WEIR, ORIFICE AND SKIMMER DIMENSIONS AND ELEVATIONS). THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED ASBUILT DRAWINGS TO THE ENGINEER.
- CLASS "B" TYPE I BEDDING SHALL BE USED UNLESS INDICATED OTHERWISE ON THE DRAWINGS, OR BY THE ENGINEER.
- SOILS ENGINEER WILL SUPPLY THE DESIGN ENGINEER WITH A PHOTOCOPY OF ALL COMPACTION TESTS, ASPHALT RESULTS, AND CONCRETE RESULTS THE SOILS ENGINEER IS TO CERTIFY TO THE DESIGN ENGINEER IN WRITING THAT ALL TESTING REQUIREMENTS REQUIRED BY THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE IMPROVEMENTS AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS FOR THE ON-SITE HAVE BEEN SATISFIED.
- CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION IF PROVIDED.
- IRRIGATION SYSTEM SHALL HAVE COLOR CODED PIPING AND LABELING ON THE PIPE TO ENSURE DIFFERENTIATION FROM POTABLE WATER PIPING.
- AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- OWNER SPECIFIC SPECIFICATIONS TO BE PROVIDED TO CONTRACTOR DURING BIDDING.

II. SAFETY NOTES

- DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR SAFETY CONTROL OF THE TRAVELING PUBLIC AND THE SAFETY OF ITS PERSONNEL. LABOR SAFETY REGULATIONS SHALL BE AS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF LABOR.
- THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKERS FROM HAZARDS WITHIN THE PROJECT LIMITS.
- ALL TRAFFIC CONTROL MARKINGS, FLAGGERS, AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

III. STANDARD UTILITY NOTES

- CHAPTER 556 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY SUNSHINE 811 A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING. MAPS SHOW ONLY THE APPROXIMATE LOCATION OF UTILITIES AND GAS MAINS AND DO NOT SHOW SERVICE LINES. THE ONLY SAFE AND PROPER WAY TO LOCATE EITHER MAINS OR SERVICE LINES IS BY AN ON-SITE INSPECTION. THEREFORE, EXCAVATORS ARE REQUIRED TO NOTIFY SUNSHINE 811 A MINIMUM OF TWO WORKING DAYS BEFORE ENTERING A CONSTRUCTION AREA.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE, TESTED AND INSPECTED AS REQUIRED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST TWO (2) BUSINESS DAYS NOTICE TO IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, BY NOTIFYING SUNSHINE 811 BY TELEPHONE OR INTERNET TICKET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE 811" TWO (2) BUSINESS DAYS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.

ALL UTILITIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, THE FOLLOWING SHOULD BE CONTACTED BY THE CONTRACTOR:

 - GAS
 - TELEPHONE
 - CABLE
 - POWER
 - CITY/COUNTY WATER AND SEWER
 - CITY/COUNTY/STATE TRAFFIC SIGNAL UTILITY (FIBER, HARDWIRE TRAFFIC SIGNAL INTERCONNECT)
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY.

THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.

IV. PAVING AND GRADING NOTES

- ALL DELETERIOUS MATERIAL (I.E., MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FDOT TYPE CURBING AND GUTTERS CALLED FOR ON THESE PLANS.
- IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.
- PRIOR TO CONSTRUCTION OF CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR REVIEW.
- CONTRACTOR TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.
- ALL PAVEMENT MARKINGS SHALL BE MADE WITH PERMANENT PAINT AND SHALL CONFORM TO FDOT STANDARD INDEX NO. 17346, SHEETS 1-7. PARKING STALL STRIPING TO BE 4" WIDE PAINTED STRIPES. ON-SITE STRIPE COLOR SHALL BE WHITE EXCEPT AS SHOWN ON THE ENGINEERING PLANS. PARKING STALL STRIPING SHALL BE COMPATIBLE WITH THE PAVEMENT TYPE (IE CONCRETE, ASPHALT) AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- CONTRACTOR SHALL INSTALL STORM PIPING AND CULVERTS IN ACCORDANCE WITH FDOT INDEX 205 AND PLACE EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH A SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO THE TESTING SCHEDULE REQUIRED BY APPLICABLE REGULATORY AGENCIES AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

V. CLEARING AND EROSION CONTROL NOTES

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER. ONLY "GRADING BY HAND" IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO REMAIN.
- THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.
- CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. HAY BALES SHALL BE PLACED ALONG THE STOCKPILE PERIMETER FOR EROSION CONTROL.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.
- CONTRACTOR TO OBTAIN SITE CLEARING & TREE REMOVAL PERMIT PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITIES AND CLEARING THE SITE.
- PROTECTION OF EXISTING STORM SEWER SYSTEMS:

DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- ALL DISTURBED AREAS WHICH ARE NOT TO BE SODDED ARE TO BE SEEDED AND MULCHED TO FDOT STANDARDS AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER HAVE BEEN OBTAINED. ANY WASHOUTS, REGRADING, RESEEDING, AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE BY THE REGULATORY AGENCY AND ENGINEER.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (STRAW BALE OR STAKED SILT FENCE) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH, OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO RECOVER SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.
- THERE SHALL BE NO DISCHARGE (I.E. PUMPING, SHEET FLOW, SWALE, DITCH, ETC.) INTO EXISTING LAKE, SYSTEM, WETLAND, OR RIVER, WITHOUT THE USE OF SETTLING PONDS. IF THE CONTRACTOR DESIRES TO DISCHARGE INTO THE EXISTING LAKE SYSTEM OR RIVER, A SETTLING POND PLAN MUST BE SUBMITTED AND APPROVED BY THE ENGINEER AND LOCAL REGULATORY AGENCY PRIOR TO CONSTRUCTION.

VI. SANITARY SEWER NOTES

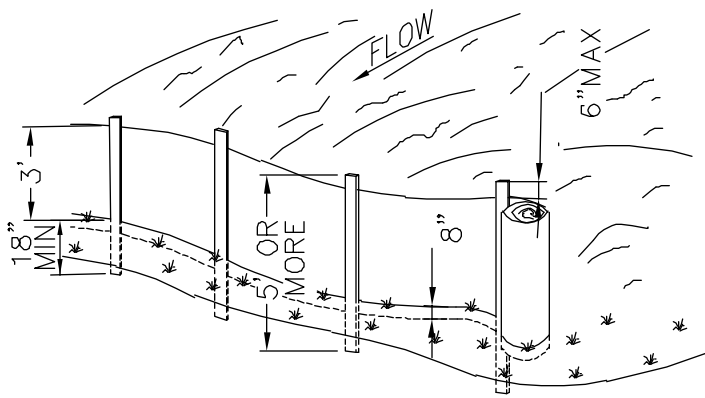
- SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 6 INCHES (12 INCHES PREFERRED) BETWEEN THE INVERT OF THE UPPER PIPE & THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS & WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 6 FEET BETWEEN ANY JOINTS AND THE POINT OF CROSSING. ALTERNATIVELY, THE SEWER MAIN MAY BE ENCASED IN A SLEEVE.
- A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER WHERE PRACTICAL WITH 3FT MINIMUM IF WATERMAIN IS 6 INCHES ABOVE TOP OF GRAVITY SEWER.
- ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE (PVC), SDR 35.
- ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- PVC PIPE AND FITTINGS SHALL CONFORM WITH A.S.T.M. SPECIFICATIONS DESIGNATION D-3034-77C, MA SDR 35. INSTALLATION OF SDR PIPE SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF A.S.T.M. SPECIFICATION DESIGNATION D3221. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.
- ALL PVC FORCE MAINS WITHIN PUBLIC R/W SHALL BE CLASS 200, SDR 21, WITH MECHANICAL JOINTS, AND HAVE A GREEN MAGNETIC TAPE A MINIMUM OF 3" WIDE, PLACED 24" BELOW THE PROPOSED GRADE. THE PRINT ON THE MAGNETIC TAPE SHOULD READ "FORCE MAIN".
- ALL DUCTILE IRON PIPE SHALL BE CLASS 52 IN ACCORDANCE WITH ANSI A 21.50 (AWWA C 150) AND ANSI 21.51 (AWWA C 151). H.C. PIPE SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8, OR A 21.51.
- ALL SANITARY SEWER GRAVITY MAINS OR SANITARY SEWER FORCE MAINS THAT REQUIRE D.I.P. ARE TO BE POLYUNED OR EPOXY LINED.
- ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.
- SANITARY SEWERS SHALL HAVE A MINIMUM COVER OF THREE (3) FEET AND SHALL BE INSTALLED ACCOMPANIED BY A METAL TAPE SIMILAR TO "TERRATAPE" COLORED GREEN AND LAID ONE FOOT ABOVE THE PIPE OR PER LOCAL GOVERNMENT REQUIREMENTS.
- ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS CONTRACTOR'S RESPONSIBILITY.

VII. DRAINAGE SYSTEM NOTES

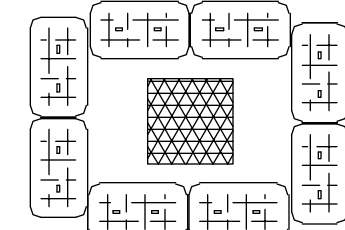
- STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
- PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS WHICH ARE INCLUDED IN LENGTHS.
- ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- CONTRACTOR TO SOD THE DETENTION POND AS INDICATED ON PLANS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE POND.
- THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR SHALL COORDINATE A FINAL INSPECTION OF THE COMPLETED STORMWATER MANAGEMENT SYSTEM PRIOR TO FINAL ACCEPTANCE BY THE OWNER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.

POST (OPTIONS: 2"x4" OR 2 1/2" MIN DIA WOOD; STEEL 1,33 LBS/FT MIN) 6" CENTERS MAX

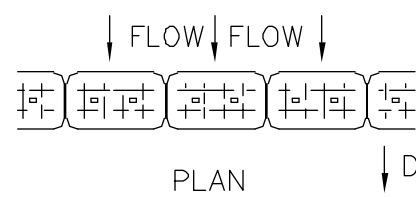
GEOTEXTILE CRITERIA
GRAB TENSILE STRENGTH 90 LBS
TRAPEZOIDAL TEAR 35 LBS
MULLEN BURST 180 PSI
SEE FDOT INDEX NO 199



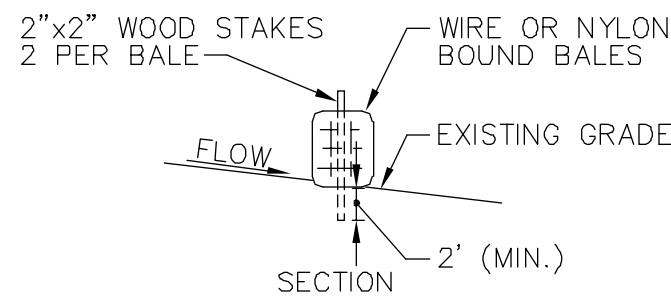
STAKED SILT FENCE



STORMWATER INLET

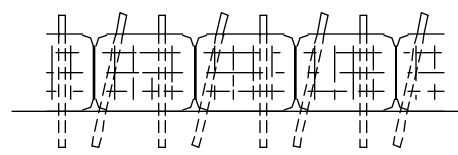


PLAN



SECTION

ANGLE FIRST STAKE TOWARD PREVIOUSLY LAID BALE



BALES BUTTED TIGHTLY TOGETHER

ELEVATION

STRAWBALE SILT BARRIER

EROSION CONTROL DETAIL

FDOT INDEX NO. 102



GENERAL NOTES

FOR REVIEW ONLY

DESIGNER: PJM	SCALE: AS NOTED	MAZZILLO AND ASSOCIATES, INC.	DATE	BY	REVISION	SHEET
DRAWN BY: PJM	DATE: 11-19-21					2 OF 4
CHECKED BY: PJM	PROJ. NO.: 010-106.1					
6727 1ST AVE. SOUTH SUITE 106 SAINT PETERSBURG, FL 33707 ENGINEERING BUSINESS No. 27389						

BOUNDARY and TOPOGRAPHIC SURVEY

SITE ADDRESS:
1730 S. MILITARY TRAIL
WEST PALM BEACH, FLORIDA 33415

REMAINDER OF LOT 4, BLOCK 4
SECTION 12, PLAT BOOK 10, PG. 20

FOREST HILL BOULEVARD
(STATE ROAD 882)

CATCH BASIN #1
GRATE ELEVATION = 18.72'
WEST INVERT ELEVATION = 14.77'
NORTH INVERT (4" PVC) = 16.32'

CATCH BASIN #2
GRATE ELEVATION = 18.79'
EAST INVERT ELEVATION = 14.78'
SOUTH INVERT ELEVATION = 14.80'

CATCH BASIN #3
GRATE EL. = 18.79'
NORTH / SOUTH INVERT EL. = 14.75'
TOP OF WEIR EL. = 18.55'
BOTTOM OF WEIR EL. = 18.30'
(NO BLEEDER FOUND)

CATCH BASIN #4
GRATE ELEVATION @ EOP = 18.44'
GRATE ELEVATION @ THROAT = 18.06'
NORTH INVERT ELEVATION = 14.5' +/-
(NOT ACCESSABLE)

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

UTILITY LINES

UNDERGROUND UTILITY LINES AS WITNESSED AND LOCATED
—TR— TRAFFIC SIGNAL LINES
—WM— WATER MAIN
—G— NATURAL GAS LINE

ABBREVIATIONS:

NAVD = NORTH AMERICAN VERTICAL DATUM
x 10.00' = EXISTING SPOT ELEVATIONS
F.F.L. = FINISH FLOOR ELEVATION
EL. = ELEVATION
IG = INVERT ELEVATION
WPP = WOOD POWER POLE
CPP = CONCRETE POWER POLE
UR = UTILITY RISER
F.O. = FIBER OPTIC
F.O.P. = FIBER OPTIC PULLBOX
FO = FIBER OPTIC
EPB = ELECTRIC PULLBOX
UR = UTILITY RISER
CWS = CROSSWALK SIGNAL POLE
TPB = TRAFFIC PULLBOX
TSP = TRAFFIC SIGNAL POLE
ELEC. = ELECTRIC
MTR. = METER

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM ASBUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.
4. THIS PROPERTY WAS SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.
5. THE BEARING BASE OF THIS SURVEY IS ALONG THE WEST LINE OF THE SE 1/4 OF SECTION 12-42-40, N01°01'19"W.
6. ALL BEARINGS AND DISTANCES SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. SITE AREA: 3587.16 SQUARE FEET AND/OR 0.82 ACRES +/-
9. THE EXPECTED USE FOR THIS SURVEY AND MAP IS FOR COMMERCIAL PURPOSES.
10. ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, IN FEET.
11. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.

FLOOD ZONE NOTE:

LANDS SHOWN HEREON ARE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 12099C0588F, DATED 10/5/2017, 2020 AND IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM 1988.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY MAP AND/OR REPORT WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5-17, FLORIDA ADMINISTRATIVE CODE AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

CRAIG D. WATSON
PROFESSIONAL SURVEYOR & MAPPER
NO. 5647 STATE OF FLORIDA

PREPARED FOR:

CRAIG WATSON AND ASSOCIATES LLC
PROFESSIONAL SURVEYING MAPPING

2240 NE DIXIE HIGHWAY - JENSEN BEACH - FLORIDA - 34957
O 772-334-0868 C 772-260-0249 craigwatson@live.com

DATE: 3-22-21

SCALE: 1" = 20'

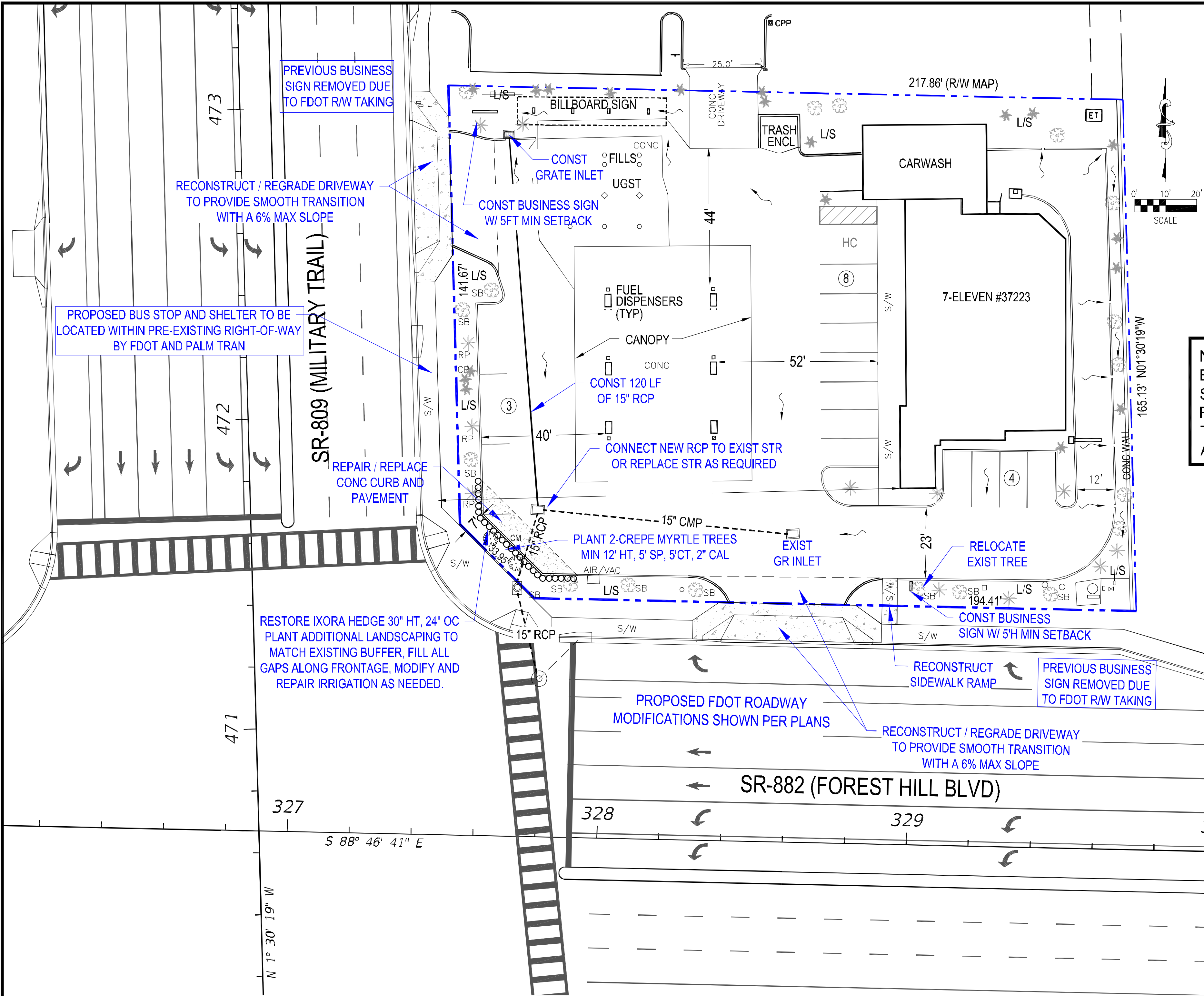
DWG. BY: C.D.W.

CHECKED BY: C.D.W.

JOB NUMBER: 21056

SHEET NUMBER

1 OF 1



BUILDING SETBACKS & BUFFERS			
SETBACKS	REQUIRED	PROVIDED	CO VARIANCE
FRONT BUILDING	50'	142.8'	
FRONT CANOPY	25'	37.5'	*5'
SIDE YARD	25' (Side St)	51.7'	
SIDE YARD (CARWASH)	15' (Interior)	8.8'	*8'
REAR YARD	20'	20'	
R/W LANDSCAPE BUFFER	15'	**7'	*1'

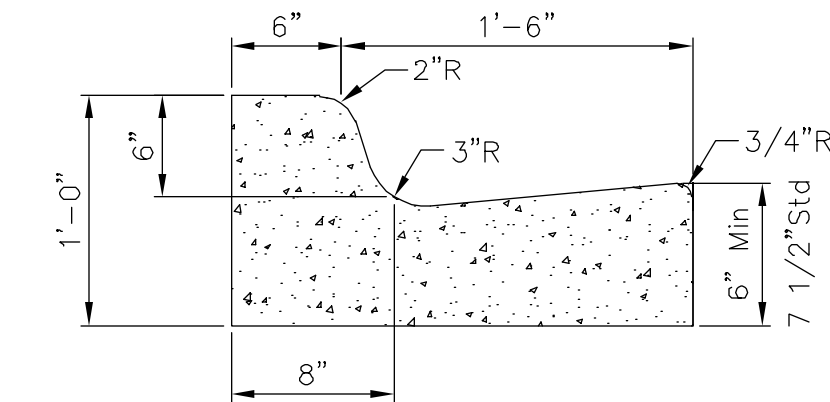
NOTE: * VARIANCES APPROVED BY PALM BEACH COUNTY PRIOR TO VOLUNTARY ANNEXATION AGREEMENT RESOLUTION NO. 2008-72
** REQUESTED LANDSCAPE BUFFER VARIANCE TO 7 FT MINIMUM.

NO INCREASES ARE PROPOSED TO THE EXISTING BUILDING SQUARE FOOTAGE OR IMPERVIOUS AREA. ALL SITE IMPROVEMENTS INCLUDING PARKING ARE TO REMAIN PER THE ORIGINAL SITE PLAN AS ANNEXED INTO THE VILLAGE OF PALM SPRINGS PER THE VOLUNTARY ANNEXATION AGREEMENT RESOLUTION NO. 2008-72.

SITE SUMMARY		
ZONING	CG - COMMERCIAL GENERAL	
LAND USE	COMMERCIAL	
TYPE OF CONSTRUCTION	CONVENIENCE STORE W/ FUEL SALES	
FLOOD ZONE:	ZONE X	
ZONING INFORMATION	AS ANNEXED	PROVIDED
LOT	37,947 SF	
LOT WIDTH	170'	165'
PROJECT AREA	37,947 SF (0.871 AC)	35,676 SF (0.819 AC)
IMPERVIOUS AREA	NONE	28,351 SF (79 %)
PERVIOUS AREA	NONE	7,325 SF (21 %)
BUILDING (EXISTING)	NONE	
SIZE	NONE	3,650 SF
HEIGHT	150'-0" (Max.)	30'-0" ± 1-story
FLOOR AREA RATIO	NONE	
PARKING		
STALL SIZE	9' x 18' - 6"	9' - 6" x 18' - 6"
SPACES	15	15
HANDICAP SPACES	1	1

GENERAL SITE NOTES:

- SEE COVER SHEET FOR SITE LOCATION MAP.
- SEE SITE SURVEY SHEET NO. 3 FOR BOUNDARY INFORMATION, EASEMENTS AND BENCHMARK DATA.
- EXISTING IMPROVEMENTS NOT MODIFIED, TO BE PROTECTED INCLUDING UNDERGROUND STORAGE TANKS, CONCRETE, CURBING, LIGHTING AND LANDSCAPING.
- ALL DIMENSIONS TO THE FACE OF CURB, EXCEPT LANDSCAPE BUFFER WIDTHS MEASURED TO BACK OF CURB.
- ALL CURBING AND CONCRETE PAVEMENT SHALL BE PER THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEXES AND SPECIFICATIONS LATEST REVISION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH VILLAGE OF PALM SPRINGS AND OTHER APPLICABLE AGENCY CODES, REGULATIONS AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORK AREA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST SUBMIT A CONCRETE JOINT PATTERN PLAN TO ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D. AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEXES LATEST REVISION.
- ALL PAVEMENT STRIPPING AND SIGNAGE SHALL BE PER FDOT STANDARD INDEXES LATEST REVISION.
- ALL CURB RAMPS SHALL HAVE DETECTABLE WARNINGS PER FDOT STANDARD INDEXES LATEST REVISION.
- ALL UNPAVED DISTURBED AREAS SHALL BE LANDSCAPED OR SODDED.
- SEE GENERAL NOTES SHEET NO. 2 FOR ADDITIONAL REQUIREMENTS AND NOTES.



FDOT STD
TYPE "F" CURB

CONCRETE	6" THICK 3,500 PSI WITH NYCON NYLON - 6 FIBERS & LAMBERT RB-64 CURING COMPOUND.
SUB-GRADE	6" COMPACTED SUB-GRADE COMPACTED TO 98% AASHTO T-180

TYPICAL CONCRETE PAVEMENT SECTION

AREA CALCULATIONS			
EXISTING PROPERTY PRIOR TO FDOT TAKING:			
AREA	SF	ACRES	%
OPEN SPACE AREA EXISTING	9,079 SF	(0.208 A.C.)	(24)
IMPERVIOUS AREA EXISTING	28,868 SF	(0.663 A.C.)	(76)
TOTAL	37,947 SF	(0.871 A.C.)	(100)
FDOT R/W TAKING SUMMARY:			
SITE AREA BEFORE R/W TAKE	(37,947 SF)	(0.871 A.C.)	
FDOT R/W TAKING PARCEL 109	(2,271 SF)	(0.052 A.C.)	
REMAINING SITE AREA	35,676 SF	(0.819 A.C.)	(100)
SITE PLAN AFTER FDOT TAKING:			
AREA	SF	ACRES	%
PROPOSED OPEN SPACE AREA	7,325 SF	(0.168 A.C.)	(21)
PROPOSED IMPERVIOUS AREA	28,351 SF	(0.651 A.C.)	(79)
TOTAL	35,676 SF	(0.819 A.C.)	(100)

PARKING CALCULATIONS			
USE	AREA	RATIO	REQUIRED SPACES
BUILDING AREA	3,650 SF	1/100 SF	37
STANDARD PARKING SPACES PROVIDED			15*
FUELING POSITIONS PROVIDED			12
HANDICAP PARKING SPACES PROVIDED			1

NOTE: * VARIANCES APPROVED BY PALM BEACH COUNTY PRIOR TO VOLUNTARY ANNEXATION AGREEMENT RESOLUTION NO. 2008-72
PARKING UNCHANGED SINCE ANNEXATION.

PAUL J. MAZZILLO,
State of Florida, Professional Engineer, License No. 44051
This item has been digitally signed and sealed by PAUL J. MAZZILLO on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

FOR REVIEW ONLY

PAUL J. MAZZILLO
P.E. #44051

SITE PLAN

7-ELEVEN #37223, 1730 S. MILITARY TRAIL, VILLAGE OF PALM SPRINGS, FL
PROPOSED SITE MODIFICATIONS WITH FDOT ROADWAY IMPROVEMENTS

DESIGNER: PJM	SCALE: AS NOTED	MAZZILLO AND ASSOCIATES, INC.	DATE: 12/28/21	BY: PJM	REVISION: NOTES PER VILLAGE OF PALM SPRINGS REVIEW	SHEET: 4 OF 4
DRAWN BY: PJM	DATE: 10-21-21					
CHECKED BY: PJM	PROJ. NO.: 010-106.1					

6727 1ST AVE. SOUTH SUITE 106
SAINT PETERSBURG, FL 33707
ENGINEERING BUSINESS No. 27369



December 8, 2021

To: Iramis Cabrera, VPS Planning, Zoning & Building Director

From: Tara Bamber, PE 

**Re: 7 Eleven #32773 at 1730 S. Military Trl
Site Plan Amendment Approval Letter
Engenuity Group Project No. 6001.119**

We have received the following on 11-24-21 through email link:

1. Site Modifications Plan, 4 sheets, dated 10-21-21, by Mazzillo and Associates, Inc.
2. Survey, 1 sheet, dated 3-22-21, by Craig Watson and Associates, LLC
3. Voluntary Annexation Agreement, 15 sheets, dated 10-24-08, by VPS
4. Site Photographs, 12 Sheets
5. Site Plan Narrative, 1 sheet, dated Nov. 2021, by Mazzillo and Associates, Inc.
6. Amended Order of Taking, 20 sheets, dated 10-06-20, by PBC Circuit Court.
7. Unified Development Application, 7 sheets, dated 11-21-21, by VPS

We recommend Site Plan approval with the following conditions:

1. Provide Paving, Grading & Drainage Plan including:
 - a. Grading of all proposed work including driveways.
 - b. Delineating proposed asphalt/concrete areas.
 - c. Proposed striping and signage.
2. Provide permits from all applicable permitting agencies, including but not limited to, PBC Water Utilities Department, FDOT Driveway and Utility Permits, etc.

If you should have any questions, please give me a call at 561-655-1151.

Cc: Lisa Tropepe, PE

From: Wesley Jolin R. <WJolin@pbcgov.org>
Sent: Tuesday, November 30, 2021 09:30
To: Rogelio J. Perez Gonzalez <rperezgonzalez@vpsfl.org>
Subject: RE: Comment Request 7-Eleven 1730 S. Military

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and are confident the content is safe.

No fire review comments. Thank you.

Wesley Jolin, IAAI-CFI®
Fire Safety Specialist
Palm Beach County Fire Rescue
wjolin@pbcgov.org
561.233.2695
2300 North Jog Road: Suite 1E-40
West Palm Beach FL 33411

01-07-20

Parcel No. 109 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510, being more particularly described as follows:

Commence at a mag nail & disk stamped "LB 6770", found marking the South One-Quarter (S. 1/4) Corner of said Section 12; thence North 01°30'19" West along the North-South One-Quarter (N-S 1/4) Section line of said Section 12, a distance of 600.21 feet to the point of tangent STA. 463+33.12 being a point on the Baseline of Survey of State Road 809 (Military Trail); thence continue North 01°30'19" West along said North-South One-Quarter (N-S 1/4) Section line and said Baseline of Survey of State Road 809 (Military Trail), a distance of 826.99 feet; thence North 88°29'41" East along a line at a right angle to the previously described course, a distance of 60.50 feet to a point on the Easterly Existing Right of Way line of State Road 809 (Military Trail) and the POINT OF BEGINNING; thence North 01°30'19" West along said Easterly Existing Right of Way line of State Road 809 (Military Trail), a distance of 146.29 feet; thence South 88°46'57" East, a distance of 7.01 feet; thence South 01°30'19" East, a distance of 141.67 feet; thence South 45°08'30" East, a distance of 33.95 feet; thence South 88°46'41" East, a distance of 194.41 feet to the West line of the Lot 8, ERIE TERRACE, according to the plat thereof, as recorded in Plat Book 24, Page 2, of the Public Records of Palm Beach County, Florida; thence South 01°30'19" East along the West line of said Lot 8, a distance of 5.01 feet to a point on the Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard); thence North 88°46'41" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 201.04 feet; thence North 45°08'30" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 34.50 feet to the POINT OF BEGINNING.

Containing 2,271 square feet, more or less.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

07-12-19

Parcel No. 704 State Road 809 Palm Beach County Description

RETURN TO: 133403
Republic Title of Texas, Inc.
2626 Howell Street, 10th Floor
Dallas, TX 75204

PREPARED BY:

J. Donald Stevenson, Jr.
Legal Department
7-Eleven, Inc.
One Arts Plaza
1722 Routh Street, Suite 1000
Dallas, Texas 75201-2506

WHEN RECORDED MAIL TO:

7-Eleven, Inc.
Attn: Legal Dept. (VG)
1722 Routh Street, Suite 1000
Dallas, Texas 75201-2506

MAIL SUBSEQUENT TAX STATEMENTS TO:

7-Eleven, Inc.
Attn: Ad Valorem Taxes (37223)
P.O. Box 711
Dallas, Texas 75221-0741

CFN 20150131676
OR BK 27461 PG 1794
RECORDED 04/13/2015 13:44:11
Palm Beach County, Florida
AMT 2,900,000.00
DEED DOC 20,300.00
Sharon R. Bock
CLERK & COMPTROLLER
Pgs 1794-1797; (4Pgs)

PIN: 70-42-44-12-00-000-5439

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

GENERAL WARRANTY DEED

THIS GENERAL WARRANTY DEED, given as of this 10th day of April, 2015, by **LEGEND PETROLEUM, LLC**, a Florida limited liability company ("Grantor"), whose mailing address is 1730 S. Military Trail, West Palm Beach, Florida 33415 to **7-ELEVEN, INC.**, a Texas corporation, with principal offices at 1722 Routh Street, Suite 1000, Dallas, Texas 75201-2506 ("Grantee");

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration, the receipt whereof is hereby acknowledged, has granted, bargained and sold, and by these presents does grant, bargain and sell unto Grantee, that certain property situated in the Municipality of Palm Springs, City of West Palm Beach, Palm Beach County, State of Florida, more particularly described on Exhibit A attached hereto and made a part hereof for all purposes (the "Property").

TOGETHER WITH all improvements thereon and all tenements, hereditaments, easements and appurtenances belonging thereto, to have and to hold in fee simple forever.

SUBJECT TO current taxes and assessments not yet delinquent, and taxes and assessments for subsequent years, and those particular matters of record shown on Exhibit B attached hereto and incorporated herein.

THE PROPERTY is not the homestead of Grantor.

Loc. 37223 FL

4pgs/\$35.50

AND GRANTOR HEREBY COVENANTS that it is lawfully seized of the Property in fee simple, that Grantor has good right and lawful authority to sell and convey the Property, and that Grantor does hereby fully warrant title to the Property and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has duly executed this General Warranty Deed as of the date first above written.

GRANTOR:

LEGEND PETROLEUM, LLC,
a Florida limited liability company

By: _____

Vijay A. Kumar
Managing Member

Signed in the presence of:

Witness

Dominick Napoli
Printed Name

Witness

Renato Kendrick
Printed Name

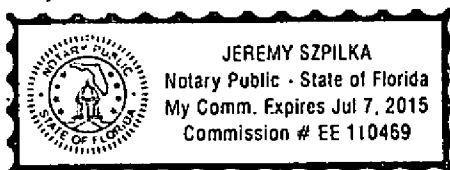
ACKNOWLEDGMENT

STATE OF FLORIDA §
 §
COUNTY OF PALM BEACH §

BEFORE ME, the undersigned, a Notary Public in and for said State, on this day personally appeared Vijay A. Kumar, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 09 day of April, 2015.

(SEAL)



Notary Public, in and for the State of Florida

Jeremy Szpilka
(type or printed name)

EXHIBIT A
(Property Description)

The Land referred to herein below is situated in the County of Palm Beach, State of Florida, and is described as follows:

The South 242.4 feet of the West 285.12 feet of Lot 4, Block 4, Section 12, of PALM BEACH PLANTATIONS, according to the Plat thereof, as recorded in Plat Book 10, Page 20, LESS Right of Way conveyed to Palm Beach County in O.R. Book 10815, Page 351, Public Records of Palm Beach County, Florida, and LESS Right of Way of Forest Hills Boulevard and Military Trail.

More commonly known as 1730 S. Military Trail, West Palm Beach, FL 33415

EXHIBIT B
(Permitted Exceptions)

This conveyance is subject to the following:

1. Taxes and assessments for the year 2015 and subsequent years, which are not yet due and payable.
2. Provisions of the Plat of Plat No. 1 Palm Beach Plantation, recorded in Plat Book 10, Page 20 of the Public Records of Palm Beach County, Florida.
3. Easement conveyed by Quit Claim Deed recorded in Book 3989, Page 1607.
4. The terms, provisions and conditions contained in that certain Standard Wastewater Development Agreement recorded in Book 10242, Page 1158.
5. Easement granted to Florida Power & Light Company by instrument recorded in Book 11755, Page 33.
6. The terms, provisions and conditions contained in that certain Utility Easement recorded in Book 11976, Page 1513.
7. The terms, provisions and conditions contained in that certain Indemnity Agreement recorded in Book 11997, Page 1744.

IN THE CIRCUIT COURT OF THE 15TH JUDICIAL
CIRCUIT IN AND FOR PALM BEACH COUNTY, FLORIDA
STATE OF FLORIDA DEPARTMENT
OF TRANSPORTATION,

Petitioner,

CIVILCASE NO.:502020CA006851XXXXMB

-vs-

Parcel No(s): 109,704,706

7-ELEVEN, INC., a Texas corporation, et al.,
Defendants.

_____/

ORDER OF TAKING

THIS CAUSE coming before the Court, and it appearing that proper notice was first given to all the Defendants and to all persons having or claiming any equity, lien, title, or other interest in or to the real property described in the Petition that the Petitioner would apply to this Court on the 29th day of September 2020, for an Order of Taking, and the Court being fully advised in the premises, upon consideration, it is, therefore,

ADJUDGED:

1. That the Court has jurisdiction of the subject matter of this cause, as well as of the parties;
2. That the pleadings in this cause are sufficient, and the Petitioner is properly exercising its delegated authority;
3. That each Estimate of Value filed in this cause by the Petitioner was made in good faith.
4. That upon the payment of the deposit hereinafter specified into the Registry of this Court, all right, title, or interest specified in the Petition, as described herein, shall vest in the Petitioner; to wit:

Item/Segment No. 4378781 Fee Simple Right of Way
(Section 93150-2510)

01-07-20

Parcel No. 109 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510, being more particularly described as follows:

Commence at a mag nail & disk stamped "LB 6770", found marking the South One-Quarter (S. 1/4) Corner of said Section 12; thence North 01°30'19" West along the North-South One-Quarter (N-S 1/4) Section line of said Section 12, a distance of 600.21 feet to the point of tangent STA. 463+33.12 being a point on the Baseline of Survey of State Road 809 (Military Trail); thence continue North 01°30'19" West along said North-South One-Quarter (N-S 1/4) Section line and said Baseline of Survey of State Road 809 (Military Trail), a distance of 826.99 feet; thence North 88°29'41" East along a line at a right angle to the previously described course, a distance of 60.50 feet to a point on the Easterly Existing Right of Way line of State Road 809 (Military Trail) and the POINT OF BEGINNING; thence North 01°30'19" West along said Easterly Existing Right of Way line of State Road 809 (Military Trail), a distance of 146.29 feet; thence South 88°46'57" East, a distance of 7.01 feet; thence South 01°30'19" East, a distance of 141.67 feet; thence South 45°08'30" East, a distance of 33.95 feet; thence South 88°46'41" East, a distance of 194.41 feet to the West line of the Lot 8, ERIE TERRACE, according to the plat thereof, as recorded in Plat Book 24, Page 2, of the Public Records of Palm Beach County, Florida; thence South 01°30'19" East along the West line of said Lot 8, a distance of 5.01 feet to a point on the Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard); thence North 88°46'41" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 201.04 feet; thence North 45°08'30" West along said Northerly Existing Right of Way line of State Road 882 (Forest Hill Boulevard), a distance of 34.50 feet to the POINT OF BEGINNING.

Containing 2,271 square feet, more or less.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

07-12-19

Parcel No. 704 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East; said portion lying Northerly of and adjacent to Parcel 109, extending Northerly no more than 5.00 feet between Baseline of Survey of State Road 882 (Forest Hill Boulevard) Stations 328+38.66 and 328+81.66, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510.

Containing 215 square feet, more or less.

A temporary easement for the purpose of tying in and harmonizing said property and the driveways, walkways, etc. together with the right of access, ingress and egress, along with any other incidences necessary or convenient in connection with the construction to be undertaken by the Department, in State Road 809 (Military Trail) adjacent thereto.

This Easement is granted upon the condition that the sloping and/or grading upon the above land shall not extend beyond the limits outlined above, and that all grading or sloping shall conform to all existing structural improvements within the limits designated, and all work will be performed in such manner that the existing structural improvements will not be damaged.

This Easement shall expire upon the completion of this transportation project but not later than the last day of March 2027.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

10-23-19

Parcel No. 706 State Road 809 Palm Beach County Description

A portion of Tract 4, Block 4, PLAT NO.1 PALM BEACH PLANTATIONS (MODEL LAND COMPANY), according to the plat thereof, as recorded in Plat Book 10, Page 20, of the Public Records of Palm Beach County, Florida, lying in Section 12, Township 44 South, Range 42 East; said portion lying Northeasterly of and adjacent to Parcel 109, extending Northeasterly no more than 15.00 feet between Baseline of Survey of State Road 882 (Forest Hill Boulevard) Station 327+99.93 and Baseline of Survey of State Road 809 (Military Trail) Station 471+86.13, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510.

Containing 745 square feet, more or less.

A temporary easement for the purpose of demolition and removal and/or cutting, refacing and modifying of improvements that are partially on the area of Parcel 109 and partially on the remaining property area, and any work incidental to said activities and to tie-in and harmonize said property with the construction to be undertaken for the project.

This easement includes the right to ingress and egress, occupy, possess and control the property for the stated purposes, and to stage equipment for the stated purposes. By this easement, the Florida Department of Transportation is hereby authorized to apply for any and all necessary permits and/or approvals to accomplish the stated purposes.

This Easement shall expire upon the completion of the work described herein but not later than the last day of September 2021.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

5. That the deposit of money will secure the persons lawfully entitled to the compensation which will ultimately be determined by final judgment of this Court;
6. That the sum of money to be deposited in the Registry of the Court within twenty (20) days of the entry of this Order, shall be in the amount of:

Parcel 110 \$357,700.00

TOTAL \$357,700.00

7. That on deposit as set forth above and without further notice or Order of this Court, the Petitioner shall be entitled to possession of the property described in the Petition.
8. This Order is entered without prejudice to the Defendant's right to jury trial on the amount of full compensation to ultimately be paid for the property acquired herein;
9. The Petitioner shall construct its project in substantial conformity with the construction plans attached hereto and incorporated herein as Exhibit "A".

DONE AND ORDERED in Chambers, at West Palm Beach, Palm Beach County, Florida.

 50-2020-CA-006851-XXXX-MB 10/05/2020
SCOTT KERNER
Scott Kerner, Judge
ADMINISTRATIVE OFFICE OF THE COURT

50-2020-CA-006851-XXXX-MB 10/05/2020
Scott Kerner
Judge

COPIES TO:

KEVIN F. MOOT	3400 WEST COMMERCIAL BOULEVARD FORT LAUDERDALE, FL 33309	KEVIN.MOOT@DOT.STATE. FLUS shalonda.sutton@dot.state.fl.us d4-ogcservice@dot.state.fl.us
ORFELIA M. MAYOR	P.O. BOX 3715 WEST PALM BEACH, FL 33402	OMAYOR@PBCTAX.COM legalservices@pbctax.com
PAUL D. BAIN	101 E KENNEDY BLVD SUITE 2700 TAMPA, FL 33602	PBAIN@TRENAM.COM
THOMAS R. BOLF	PO BOX 15764 PLANTATION, FL 33318	tbolf@bolflaw.com

IN THE CIRCUIT COURT OF THE FIFTEENTH JUDICIAL CIRCUIT
IN AND FOR PALM BEACH COUNTY, FLORIDA

CIRCUIT CIVIL DIVISION AJ
CASE NO. 50-2020-CA-006851-XXXX-MB

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION,
Plaintiff/Petitioner

vs.

7 ELEVEN INC,
COLOMBINO BAKERY INC,
PALM BEACH COUNTY A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA,
Defendant/Respondents.

AMENDED ORDER OF TAKING
(as to attachment of exhibits only)

THIS CAUSE coming before the Court, and it appearing that proper notice was first given to all the Defendants and to all persons having or claiming any equity, lien, title, or other interest in or to the real property described in the Petition that the Petitioner would apply to this Court on the 29th day of September 2020, for an Order of Taking, and the Court being fully advised in the premises, upon consideration, it is, therefore,

ADJUDGED:

1. 1.That the Court has jurisdiction of the subject matter of this cause, as well as of the parties;
2. 2.That the pleadings in this cause are sufficient, and the Petitioner is properly exercising its delegated authority;
3. 3.That each Estimate of Value filed in this cause by the Petitioner was made in good faith.
4. 4.That upon the payment of the deposit hereinafter specified into the Registry of this Court, all right, title, or interest specified in the Petition, as described herein, shall vest in the Petitioner; to wit:

Item/Segment No. 4378781 Fee Simple Right of Way
(Section 93150-2510)

01-07-20

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Containing 2,271 square feet, more or less.

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Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

07-12-19

Parcel No. 704 State Road 809 Palm Beach County Description

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Containing 215 square feet, more or less.

A temporary easement for the purpose of tying in and harmonizing said property and the driveways, walkways, etc. together with the right of access, ingress and egress, along with any other incidences necessary or convenient in connection with the construction to be undertaken by the Department, in State Road 809 (Military Trail) adjacent thereto.

This Easement is granted upon the condition that the sloping and/or grading upon the above land shall not extend beyond the limits outlined above, and that all grading or sloping shall conform to all existing structural improvements within the limits designated, and all work will be performed in such manner that the existing structural improvements will not be damaged.

This Easement shall expire upon the completion of this transportation project but not later than the last day of March 2027.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

Item/Segment No. 4378781 Temporary Easement
(Section No. 93150-2510)

10-23-19

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Station 327+99.93 and Baseline of Survey of State Road 809 (Military Trail) Station 471+86.13, as shown on Sheet 4 of the Florida Department of Transportation Right of Way Map for Item/Segment No. 4378781, Section 93150-2510.

Containing 745 square feet, more or less.

A temporary easement for the purpose of demolition and removal and/or cutting, refacing and modifying of improvements that are partially on the area of Parcel 109 and partially on the remaining property area, and any work incidental to said activities and to tie-in and harmonize said property with the construction to be undertaken for the project.

This easement includes the right to ingress and egress, occupy, possess and control the property for the stated purposes, and to stage equipment for the stated purposes. By this easement, the Florida Department of Transportation is hereby authorized to apply for any and all necessary permits and/or approvals to accomplish the stated purposes.

This Easement shall expire upon the completion of the work described herein but not later than the last day of September 2021.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

1. 5.That the deposit of money will secure the persons lawfully entitled to the compensation which will ultimately be determined by final judgment of this Court;
2. 6.That the sum of money to be deposited in the Registry of the Court within twenty (20) days of the entry of this Order, shall be in the amount of:

Parcel 110 \$357,700.00

TOTAL \$357,700.00

1. 7.That on deposit as set forth above and without further notice or Order of this Court, the Petitioner shall be entitled to possession of the property described in the Petition.
2. 8.This Order is entered without prejudice to the Defendant's right to jury trial on the amount of full compensation to ultimately be paid for the property acquired herein;
3. 9.The Petitioner shall construct its project in substantial conformity with the construction plans attached hereto and incorporated herein as Exhibit "A".

DONE AND ORDERED, in West Palm Beach, Palm Beach County, Florida this 6th day of October, 2020.



50-2020-CA-006851-XXXX-MB 10/06/2020
Scott Kerner
Judge

COPIES TO:

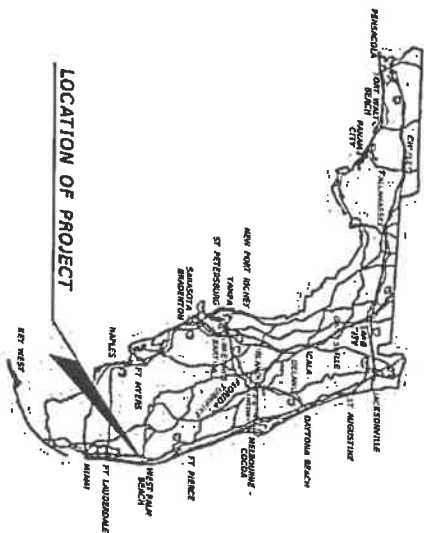
KEVIN F. MOOT	3400 WEST COMMERCIAL BOULEVARD FORT LAUDERDALE, FL 33309	KEVIN.MOOT@DOT.STATE. FLUS shalonda.sutton@dot.state.fl.us d4-ogcservice@dot.state.fl.us
ORFELIA M. MAYOR	P.O. BOX 3715 WEST PALM BEACH, FL 33402	OMAYOR@PBCTAX.COM legalservices@pbctax.com
PAUL D. BAIN	101 E KENNEDY BLVD SUITE 2700 TAMPA, FL 33602	PBAIN@TRENAM.COM
THOMAS R. BOLF	PO BOX 15764 PLANTATION, FL 33318	tbolf@bolflaw.com

EXHIBIT "A"

CONTRACT PLANS

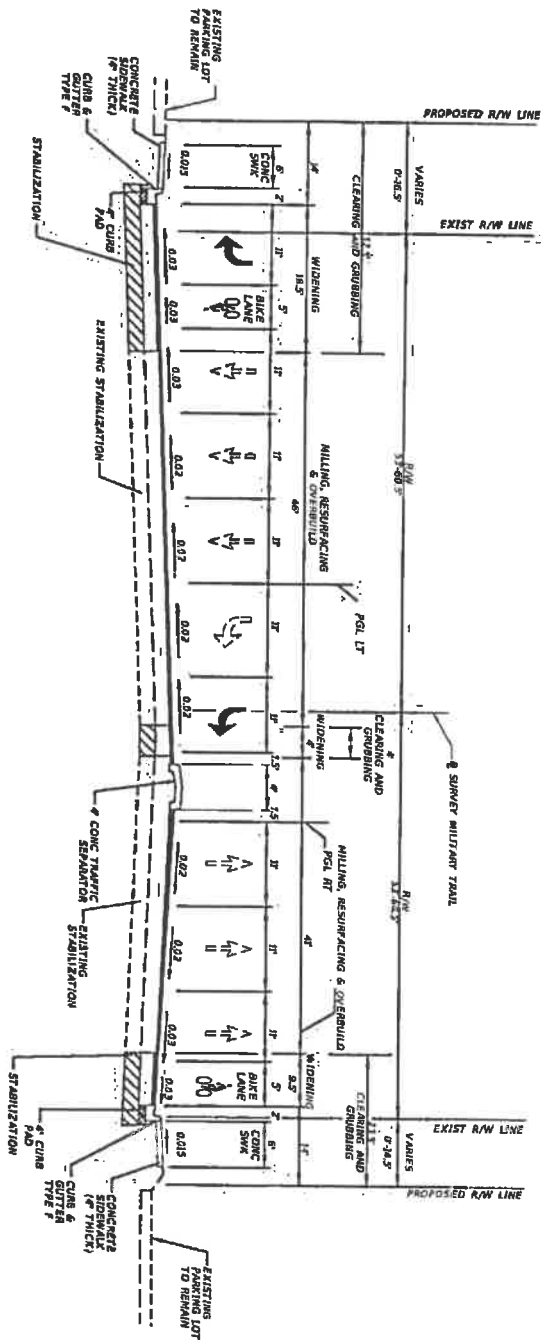
PALM BEACH COUNTY (93070)

INDEX OF ROADWAY PLANS	
SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2 - 3	TYPICAL SECTION
4 - 5	ROADWAY PLAN
6 - 9	ROADWAY PROFILES
10 - 12	CROSS SECTIONS
13 - 14	SIGNING AND PAVEMENT MARKINGS



PARCEL 109, 704, 706

CONSTRUCTION CONTRACT NO.	FISCAL YEAR	SHEET NO.
T.B.D.	22	1



TYPICAL SECTION
 SR 809 (MILITARY TRAIL NORTH OF INTERSECTION)
 STA. 471+64.80 TO STA. 474+53.37
 MP 22.709 TO MP 22.774
 DESIGN SPEED = 40 MPH

MILLING

MILL EXISTING ASPHALT CONCRETE PAVEMENT
 1.0 INCHES AVERAGE DEPTH
RESURFACING
 FRICTION COURSE FC-9.5 (1) (PG 76-32)

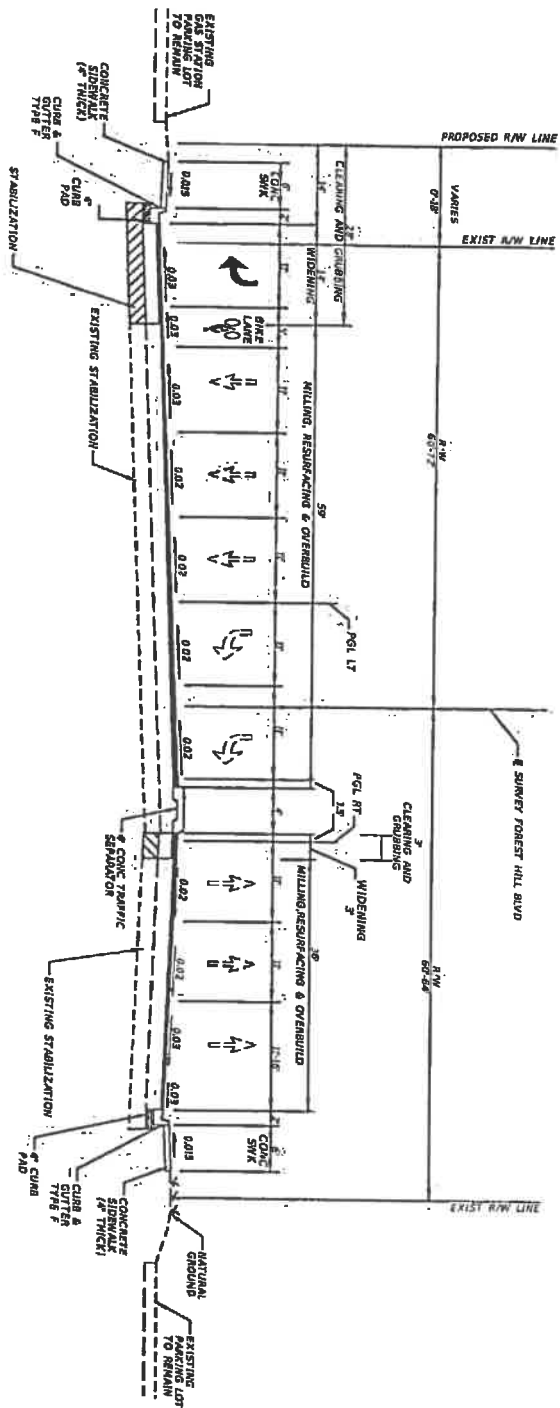
WIDENING

OPTIONAL BASE GROUP 3 WITH
 TYPE SP STRUCTURAL COURSE (TRAFFIC C) (37)
 AND FRICTION COURSE FC-9.5 (1) (PG 76-32)
OVERBUILD FOR SLOPE
 TYPE SP OVERBUILD (TRAFFIC C) THICKNESS VARIES (1/2\"/>

TRAFFIC DATA
 STA. 471+64.80 TO STA. 474+53.37
 CURRENT YEAR ESTIMATE = 2018 ADOT = 42,900
 OPENING YEAR ESTIMATE = 2022 ADOT = 46,800
 DESIGN YEAR ESTIMATE = 2042 ADOT = 65,000
 K = 9%, D = 60.0%, T = 4.9% (24 HOUR)
 DESIGN SPEED = 40 MPH
 POSTED SPEED = 40 MPH

DATE	DISCUSSION	REVISIONS	DATE	DISCUSSION	ENGINEER OF RECORD	DEPARTMENT OF TRANSPORTATION	STATE OF FLORIDA	SHEET NO.
					SCOTT THURNAN, P.E.	SR 809	4378784-52-01	2
					FOOT DISTRICT 4	COUNTY	FINANCIAL PROJECT ID	
					3400 W COMMERCIAL BLVD	PALM BEACH		
					FT. LAUDERDALE, FL 33309			

TYPICAL SECTION



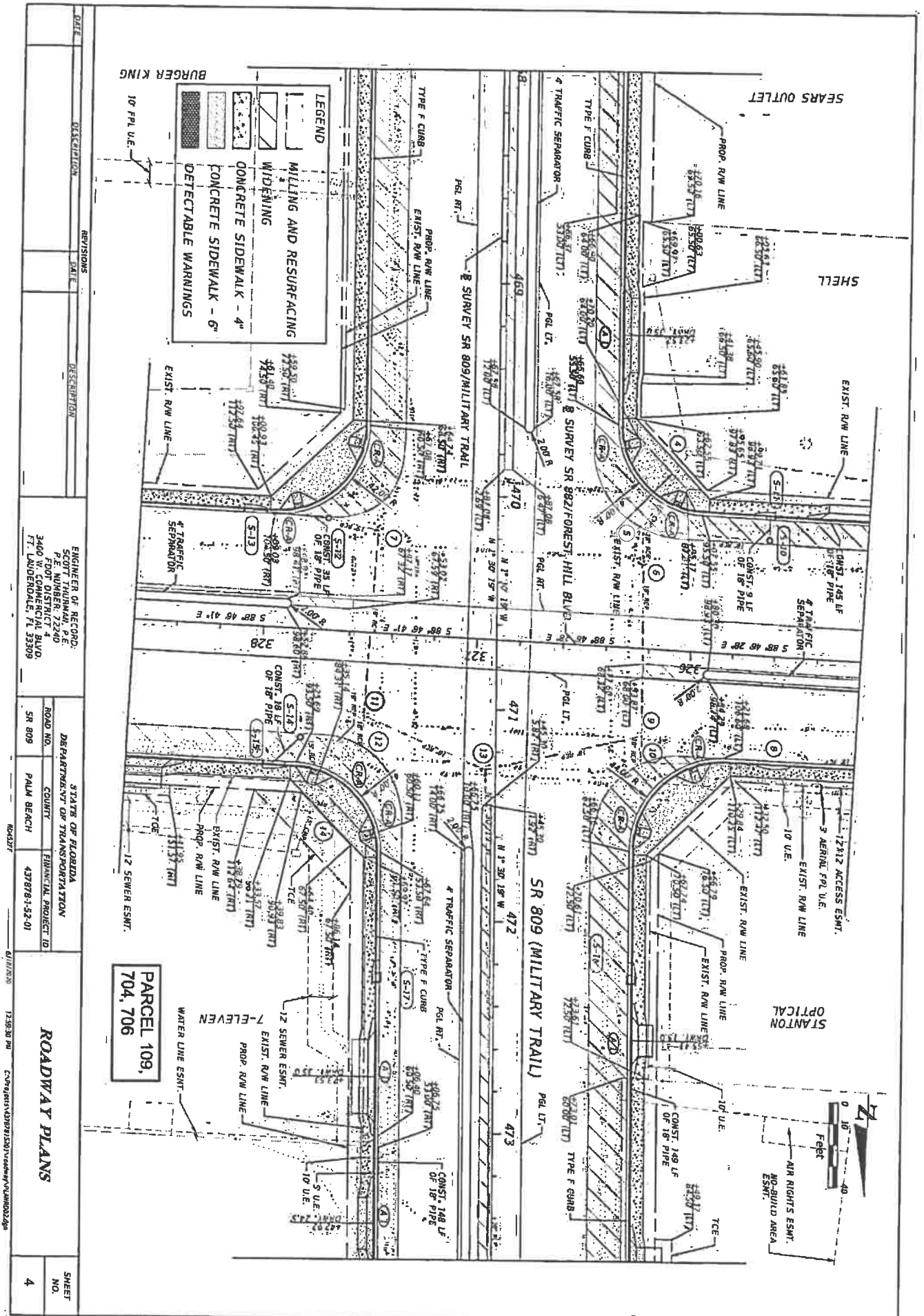
TYPICAL SECTION
FOREST HILL BLVD (EAST OF INTERSECTION)
 STA. 327+77.58 TO STA. 332+41.66
 MP 6.205 TO MP 6.295
 DESIGN SPEED = 45 MPH

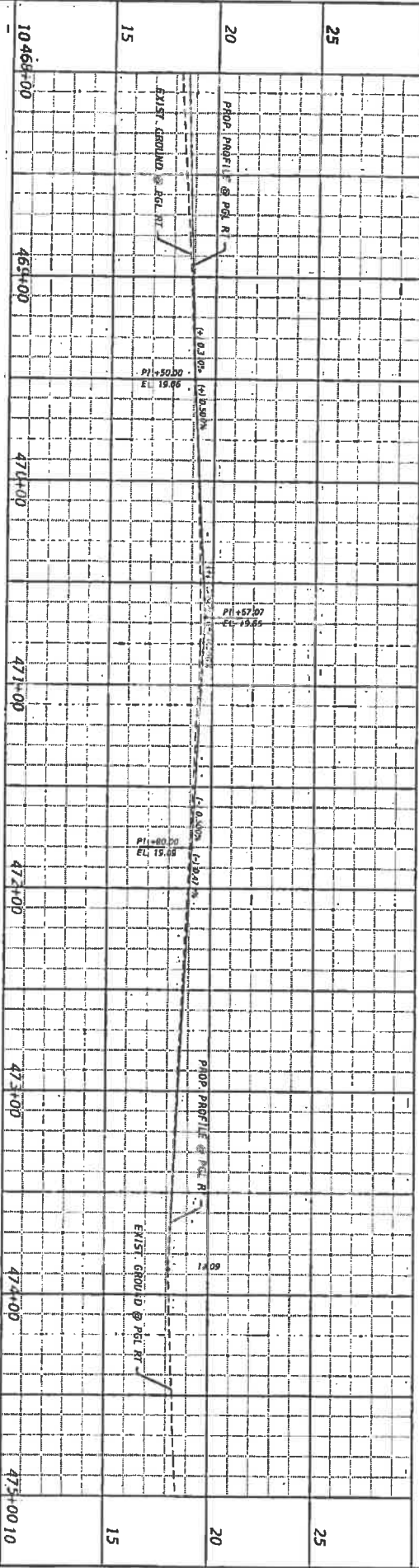
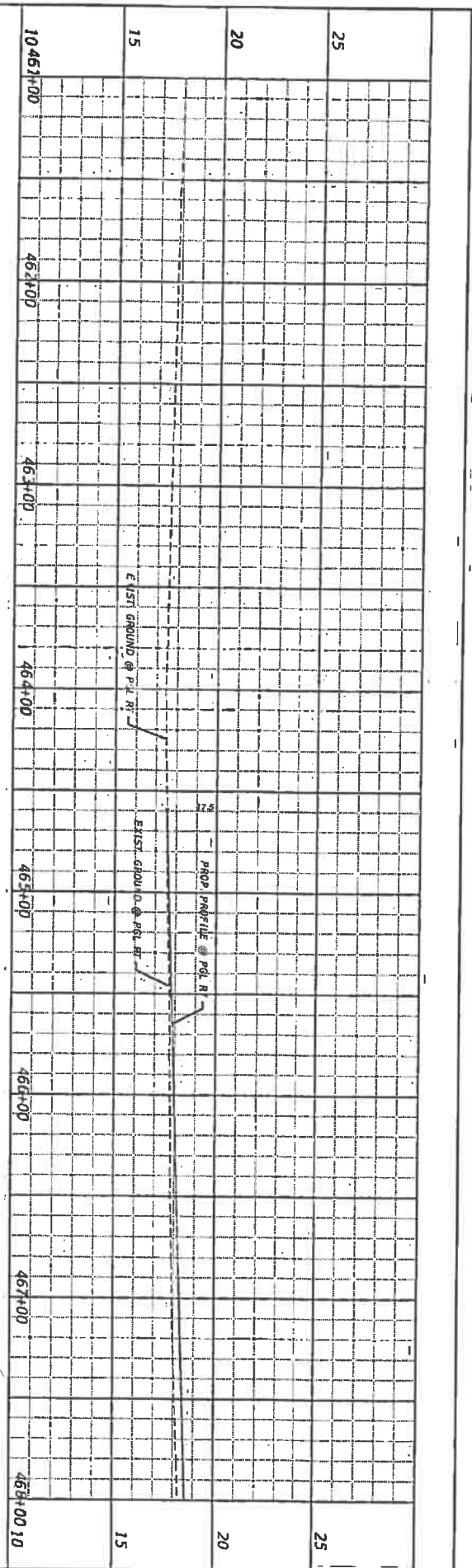
TRAFFIC DATA
 STA. 327+77.58 TO STA. 332+41.66
 CURRENT YEAR ESTIMATE = 2017 AADT = 39,000
 OPENING YEAR ESTIMATE = 2022 AADT = 40,200
 DESIGN YEAR ESTIMATE = 2042 AADT = 44,900
 K = 9% D = 60.6% T = 4.9% (24 HOUR)
 DESIGN SPEED = 45 MPH
 POSTED SPEED = 45 MPH

MILLING
 MILL EXISTING ASPHALT CONCRETE PAVEMENT
 2.0 INCHES AVERAGE DEPTH
RESURFACING
 TYPE SP STRUCTURAL COURSE (TRAFFIC C) (11)
 AND FRICTION COURSE FC-9.5 (1") (PG 76-22)
WIDENING
 OPTIONAL BASE GROUP WITH
 TYPE SP STRUCTURAL COURSE (TRAFFIC C) (17)
 AND FRICTION COURSE FC-9.5 (1") (PG 76-22)

DATE	REVISIONS	DESCRIPTION	ENGINEER OF RECORD	STATE OF FLORIDA	DEPARTMENT OF TRANSPORTATION	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	SHEET NO.
			SCOTT THURMAN, P.E.			SR 809	PALM BEACH	4370781-52-01	3
			FDOT DISTRICT 4						
			3400 W COMMERCIAL BLVD						
			FT. LAUDERDALE, FL 33309						

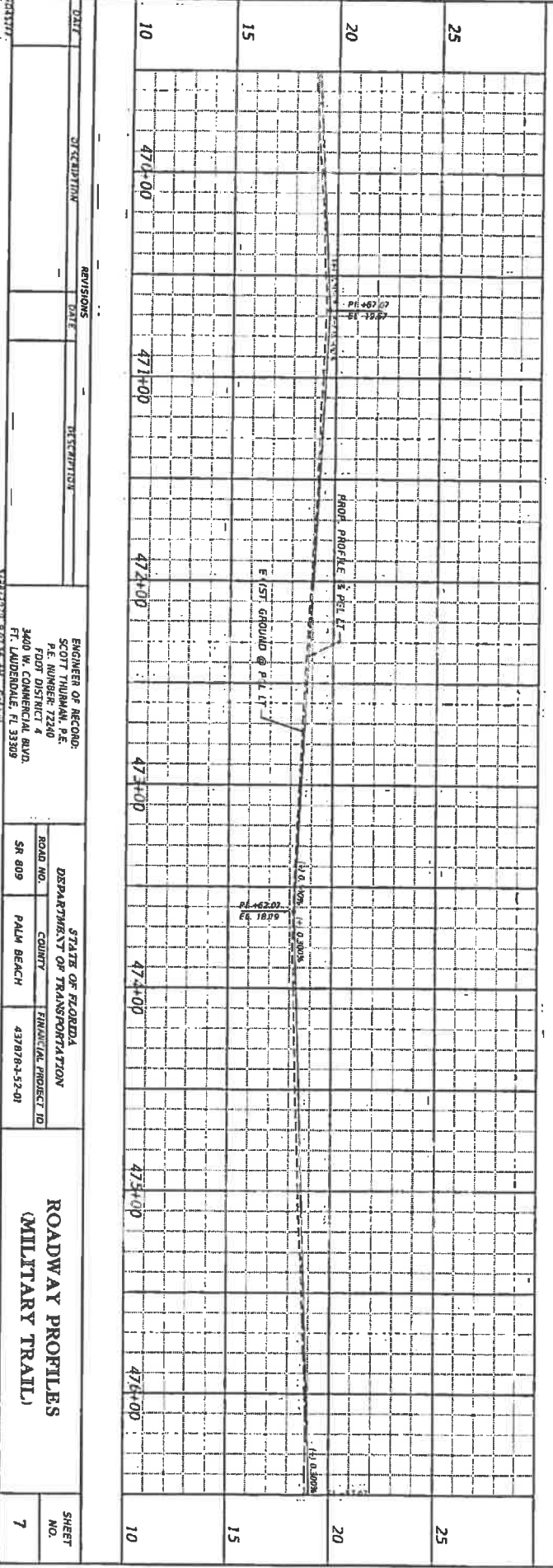
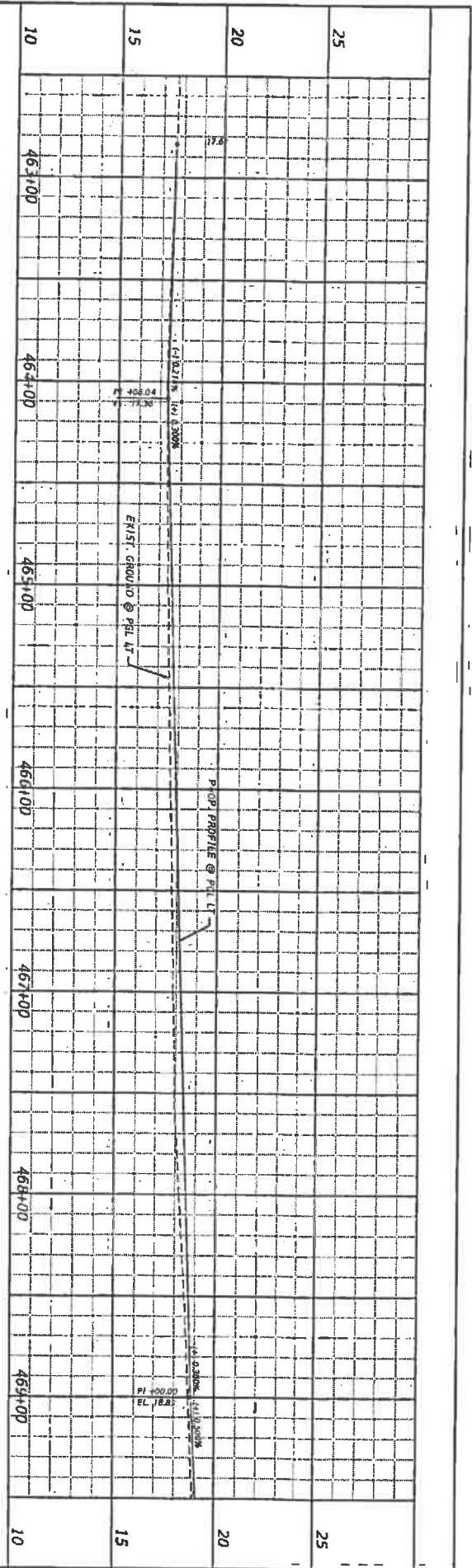
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ENGINEER OF RECORD: SCOTT THURMAN, P.E. P.E. NUMBER: 72340 FDOT DISTRICT 4 3400 W. COMMERCIAL BLVD. FT. LAUDERDALE, FL 33309				
DEPARTMENT OF TRANSPORTATION STATE OF FLORIDA COUNTY: PALM BEACH FINANCIAL PROJECT ID: 437878-52-01				
ROADWAY PROFILES (MILITARY TRAIL)				
SHEET NO.				6

STATION 307.5 IN. 0.00



DATE: 12/15/2011

DESCRIPTION: ROADWAY PROFILE

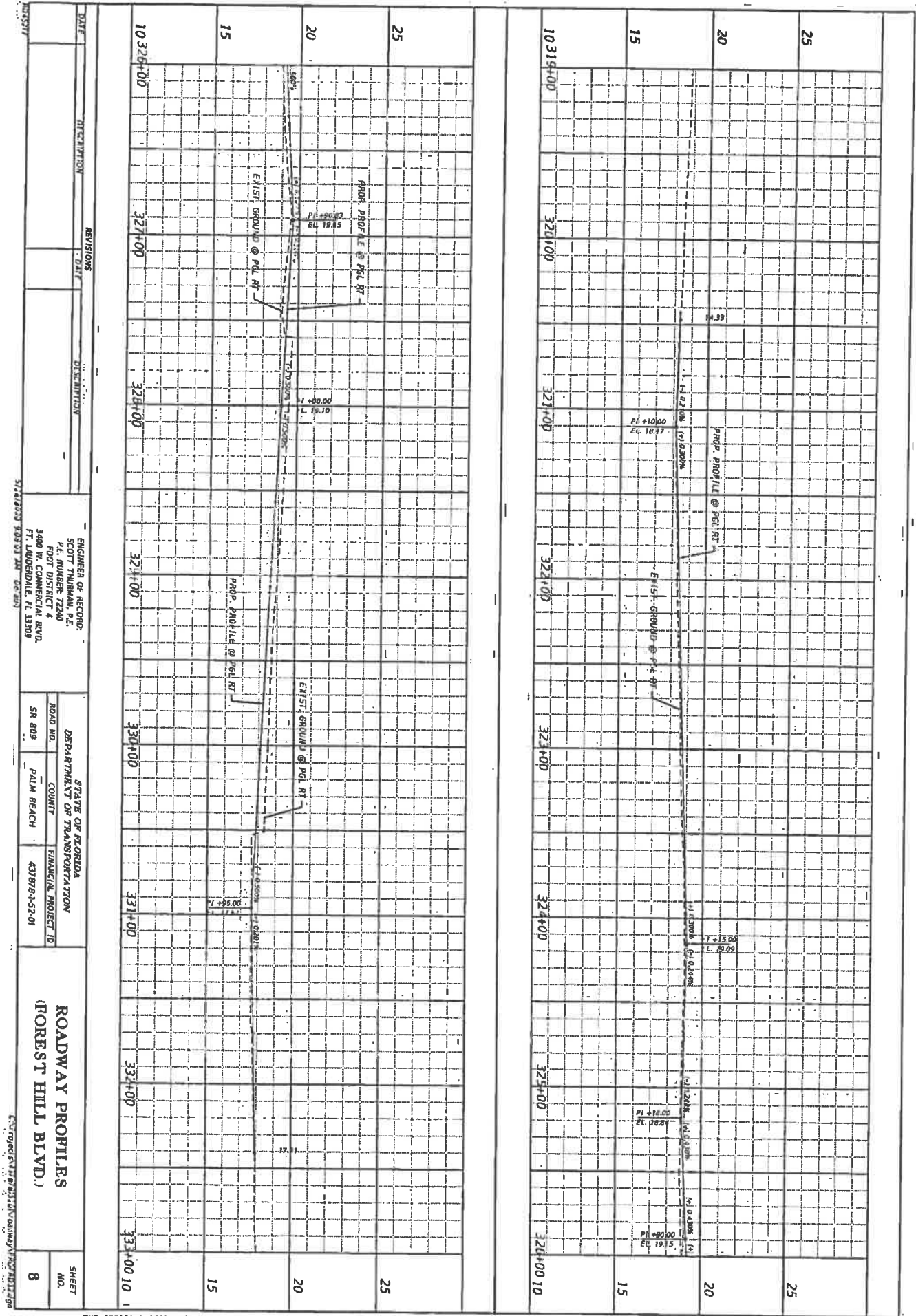
REVISIONS:

ENGINEER OF RECORD:
SCOTT THURMAN, P.E.
P.E. NUMBER: 72340
FDOT DISTRICT 4
3400 W. COMMERCIAL BLVD.
FT. LAUDERDALE, FL 33309

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION
ROAD NO. SR 809
COUNTY PALM BEACH
FINANCIAL PROJECT ID 437B78-5-2-01

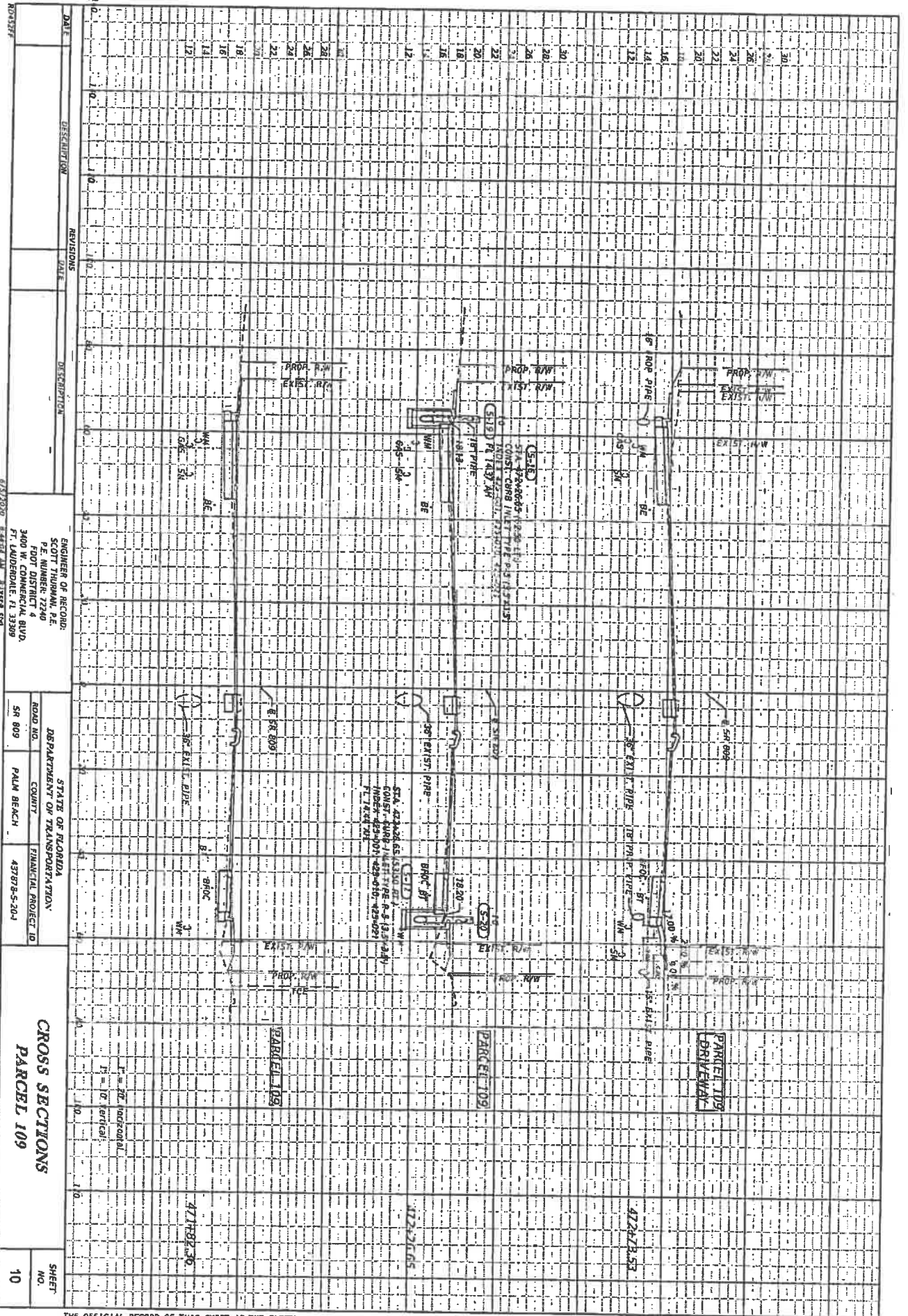
SHEET NO. 7

CONTRACT: 121113-5-2-01



DATE	REVISIONS	DESCRIPTION	ENGINEER OF RECORD	STATE OF FLORIDA	DEPARTMENT OF TRANSPORTATION	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	SHEET NO.
11/15/17			SCOTT THUNMAN, P.E. P.E. NUMBER 7240 FDOT DISTRICT 4 3400 W. COMMERCIAL BLVD. FT. LAUDERDALE, FL 33309	32	32	SR 809	PALM BEACH	43787-1-52-01	8

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



DATE	DESCRIPTION	REVISIONS	DATE	DESCRIPTION
04/11/2020	ENGINEER OF RECORD: SCOTT THURMAN, P.E. P.E. NUMBER: 72240 FOOT DISTRICT 4 3400 W. COMMERCIAL BLVD. FT. LAUDERDALE, FL 33309			
04/11/2020	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROAD NO. 5R 809 COUNTY PALM BEACH FINANCIAL PROJECT ID 437875-204			
04/11/2020	CROSS SECTIONS PARCEL 109			
04/11/2020	SHEET NO. 10			

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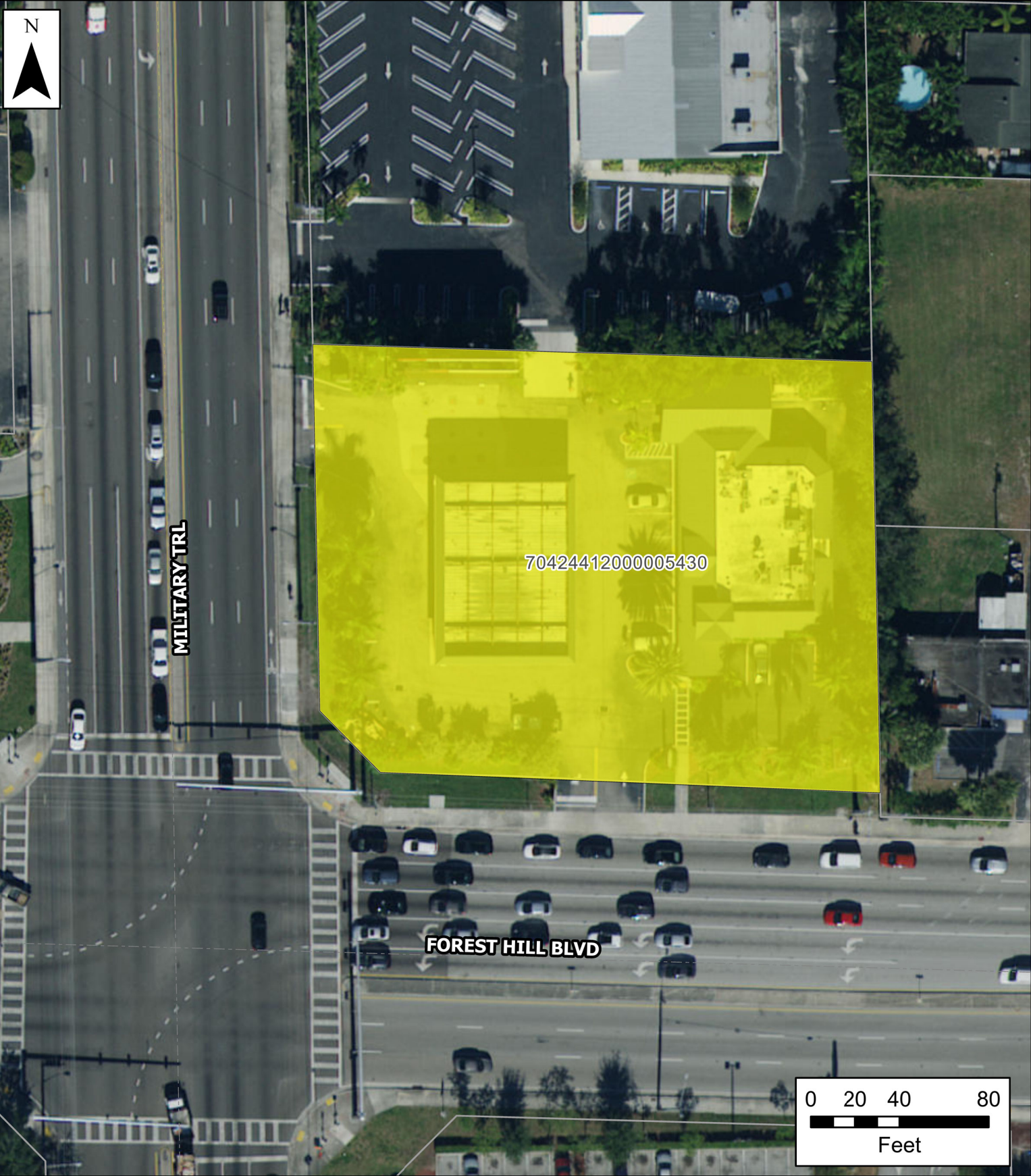
OF THE

SHEET

NO.	14
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Village of Palm Springs

1730 S Military Trail

-  Parcels
-  Property Boundary

The Data is provided "as is" without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The Village of Palm Springs make no warranties, express or implied, as to the use of the licensed Data. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is dynamic and is in a constant state of maintenance, correction and update

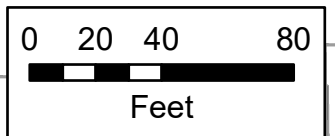
Data Source: Parcels provided by Palm Beach County



MILITARY TRAIL

70424412000005430

FOREST HILL BLVD



Village of Palm Springs

1730 S Military Trail

-  Parcels
-  Property Boundary

The Data is provided "as is" without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The Village of Palm Springs make no warranties, express or implied, as to the use of the licensed Data. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is dynamic and is in a constant state of maintenance, correction and update

Data Source: Parcels provided by Palm Beach County

2021 Palm Springs CRA Research
Prepared By: BusinessFlare

Market Assessment



Moving Forward

Palm Springs Community Redevelopment Areas

Preserve unique character and multiculturalism (garden place)

Enhance public and open spaces (community gatherings)

Expose and promote opportunity sites as catalyst for positive improvements (strategic redevelopment)

Invest in road improvements and streets for an enhanced pedestrian experience (walkable/ bikeable places)

Capitalize on job creating projects (business incubators for entrepreneurs)



CONTENTS

Palm Springs CRA Market Assessment

- A. Real Estate Analysis
- B. Labor Market
- C. Capital
- D. Markets
- E. Regulatory Review

A

Real Estate Analysis

CONTENTS

Study Area Context

Tax Base and Property
Owner Roll

Residential
(single family and
condominium)

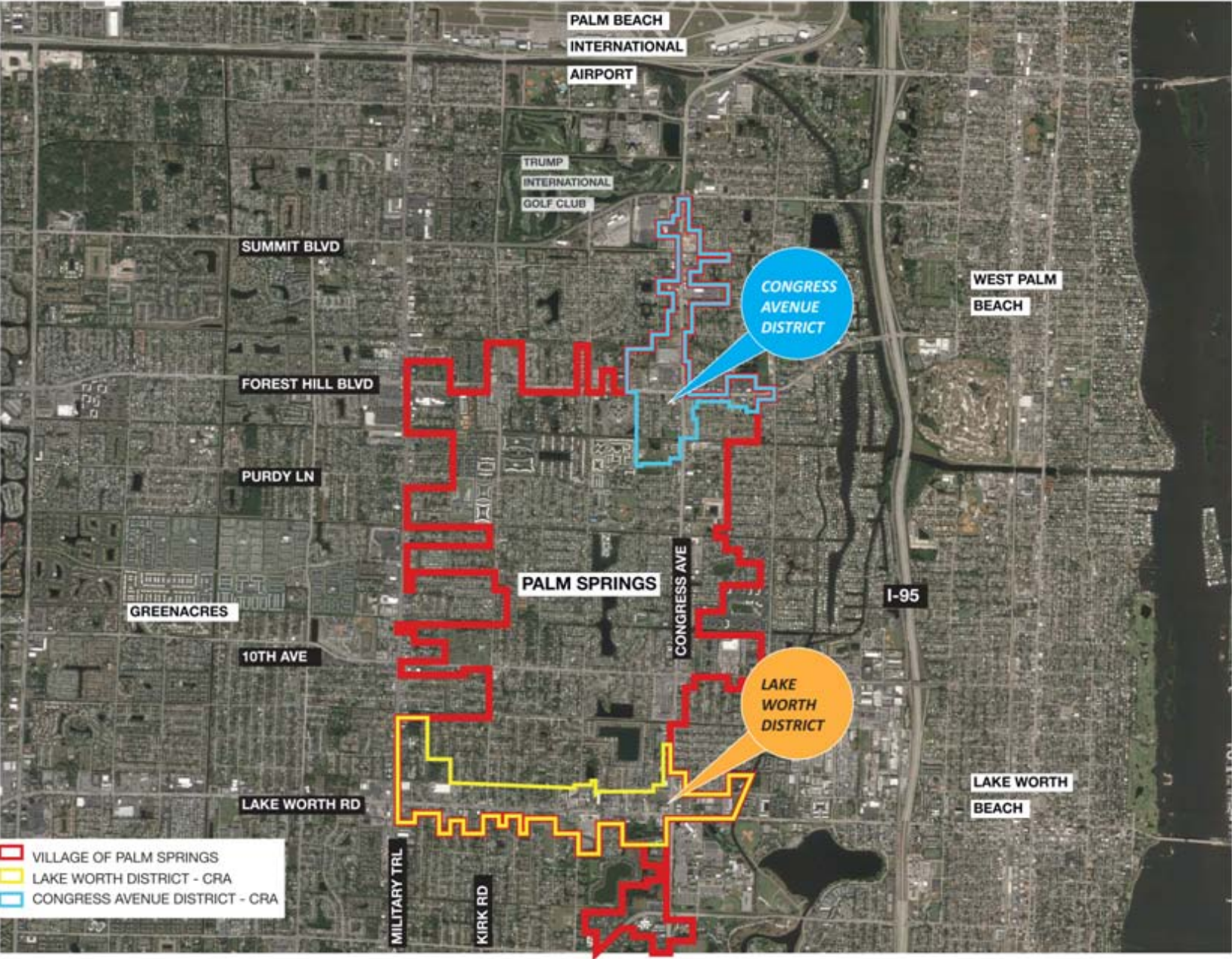
Commercial
(retail, office, industrial,
and multifamily)

Real Estate SWOT



Source: Google Earth. Taken at Congress Ave and 2nd Ave vacant land near Lake Worth Rd

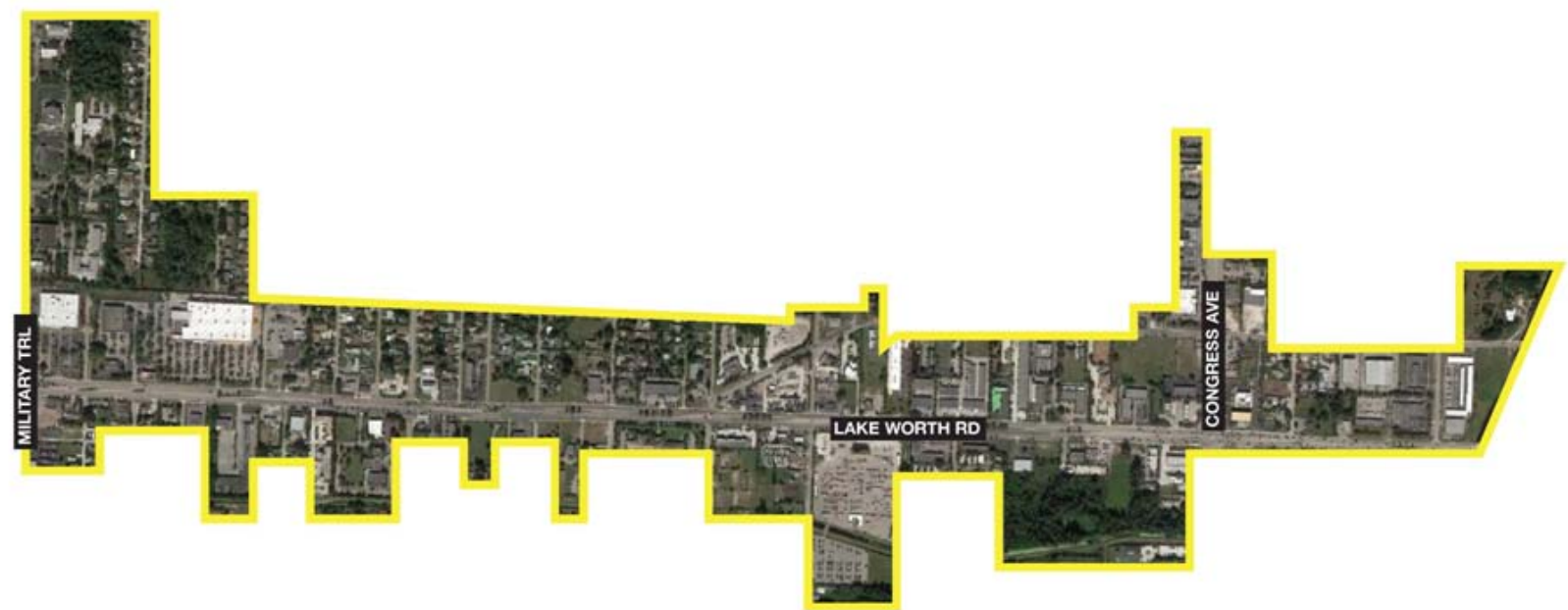
Village of Palm Springs Context
(Two Non-Contiguous CRA Districts)



Palm Springs is a village in Palm Beach County, Florida, situated adjacent to Greenacres, Lake Worth Beach, Lake Clark Shores, and West Palm Beach. The village has direct access to Palm Beach International Airport and as of the 2010 US census, had a population of 18,928 and is home to an estimated 1.49 million people as of 2019.

The study area(s) for this market assessment encompasses the two Community Redevelopment Agency (CRA) areas of Lake Worth District and Congress Avenue District. Both districts may be characterized as typical suburban commercial development.

Lake Worth District
(Study Area)



Lake Worth District is one of the CRA districts, encompassing an area of approximately 291 acres. In general, the study area is along Lake Worth Road from canal edge/ village boundary on the east to Military Trail/ village boundary on the west, a distance of 1.85 miles.



Congress Avenue District
(Study Area)

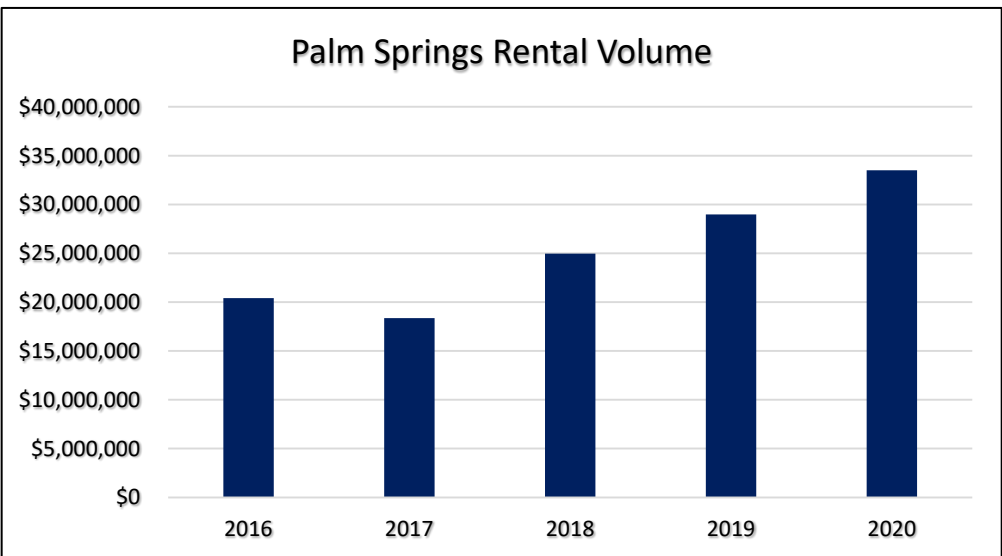
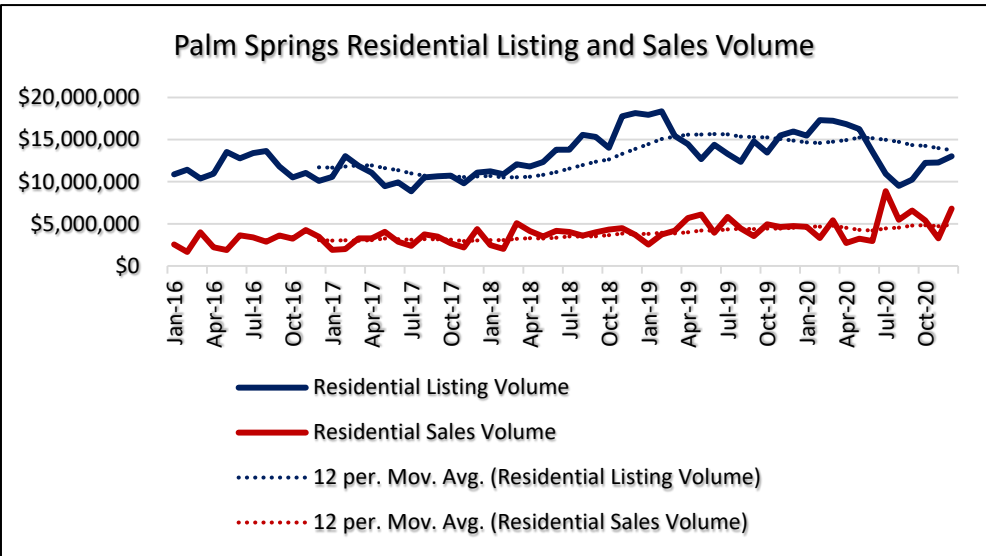
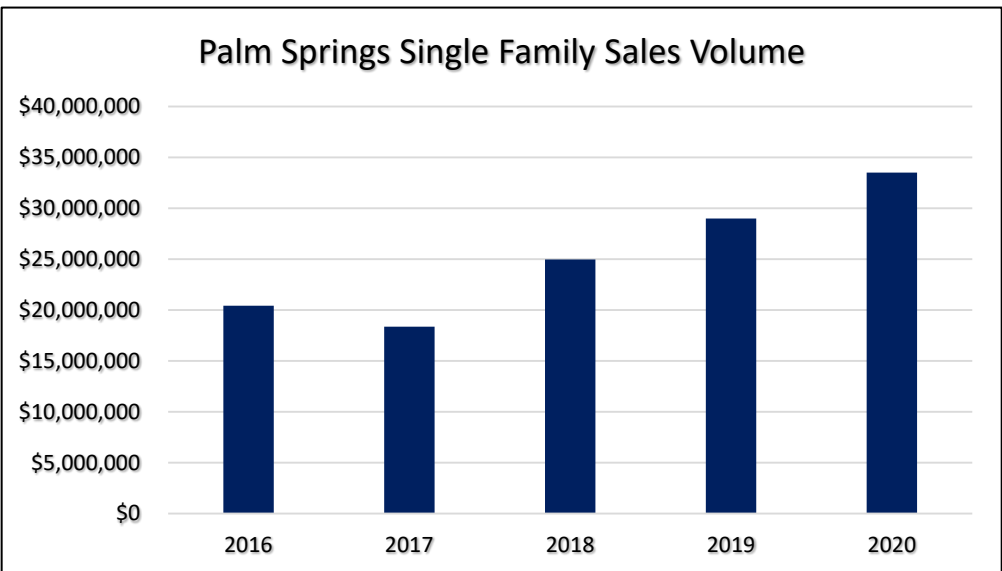
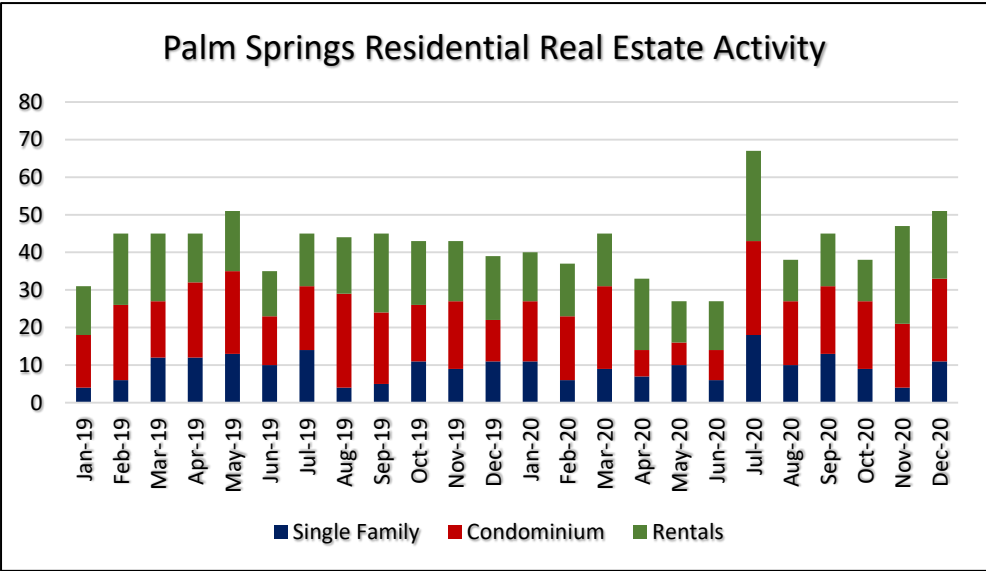


Congress Avenue District is a second CRA district, encompassing an area of approximately 221 acres. In general, the study area is along Congress Avenue from approximately Lilian Road on the south to Summit Boulevard on the north, a distance of 1.47 miles.

Residential Real Estate

Description: The residential real estate overview covers rental and sales activity. Within the Lake Worth Road CRA, there are 477 housing units. The Congress Ave CRA district is comprised of 289 housing units.

Observations: Palm Springs has a stable residential market with sales volumes and listings, indicating no outside market pressures forcing housing price escalation.



Congress Ave. Commercial Real Estate - Retail

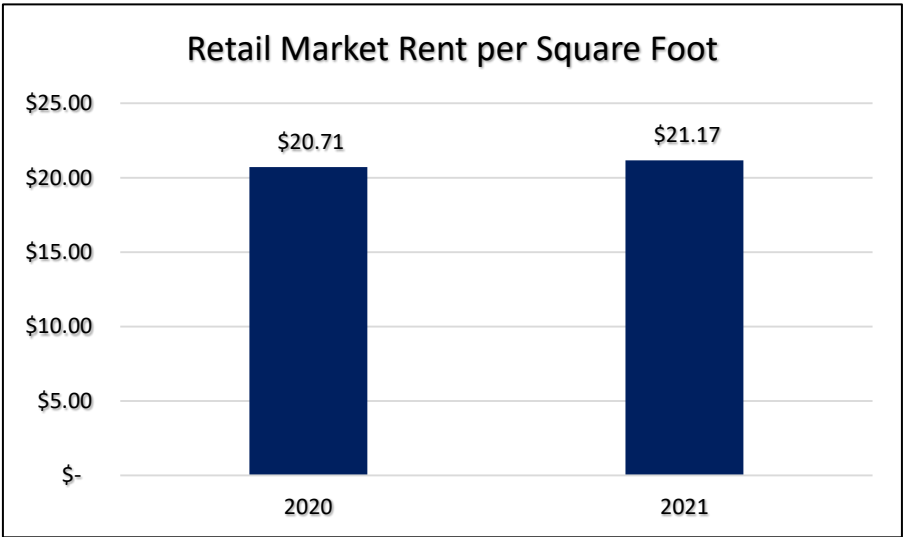
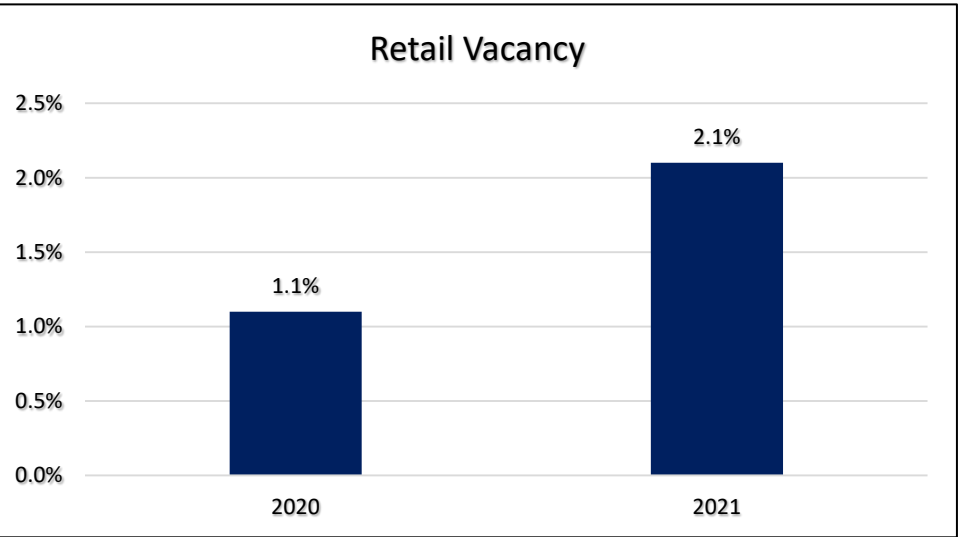
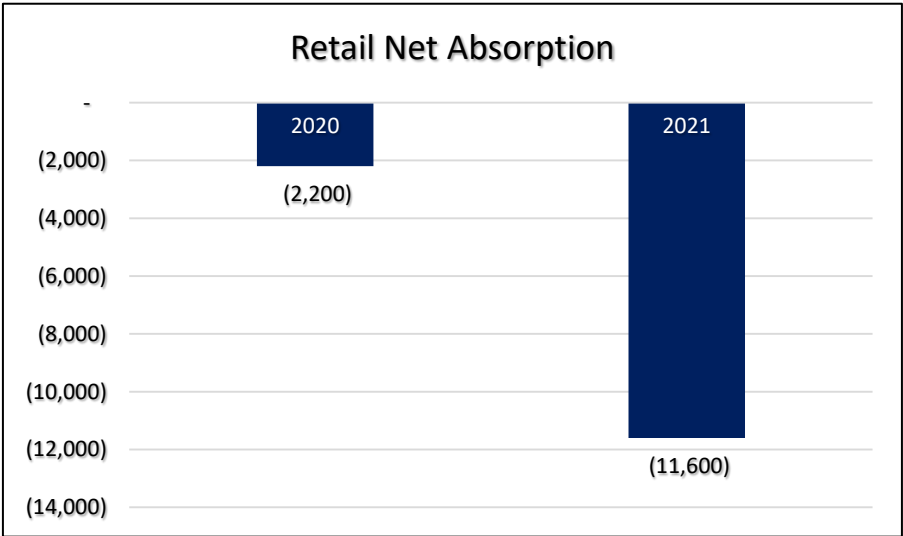
Description:

- **Capitalization (Cap) Rate** indicates the rate of return that is expected on a real estate investment property. A **lower** value of **cap rate** corresponds to better valuation and a better prospect of returns with a lower level of risk. A **higher** value of **cap rate** implies prospects for a relatively lower return on investment, and hence a **higher** level of risk.
- Absorption** measures how much space is occupied during a given time period.

Observations:

- Rising rents on Congress Avenue signals increasing retail demand. Currently, rents are stable.
- Market rent is below asking rent.

Congress Retail		
	2020	2021
Properties		122
Inventory	1,200,000	1,200,000
Under Construction	-	-
12 Mo Net Absorption	(2,200)	(11,600)
Vacancy	1.1%	2.1%
Market Rent per square foot	\$20.71	\$21.17
Asking Rent		\$24.52
Sale Price per Square Foot	\$246.00	\$253.00
Cap Rate	6.1%	6.1%



Source: CoStar 2020

Lake Worth Rd. Commercial Real Estate - Retail

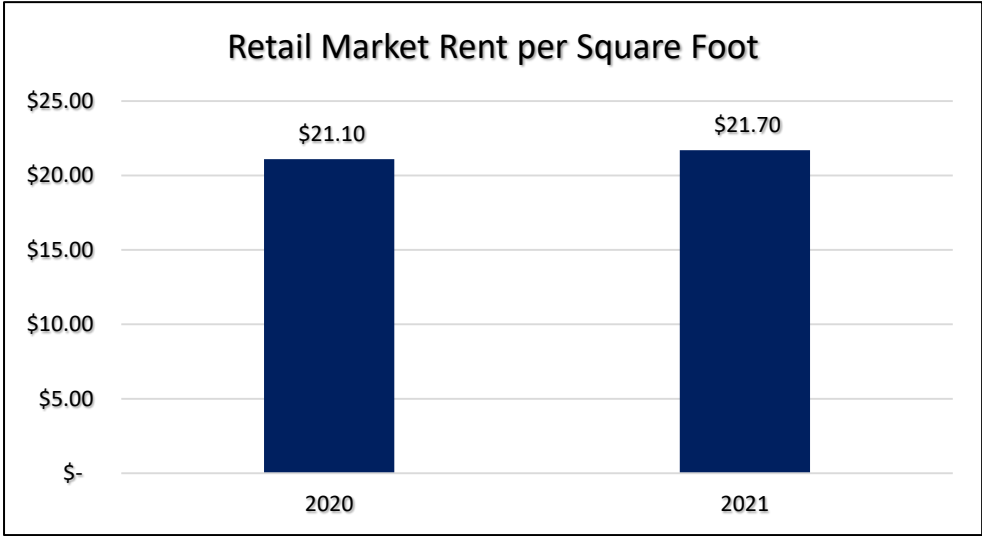
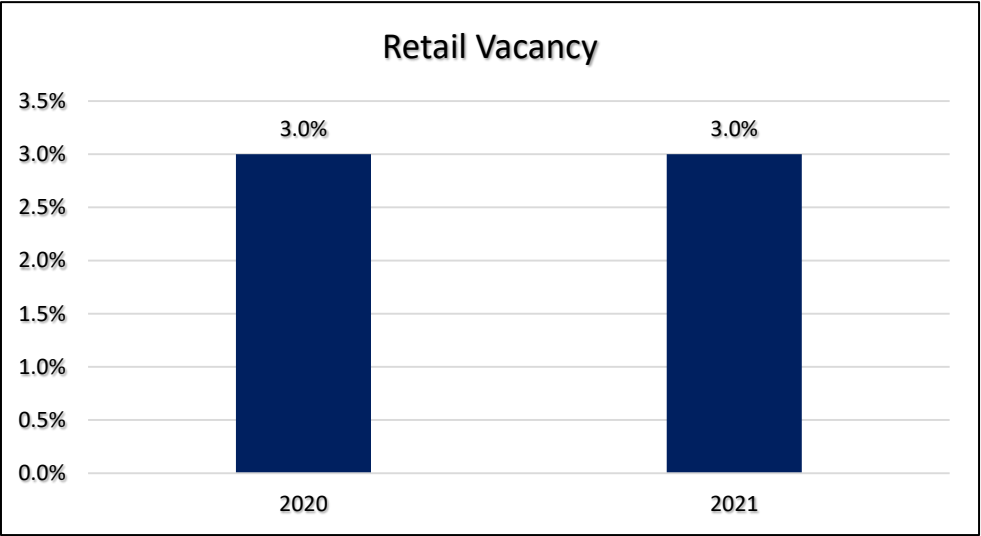
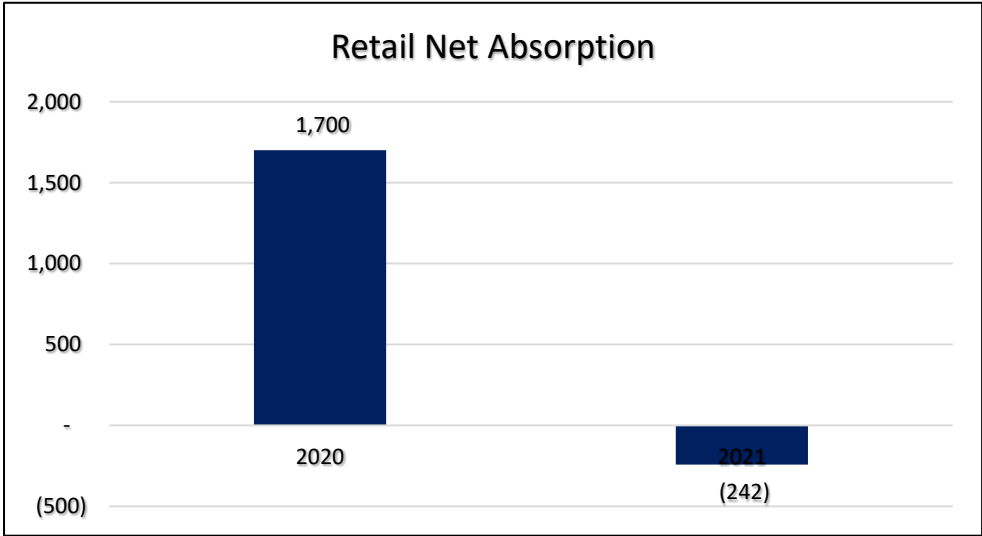
Description:

The commercial retail snapshot provides an overview of existing inventory, how much of it is vacant, and average price per square foot.

Observations:

From 2020 to 2021 there has been a slight drop in the cap rate for Lake Worth Rd retail, with prices remaining steady showing no signs of external market pressure.

Lake Worth Retail		
	2020	2021
Properties		75
Spaces		2
Inventory	709,000	709,000
Under Construction	-	-
12 Mo Net Absorption	1,700	(242)
Vacancy	3.0%	3.0%
Market Rent per square foot	\$ 21.10	\$ 21.70
Asking Rent		\$ 21.87
Sale Price per Square Foot	\$ 210.00	\$ 219.00
Cap Rate	6.4%	6.3%



Congress Ave. Commercial Real Estate - Office

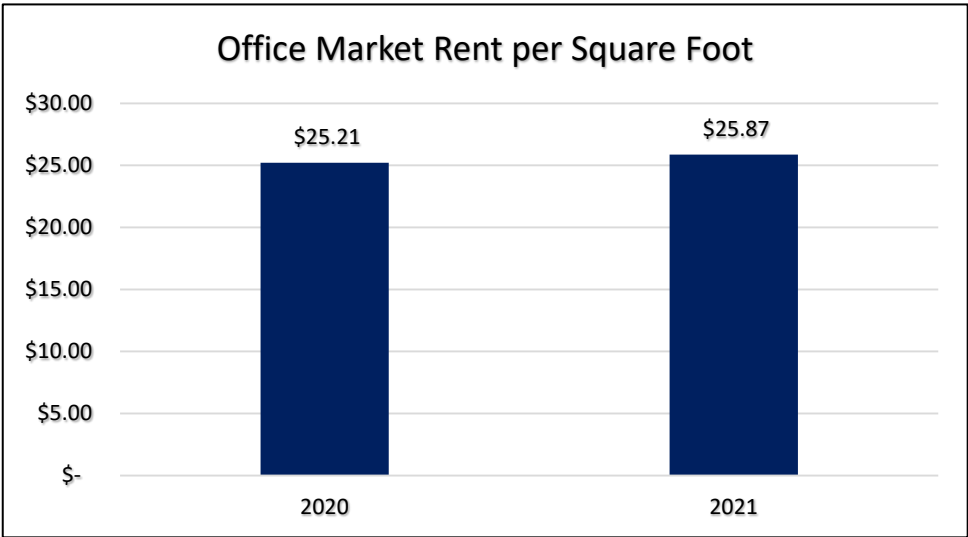
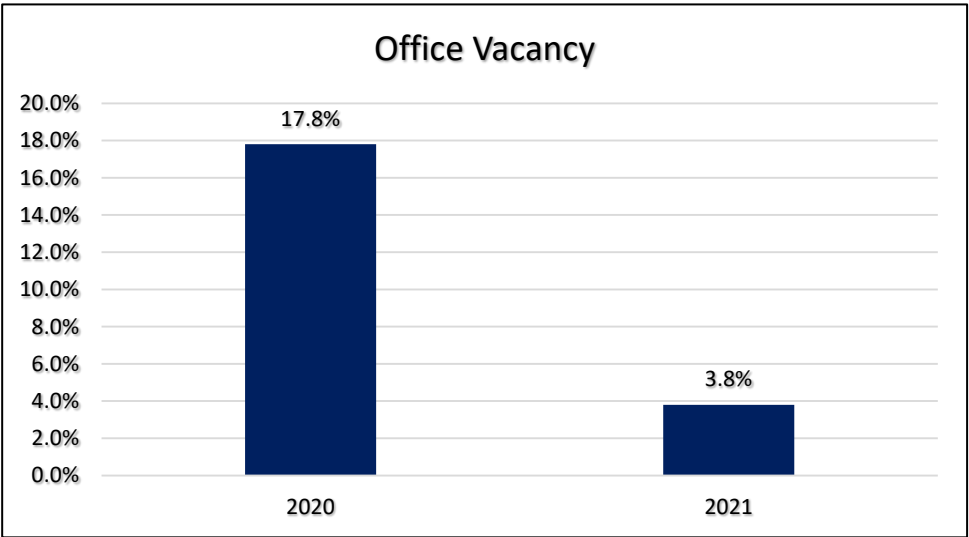
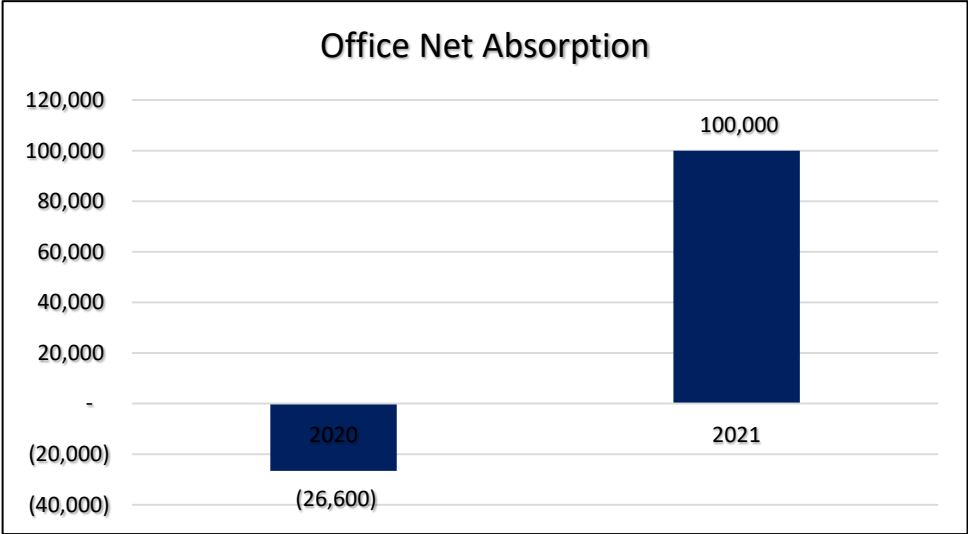
Description:

The commercial office snapshot provides an overview of existing inventory, how much of it is vacant, and average price per square foot.

Observations:

- There is quite a bit of medical office available.
- Market rent is above asking rent.

Congress Office		
	2020	2021
Properties		75
Spaces		15
Inventory	721,000	721,000
Under Construction	-	-
12 Mo Net Absorption	(26,600)	100,000
Vacancy	17.8%	3.8%
Market Rent per square foot	\$25.21	\$25.87
Asking Rent		\$23.13
Sale Price per Square Foot	\$192.00	\$199.00
Cap Rate	7.3%	7.2%



Source: CoStar 2020



Lake Worth Rd. Commercial Real Estate - Office

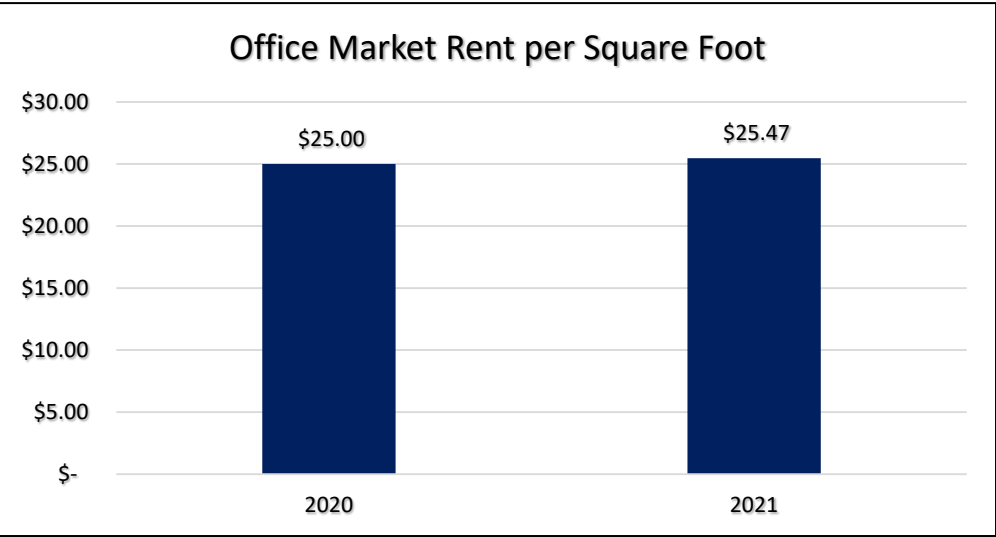
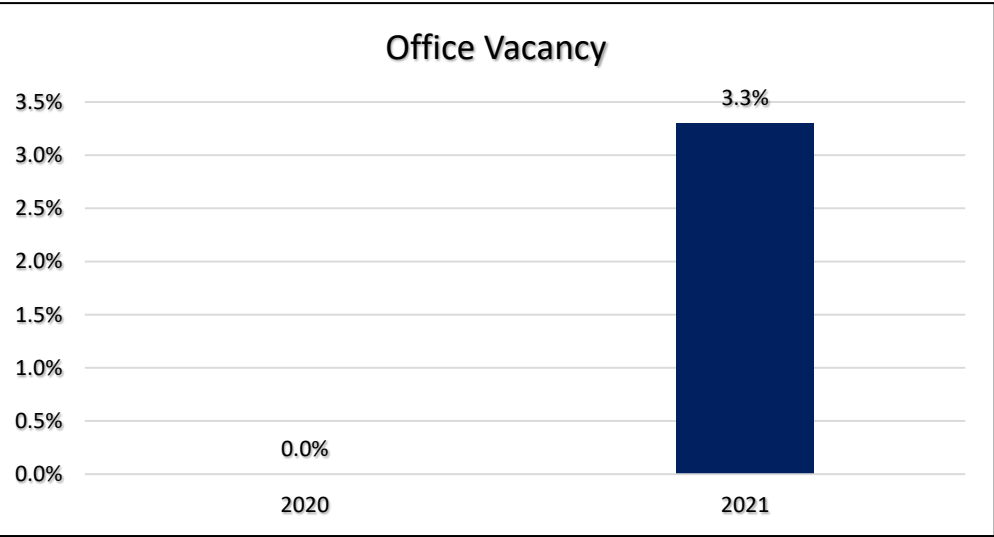
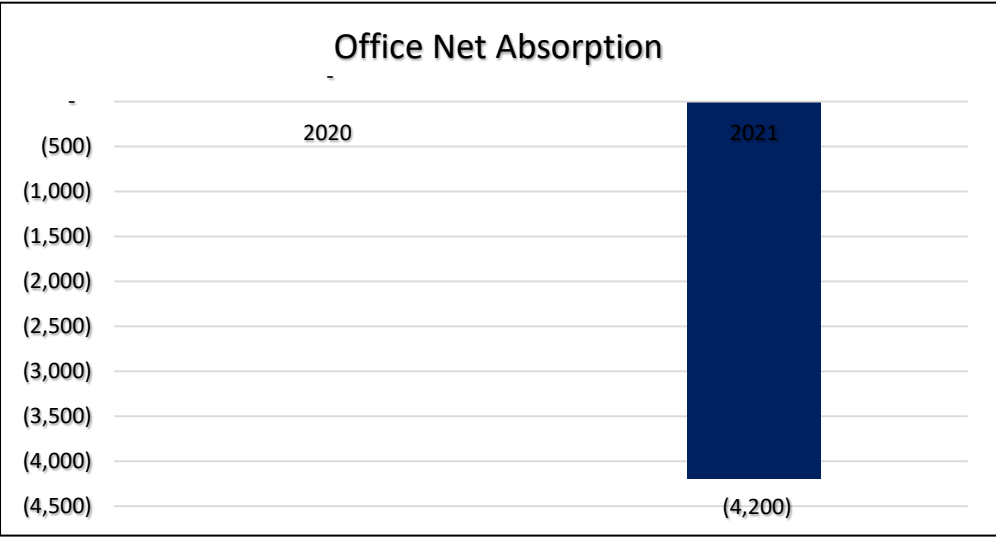
Description:

The commercial office snapshot provides an overview of existing inventory, how much of it is vacant, and average price per square foot.

Observations:

- Market rent is well above asking rent
- The minor decrease in cap rate indicates stable performance and less risk.

Lake Worth Office		
	2020	2021
Properties		24
Spaces		1
Inventory	126,000	126,000
Under Construction	-	-
12 Mo Net Absorption	-	(4,200)
Vacancy	0.0%	3.3%
Market Rent per square foot	\$25.00	\$25.47
Asking Rent		\$20.04
Sale Price per Square Foot	\$176.00	\$183.00
Cap Rate	7.6%	7.4%





Real Estate SWOT

Residential & Commercial:

Strengths

- Stable residential housing market
- Good price appreciation for existing stock
- Opportunities for residential development
- Strong commercial corridors

Weaknesses

- Much of the commercial real estate space is outdated
- Housing stock is aging which limits potential housing value

Opportunities

- Destination retail
- Demand for office space
- Workforce housing

Threats

- Residential parking requirements
- Lake Worth drainage issues
- Canal shoreline erosion

B

Labor Market Assessment

CONTENTS

Labor market trends

Labor shed

Employment shed

Workforce industries

Job market

Workforce SWOT



Source: Unsplash. Sams Solutions

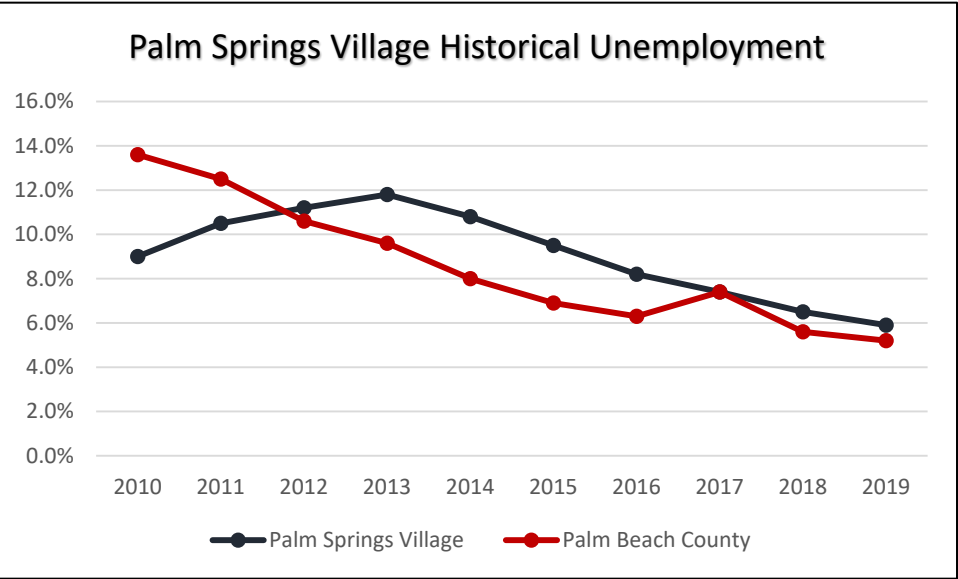
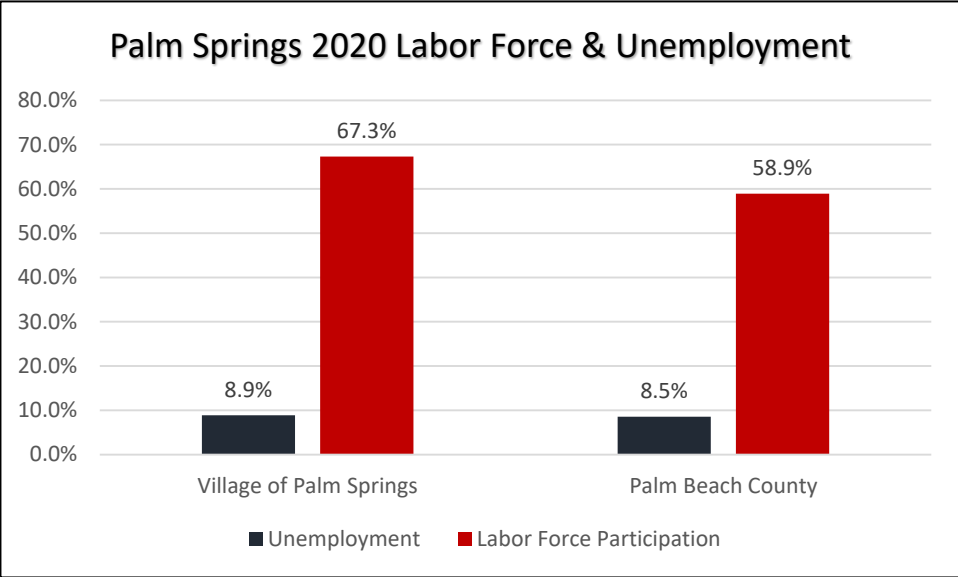
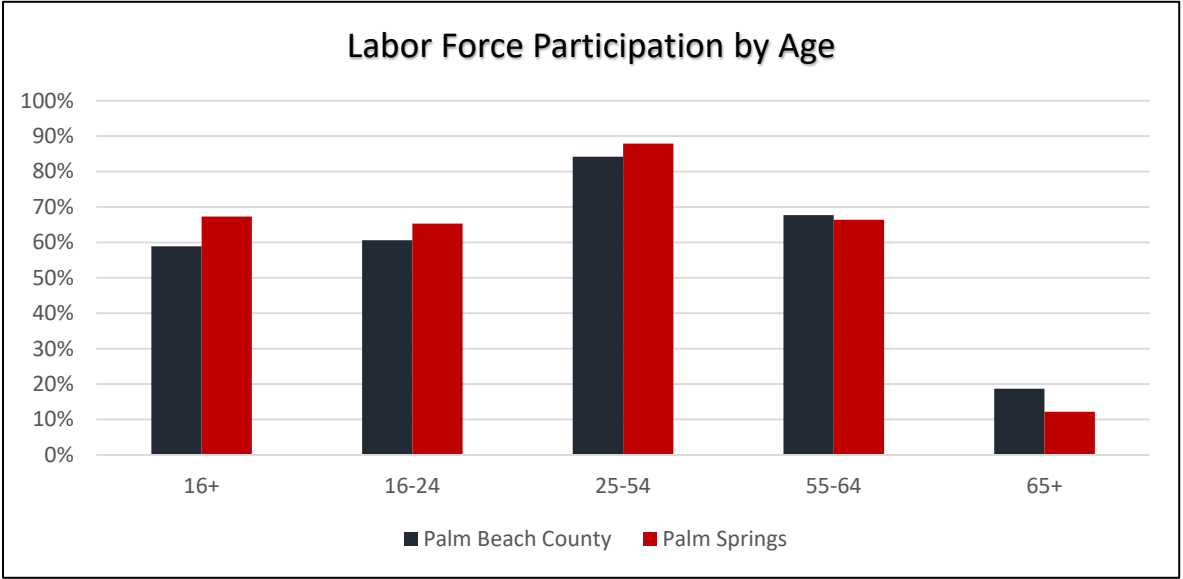


Description: The *Labor Force Participation* rate is a measure of an economy’s active workforce, the percentage of all people of working age who are employed or are actively seeking work.

Labor Market Trends

- Observations:
- Palm Springs unemployment is slightly higher when compared to Palm Beach County. While the Labor Force Rate is higher- this indicates less students, retirees and discouraged workers (those not actively seeking work) in Palm Springs.
 - Palm Springs Labor Force is generally younger compared to the Palm Beach County average.
 - Palm Springs unemployment rate had been trending down before jumping up in 2020 due to COVID-19.

2020 Labor Force				
	Population	Employed	Unemployed	Labor Force
Village of Palm Springs	19,933	12,225	1,188	13,413
Palm Beach County	1,231,274	663,459	61,857	725,316



Workforce Shed

Description:

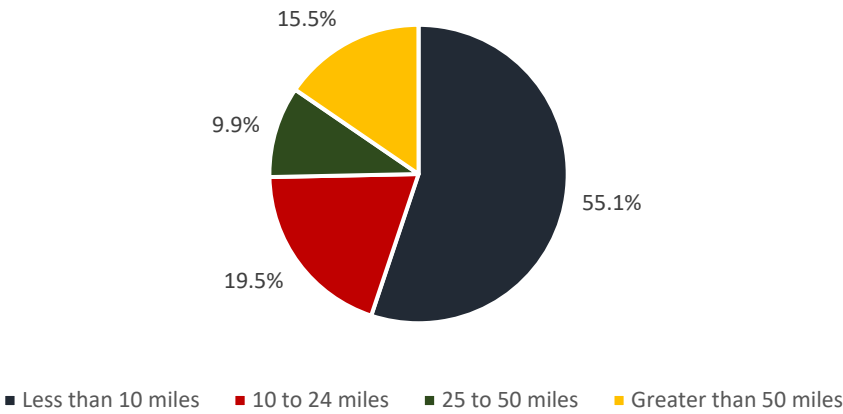
Workforce Shed defines the movement of *resident workforce*, in this case workers who live in Palm Springs.

Observations:

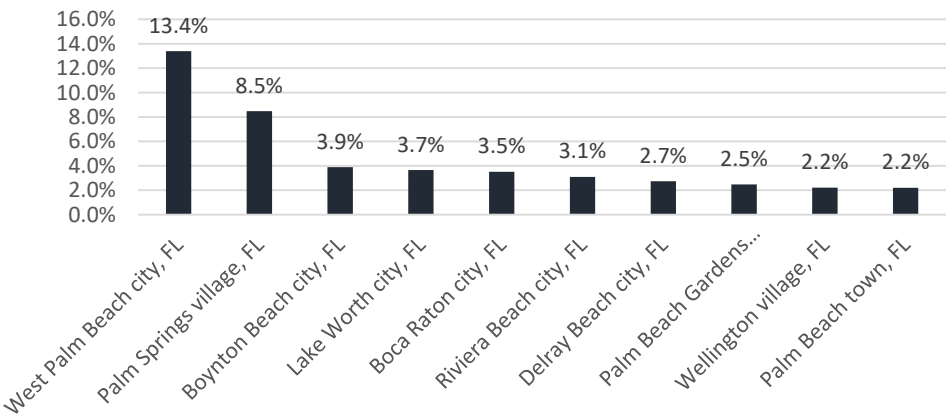
- 1. Most Palm Springs residents work close to home (less than 10 miles).
- 2. Only 8.5% of Palm Springs resident workforce works in Palm Springs.
- 3. Nearly 13.4% of Palm Springs resident workforce works in West Palm Beach.



Palm Springs Resident Workforce Distance to Work



Palm Springs Resident Workforce Top Employment Destinations



Source: US Census Bureau, 2018

Employment Shed

Description:

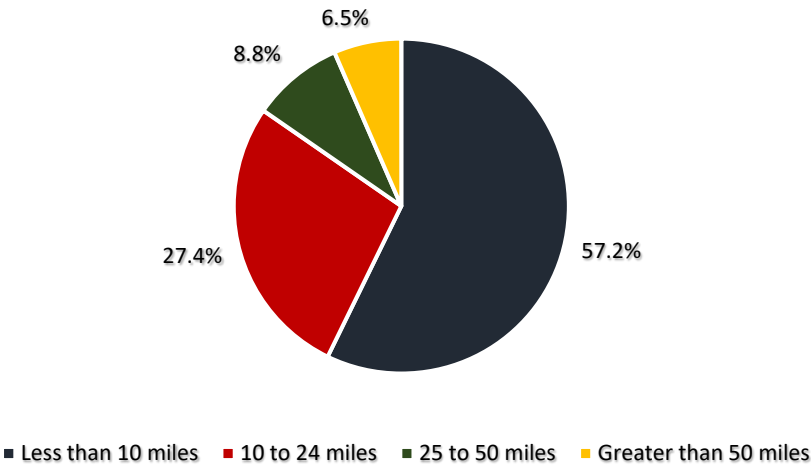
Employment Shed illustrates the movement of workers commuting to Palm Springs for employment. In other words, the jobs offered in Palm Springs which brings other into the area.

Observations:

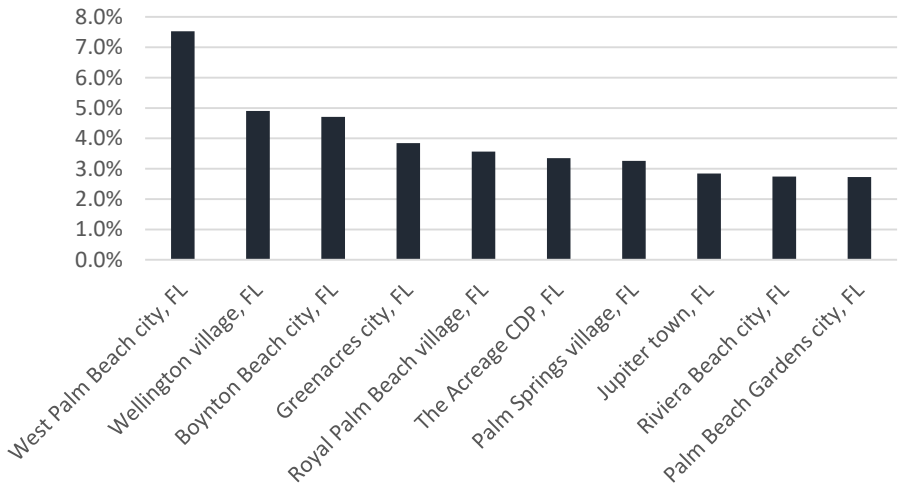
- 1. Only 3.3% of the jobs offered in Palm Springs are held by Palm Springs residents.
- 2. The most popular home destinations for Palm Springs employees are West Palm Beach, Wellington, and Boynton Beach.



Palm Springs Employees Distance to Home



Palm Springs Employees Top Home Destinations



Source: US Census Bureau, 2018

Workforce Industries

Description:

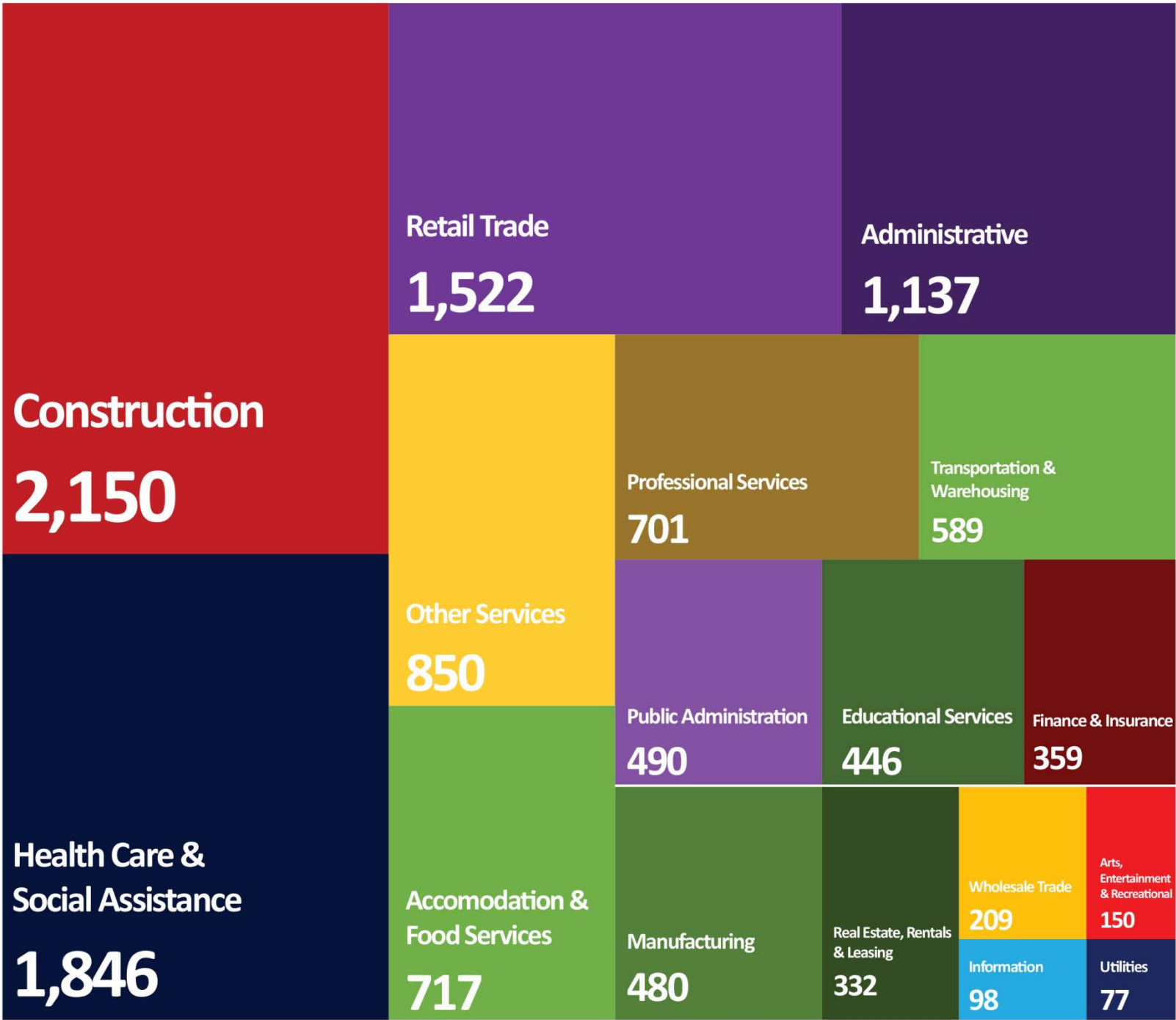
Resident workforce industries are the specific industries in which Palm Springs residents work. The tree map displayed here represents the number of workers within each industry. The tree map flows from the largest workforce industries (top left) to the smallest (bottom right).

Observations:

- 1. Approximately 12,225 of Palm Springs 19,933 residents are currently employed.
- 2. The top resident workforce Industries in Palm Springs are in Construction, Health Care & Social Assistance, Retail Trade, Administrative and Other Services plus Professional Services, followed by Accommodation & Food Services.

Source: ESRI, Inc. 2020

RESIDENT WORKFORCE EMPLOYMENT BY INDUSTRY



Job Market

Description:

Job Market describes the jobs offered by industries in Palm Springs. The tree map displayed here represents the number of jobs within each industry. The tree map flows from the largest job industries (top left) to the smallest (bottom right).

Observations:

1. At the time of this study, there were approximately 1,429 businesses providing 9,877 job in Palm Springs.
2. The top employment industries are Retail Trade, Health Care & Social Assistance, Other Services, Accommodation & Food Services, and Educational Services.

*Other services can include but are not limited to Equipment and Machinery Repairing, Religious Activities, Grantmaking, Advocacy, Dry-cleaning and Laundry Services, Personal Care Services, Death Care Services, and Pet Care Services.

PALM SPRINGS JOB MARKET



Source: ESRI, Inc. 2020

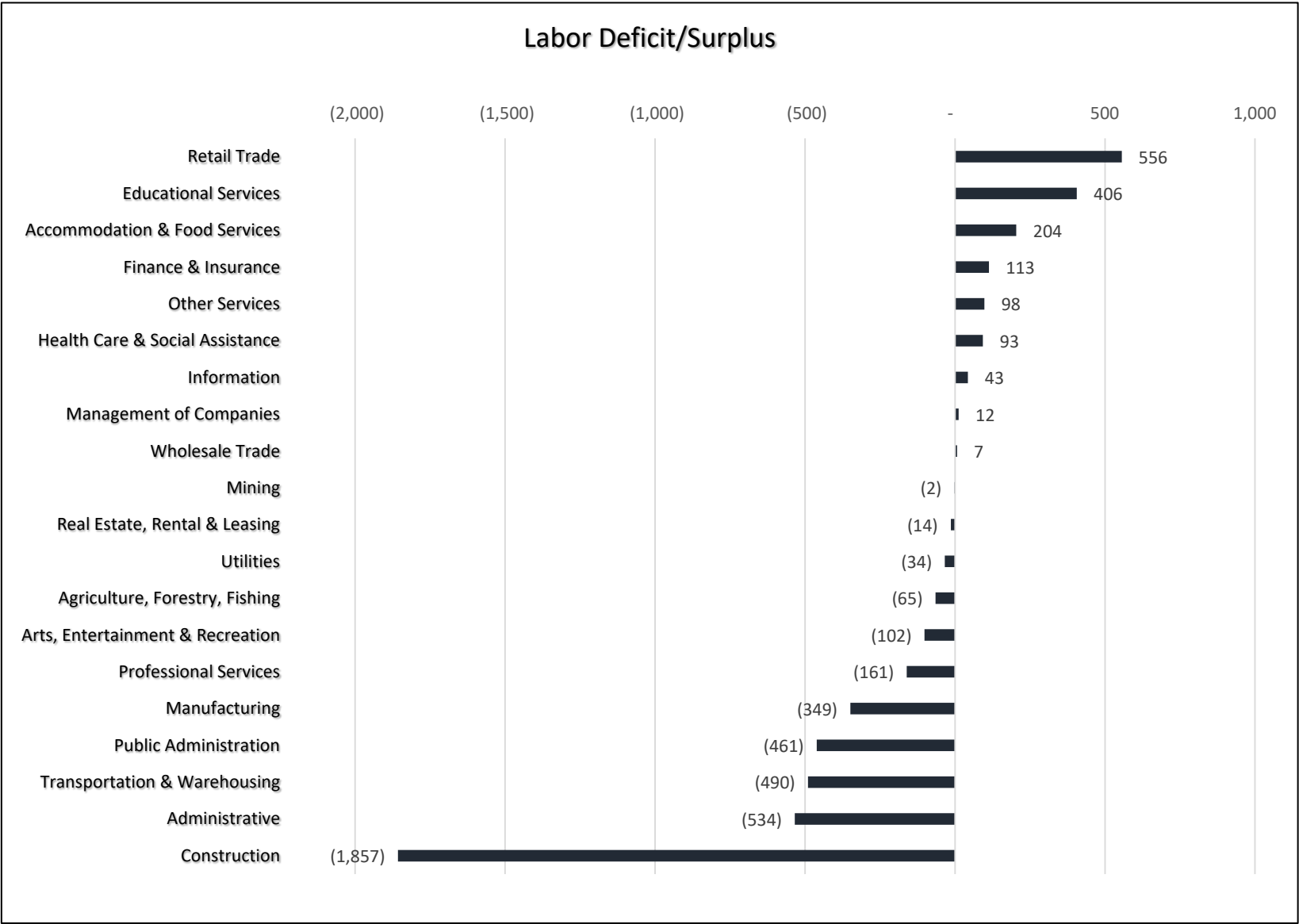
Workforce Gaps

Description:

Job Deficit/Supply defines the number of jobs offered within each industry in a certain area minus the number of residents who live in the area and work in those industries. A negative number represents a job deficit, meaning there are more workers than jobs available. A positive number represents a job surplus, meaning there are more jobs available than workers.

Observations:

- The industries with the highest job surplus in Palm Springs are Retail Trade, Educational Services, and Accommodation & Food Services.
- The industries with the highest job deficit in Palm Springs are Construction, Administrative Support & Waste Management, Transportation and Warehousing, and Public Administration.



Transportation

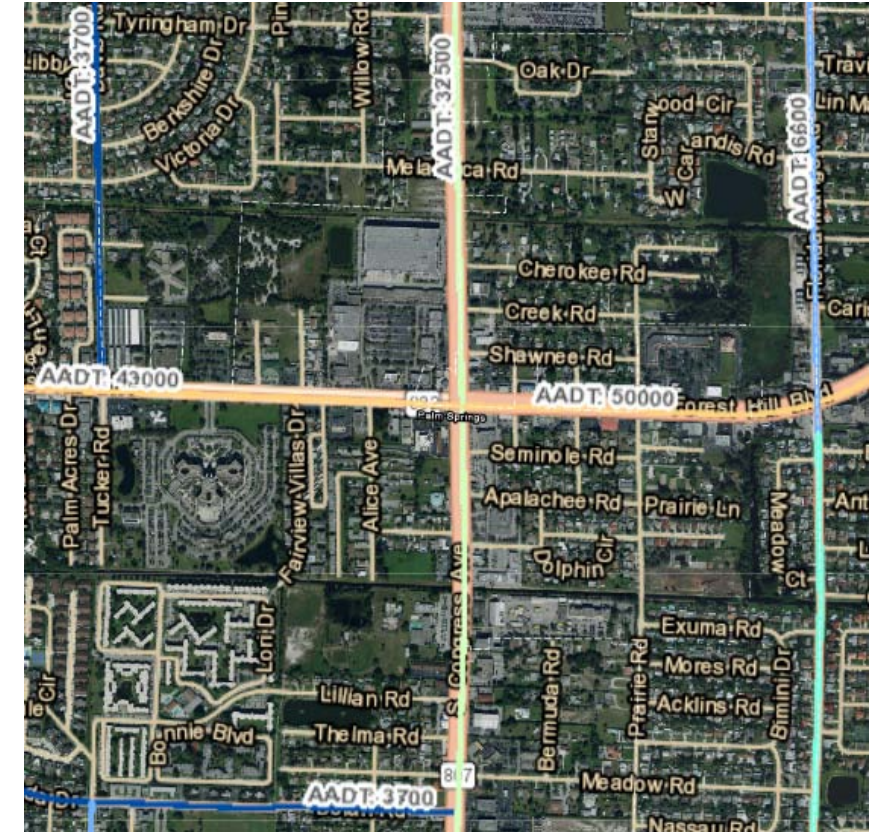
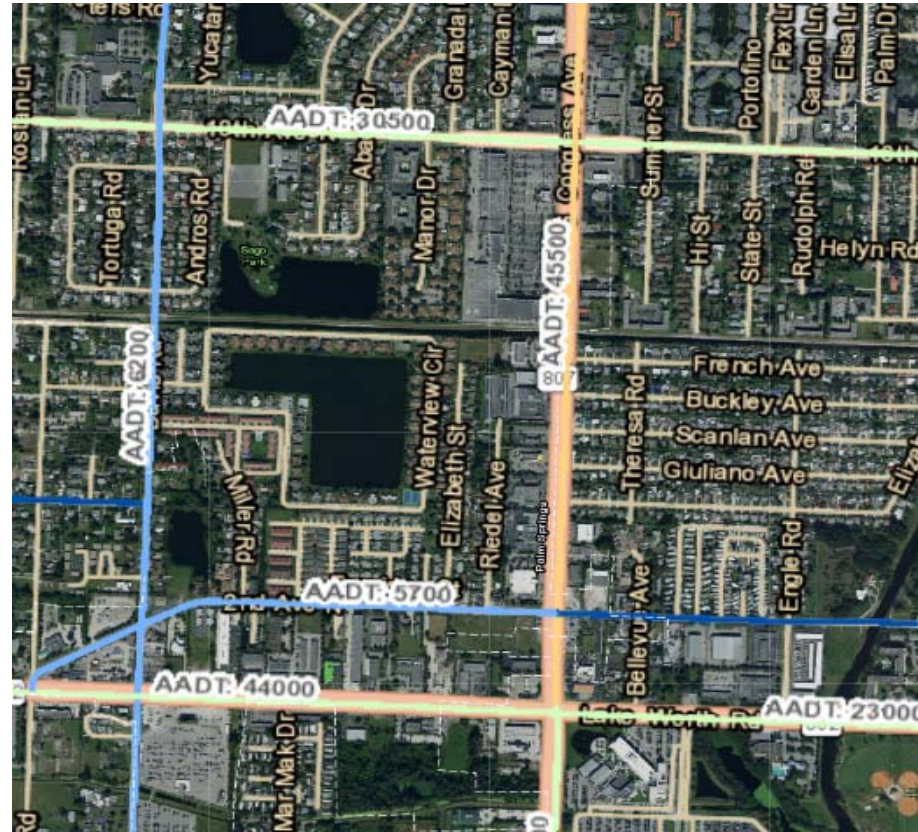
Description:

Traffic count maps represent the average daily traffic (ADT), or number of vehicles that cross a certain point of a street location.

Observations:

Average Daily Traffic Counts in Palm Springs:

- Congress: 32,500-45,000
- Lake Worth Rd: 23,000-46,000
- Military Trail 38,000-41,000
- Forrest Hill- 43,000-50,000



Education

Description:

The chart below shows the schools in Palm Springs and their associated scores from the Florida Department of Education as well as public Google Reviews.

Observation:

- 1. Palm Springs is home to well-known and highly rated public schools.
- 2. G-Star High School of the Arts for Film, Animation and Performing Arts is one of the most highly regarded schools in Florida and ranked in the top 1.4% of schools nationwide according to the Washington Post.
- 3. G-Star is the only high school located on a working movie studio backlot and features the largest film production studio in South Florida.
- 4. An additional education and recreation asset is the YMCA of the Palm Beaches, which is located within the Village of Palm Springs. YMCA of the Palm Beaches offers Health and Fitness Programs, Educational Classes, Social Activities, Free Child Care, Youth Sports, and more.

Palm Springs School Grades 2018		
	Florida Department Of Education	Google
Palm Springs Elementary School	"A"	4
Palm Springs Community Middle School	"B"	4.2
G-Star School of the Arts	"A"	4.4
Clifford O. Taylor Elementary School	"C"	4.3

The Palm Beach Post
REAL NEWS STARTS HERE

Former G-Star teacher
launches digital art school
for kids, teens

By Wilkine Brutus

Posted Jul 31, 2019 at 12:01 AM

Updated Aug 1, 2019 at 12:53 PM





Workforce SWOT

Strengths

- Transportation- Proximity to Palm Beach International Airport, Interstate 95, Florida Turnpike, Tri-Rail
- Education- Palm Springs is home to highly regarded public schools.
- Large employment centers- Oxygen Development, Fulton Holland Educational Services Center
- Healthcare Industry- Proximity to JFK Medical Center

Weaknesses

- Workforce Gaps
- Labor Shed- Many residents leave the Village for work
- Employment Shed- Many employees commute from outside of the Village for work.

Opportunities

- G-Star as an asset to grow Film, Entertainment, and the Arts
- Medical Industry
- Understanding changing demographics and new workforce needs

Threats

- COVID-19
- Lack of citizenship among workers
- Aging population
- Lack of affordable housing options for essential workforce



C

Capital

CONTENTS

A review of public and private revenue and capital trends and identification of financial resources for Redevelopment implementation and economic growth.

Identification of infrastructure and public service strengths and gaps.

Evaluation of the Village's business mix.

Finance SWOT

Public Capital Trends

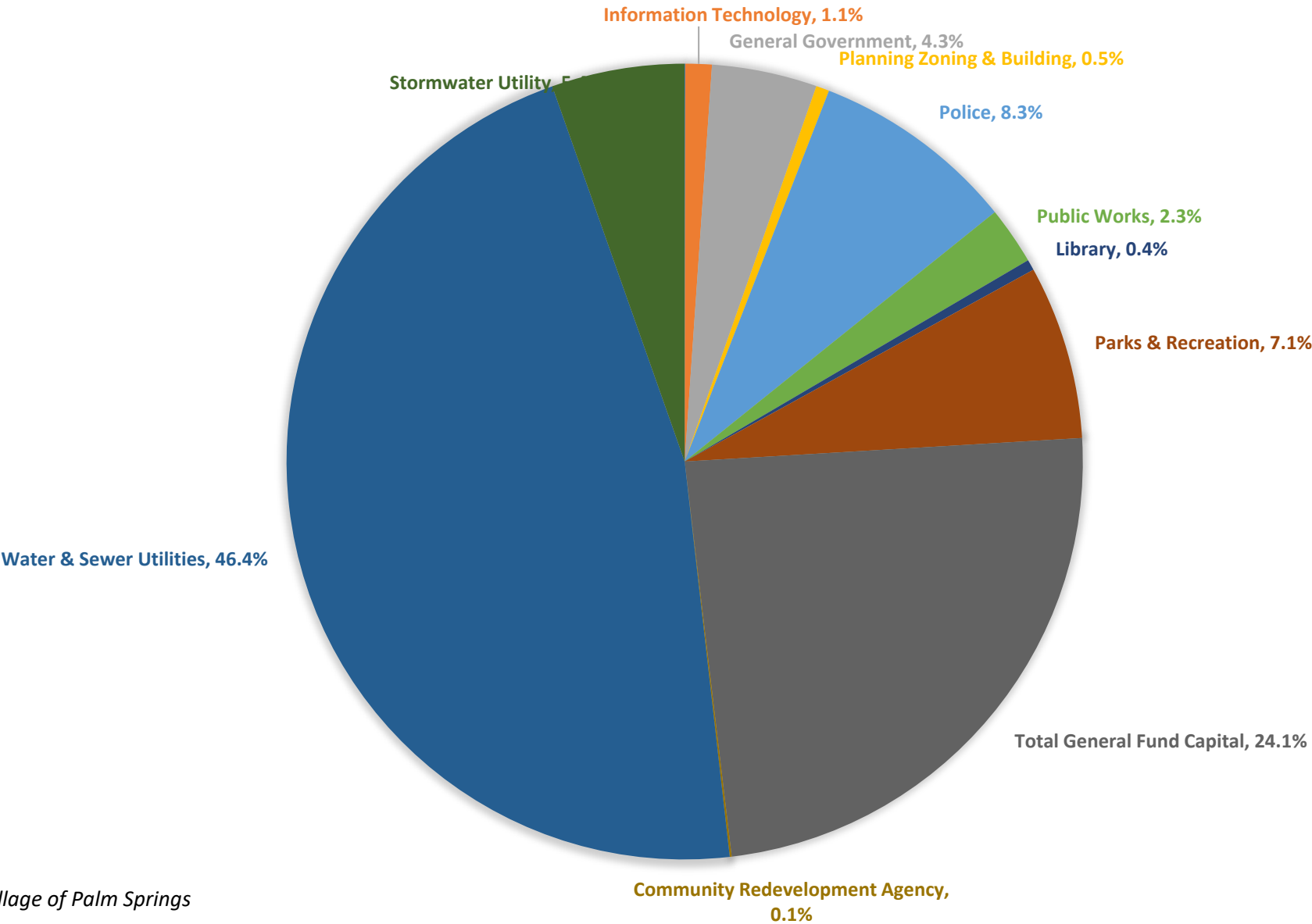
Palm Springs 5 Year CIP Plan Totals						
Department	FY 2021	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026
Finance	\$5,000					
Information Technology	\$203,125	\$112,800	\$105,800	\$114,000	\$275,500	\$126,500
General Government	\$811,800					
Planning Zoning & Building	\$102,000	\$25,000	\$25,000		\$500,000	
Police	\$1,579,250	\$2,988,280	\$380,500	\$334,000	\$342,500	\$330,500
Public Works	\$444,500	\$1,323,000	\$1,660,000	\$216,000	\$25,000	\$171,000
Library	\$82,645	\$85,252	\$46,816	\$56,270	\$55,800	\$52,800
Parks & Recreation	\$1,342,187	\$2,564,034	\$2,717,500	\$5,300,000	\$3,010,000	
Total General Fund Capital	\$4,570,507	\$7,098,366	\$4,935,616	\$6,020,270	\$4,208,800	\$680,800
Community Redevelopment Agency	\$15,000					
Water & Sewer Utilities	\$8,817,393	\$13,531,962	\$12,708,000	\$7,355,000	\$9,497,000	\$6,810,000
Stormwater Utility	\$1,025,411	\$1,889,050	\$1,857,000	\$350,000	\$3,340,000	\$1,410,000
Total CIP Budget	\$18,998,818	\$29,617,744	\$24,436,232	\$19,745,540	\$21,254,600	\$9,581,600

Source: Village of Palm Springs

Public Capital Trends (2)

Source: Village of Palm Springs

PALM SPRINGS 2021 CIP BUDGET

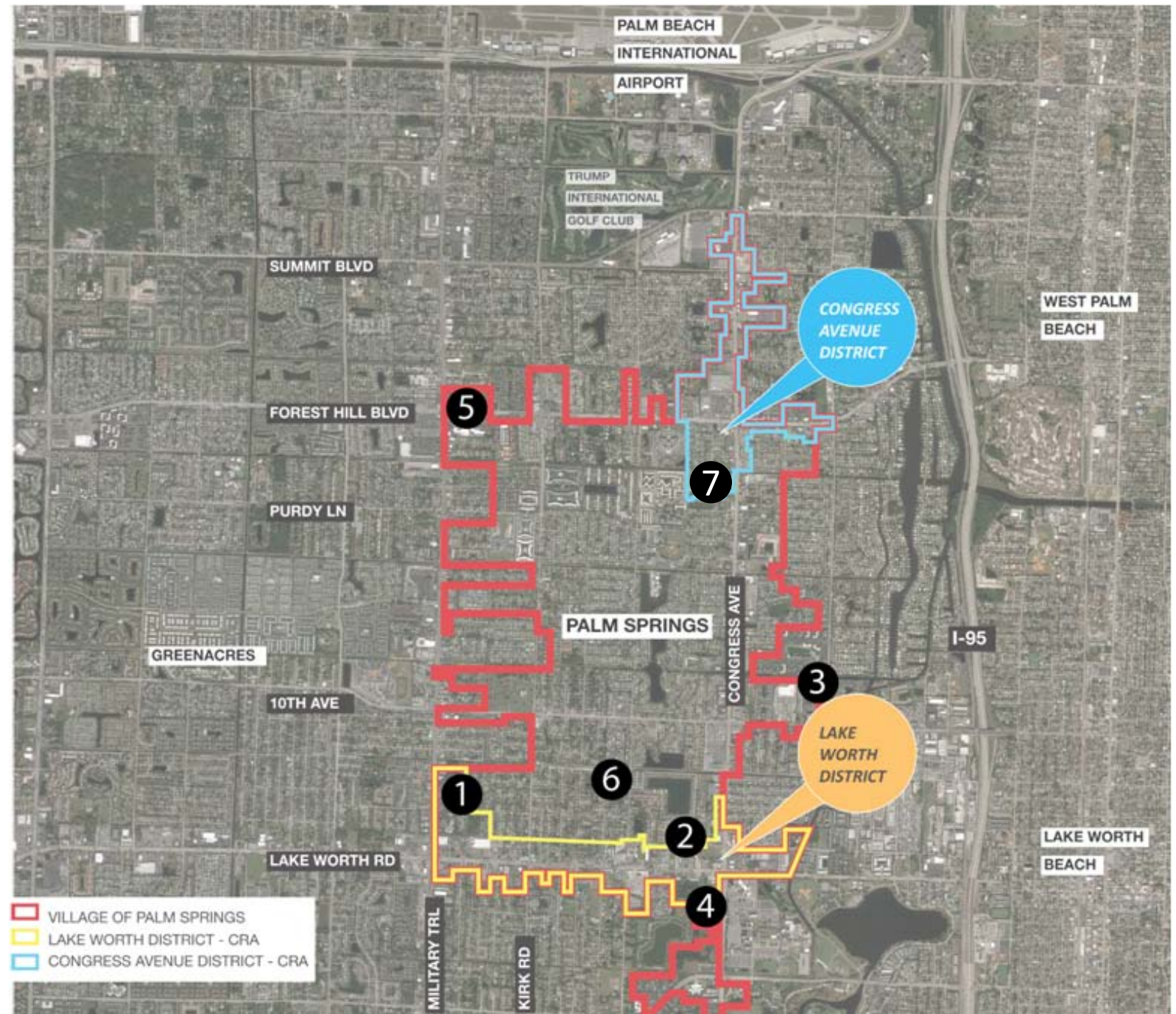


Source: Village of Palm Springs

Private Capital Trends

Current economic development and redevelopment projects in Palm Springs include:

1. **Vacant lot on Patio Court** - Patio Court Townhomes: The developer is requesting a site plan to construct 11 two-story fee simple townhomes.
2. **3172 2nd Avenue North** - Atlantic Cay: This is a new mixed-use project consisting of 14 residential dwelling units and 1,575 square footage office/warehouse space.
3. **2407 10th Avenue North** - Waterside Plaza: This is a remodeling of the existing plaza and includes adding two fast food restaurants with drive-throughs.
4. **4177 South Congress Avenue** - Jacob's Garden: This project is converting the existing 16-unit rental apartment to a 29-bed assisted living facility.
5. **4236 Forest Hill Boulevard & 1761 Forest Avenue** - Integrity Commons: This project is redeveloping the properties into a new mixed-use project, consisting of four residential dwelling units and a 3,200 square footage medical office building.
6. **3575 Coconut Road** - Coconut Road Triplex: This involves the construction of a one-story triplex residential building.
7. **YMCA Site**: This proposed project is in Planning for 264 units of multifamily residential development.



Source: Village of Palm Springs

Millage Rate

Millage Rate		100%	95%
Current Village	3.5	\$72,190.77	\$68,581.23
From PBC	3.5	\$72,190.77	\$68,581.23

	2019- PBC Baseline	2020 PBC 1st Year Valuation	2020- 1st Year Valuation Increase	2020- Proposed TIF
Lake Worth Road District	\$161,860,986.30	\$171,184,347.00	\$9,323,360.70	\$32,631.76
Congress Avenue District	\$127,292,669.70	\$135,595,242.00	\$11,302,572.30	\$39,559.00
Total	\$289,153,656.00	\$306,779,589.00	\$20,625,933.00	\$72,190.76

From the millage rate and taxable value within Palm Springs Community Redevelopment areas, we are able to calculate the proposed Tax Increment Funding to the CRA's. During the CRA's baseline year (2019) the taxable value was \$161,860,986 for the Lake Worth Road District and \$127,292,669 for the Congress Avenue CRA. Using the 3.5 local millage rate, a total budget of \$72,190.76 is realized. This total is split between the two CRA areas.

Palm Beach County 2020 Final Millage Rates

Taxing District Codes	County or Municipality	Total Tax Rate	Taxing District Codes	County or Municipality	Total Tax Rate
00071 - 00076	Unincorporated	17.5391	32461 - 32461	Jupiter Inlet Beach Colony	19.7374
00111 - 00116	Unincorporated	17.5391	34523 - 34523	Lake Clarke Shores	23.8189
00141 - 00141	Unincorporated	17.6355	36501-36507	Lake Park	22.3032
00164 - 00165	Unincorporated	18.4209	38452 - 38457	Lake Worth	23.5603
00173 - 00176	Unincorporated	17.5391	40533 - 40537	Lantana	20.4558
00191 - 00197	Unincorporated	17.5391	41486 - 41486	Loxahatchee Groves	20.5391
00202 - 00207	Unincorporated	17.5391	42984 - 42984	Manalapan	16.6672
00221 - 00227	Unincorporated	17.5391	44407 - 44407	Mangonia Park	23.9810
00283 - 00357	Unincorporated	17.5391	46984 - 46984	Ocean Ridge	19.4310
00361 - 00366	Unincorporated	17.5391	48486 - 48486	Pahokee	24.0810
00591 - 00596	Unincorporated	17.5391	50411 - 50447	Town of Palm Beach	16.4939
00601 - 00606	Unincorporated	17.5391	52401 - 52407	Palm Beach Gardens	19.6310
			52461 - 52461	Palm Beach Gardens	19.7274
02983 - 02983	Atlantis	21.6910	52981 - 52981	Palm Beach Gardens	19.6310
04486 - 04486	Belle Glade	24.0810	54401 - 54401	Palm Beach Shores	20.8600
06154 - 06155	Boca Raton	18.0581	56401 - 56407	Riviera Beach	21.9497
06625 - 06625	Boca Raton	17.1763	58486 - 58486	South Bay	23.8480
08983 - 08987	Boynton Beach	21.3977	60461 - 60461	Tequesta	20.8064
09984 - 09984	Briny Breezes	24.0810	62524 - 62524	South Palm Beach	21.0758
10522 - 10523	Cloud Lake	17.5391	66983 - 66984	Village of Golf	20.0429
12983 - 12987	Delray Beach	20.3474	68401 - 68401	North Palm Beach	20.9977
14522 - 14523	Glenridge	17.5391	70452 - 70453	Palm Springs	20.7662
18982 - 18986	Greenacres	20.4810	72486 - 72486	Royal Palm Beach	19.4591
20984 - 20984	Gulf Stream	17.2568	73482 - 73486	Wellington	20.0091
22486 - 22487	Haverhill	22.0391	74402 - 74407	West Palm Beach	21.9703
24984 - 24984	Highland Beach	17.2855	74982 - 74983	West Palm Beach	21.9703
26984 - 26987	Hypoluxo	17.2810	77486 - 77486	Westlake	22.6641
28471 - 28471	Juno Beach	19.6354	84407 - 84407	West Palm Beach - DDA	22.9703
30571 - 30571	Jupiter	18.7209	88984 - 88987	Delray Beach - DDA	21.3474

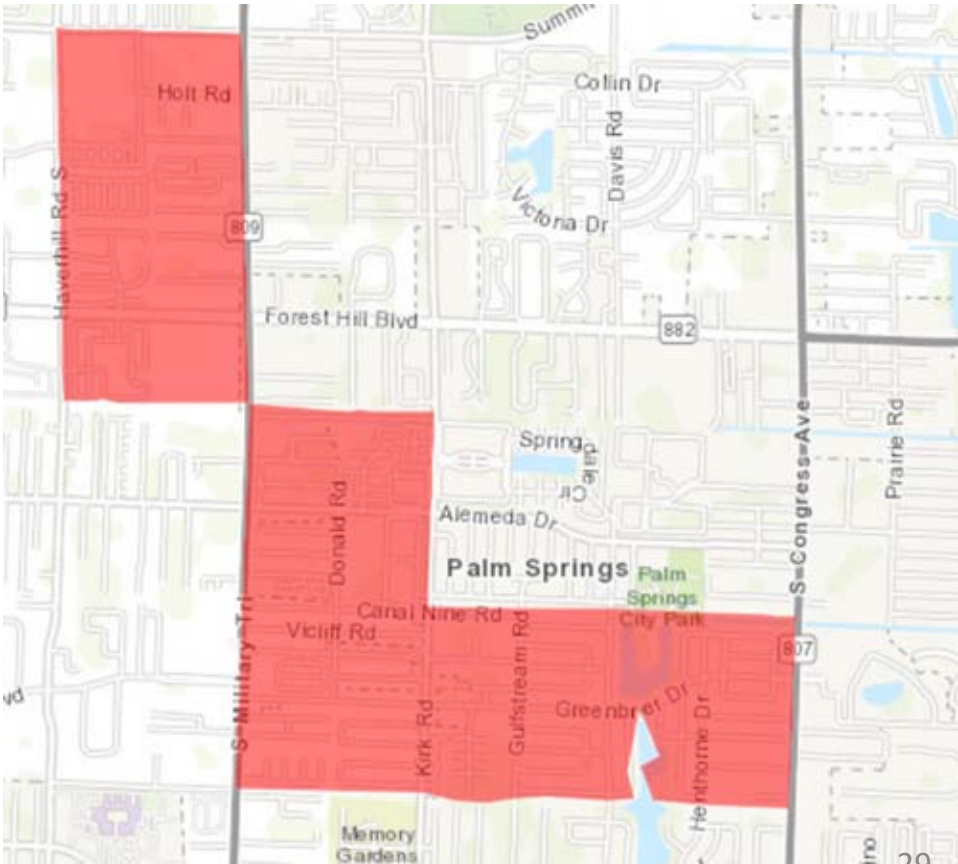
Identification of Financial Resources for Redevelopment Implementation and Economic Growth

New Markets Tax Credits (NMTC). This program provides low interest, private-sector financing for commercial and mixed-use projects in low-income areas. Eligible projects must meet a minimum capital investment of \$5 million and varying job creation thresholds for consideration. Tax credits totaling 39 percent of the original investment amount are issued to individual and corporate investors making one-time, upfront equity contributions to qualified development projects through community development entities and claimed over a period of seven years.



Source: Baker Tilly 2020

Opportunity Zones. Opportunity Zones and associated area designations were created under the Tax Cuts and Jobs Act of 2017. They are used as an economic development tool that allows people to invest in distressed areas in the United States. Opportunity Zones seek to spur economic growth and job creation in low-income communities while providing tax benefits to investors.



Source: [opportunityzones.hud.gov](https://www.opportunityzones.hud.gov), 2020



Identification of Financial Resources for Redevelopment Implementation and Economic Growth.

Local Incentives:

Palm Beach County Tax Exemption Program. With this program, a new or expanding business may apply for an "economic exemption" for improvements to real property and/or tangible personal property not already on the Palm Beach County Tax Roll. The applicant must create and maintain the required number of new full-time jobs. The business project must have a positive impact on the local economy of Palm Beach County.

Palm Beach County Film & Television Grant. The Palm Beach County Film and Television Commission offers various grants and incentives. Included in the incentive package is the use of Palm Springs-based G-Star Academy's 84,000 square foot facility, featuring the 25,500 square foot G-Star Motion Picture Studio facility, set on three-acres including a 17,000 square foot warehouse for shooting and set construction. Students from G-Star have a high -level experience in a variety of production related jobs and can be utilized as interns or actors in productions.

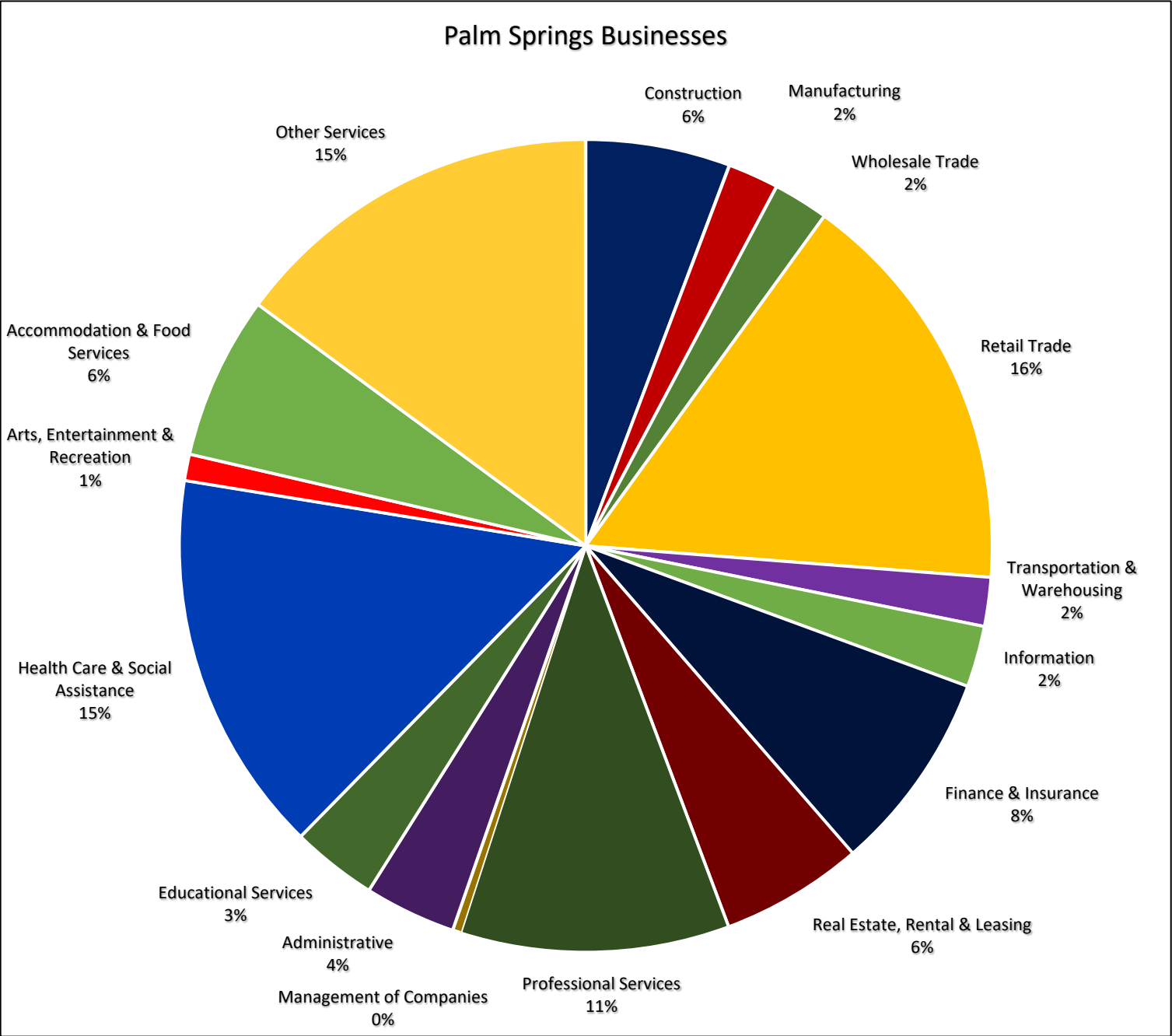
Village of Palm Springs Property Improvement Program. The Village of Palm Springs offers 50% matching grant (up to \$5,000) for construction projects that enhance the visual appeal and value of the businesses/residence.

Federal Funding:

The Coronavirus Aid, Relief, and Economic Security Act (CARES Act; P.L. 116-136), signed into law on March 27, 2020, created the Coronavirus Relief Fund (CRF), which provided \$150 billion in direct assistance for state and local governments.

American Rescue Plan. The American Rescue Plan Act of 2021, also called the COVID-19 Stimulus Package or American Rescue Plan, is a \$1.9 trillion economic stimulus bill signed into law on March 11, 2021, to speed up the United States' recovery from the economic and health effects of the COVID-19 pandemic and the ongoing recession. Palm Beach County is slated to receive \$290 million to be used on projects and programs, including infrastructure projects. The Village of Palm Springs will receive \$10.6 million.

Evaluation of the Village of Palm Springs Business Mix



Source: ESRI, Inc. 2020



Finance SWOT

Strengths

- CRA- Ability to leverage TIF funding

Weaknesses

- Limited population growth
- Over-reliance on residential tax base
- Infrastructure issues- Particularly water & sewer within the Congress Avenue CRA

Opportunities

- Opportunity Zone
- New Markets Tax Credits
- CARES Act
- American Rescue Act

Threats

- Competition from new communities in Western Palm Beach County- Arden, West Lake, Etc.

D

Markets

CONTENTS

Demographics

Consumer spending trends

Retail gap analysis

Supply and demand
projections and Market
potential estimates

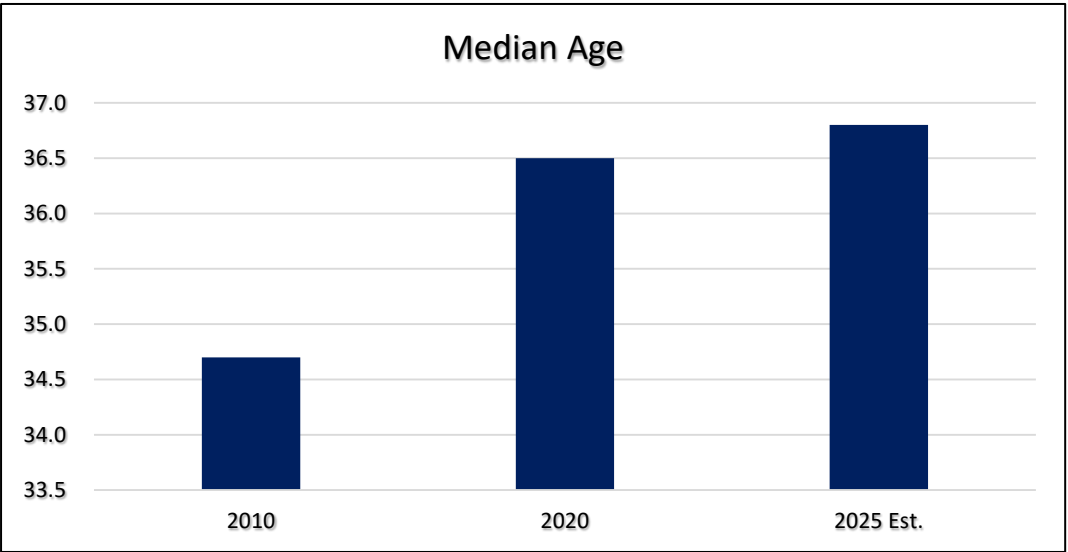
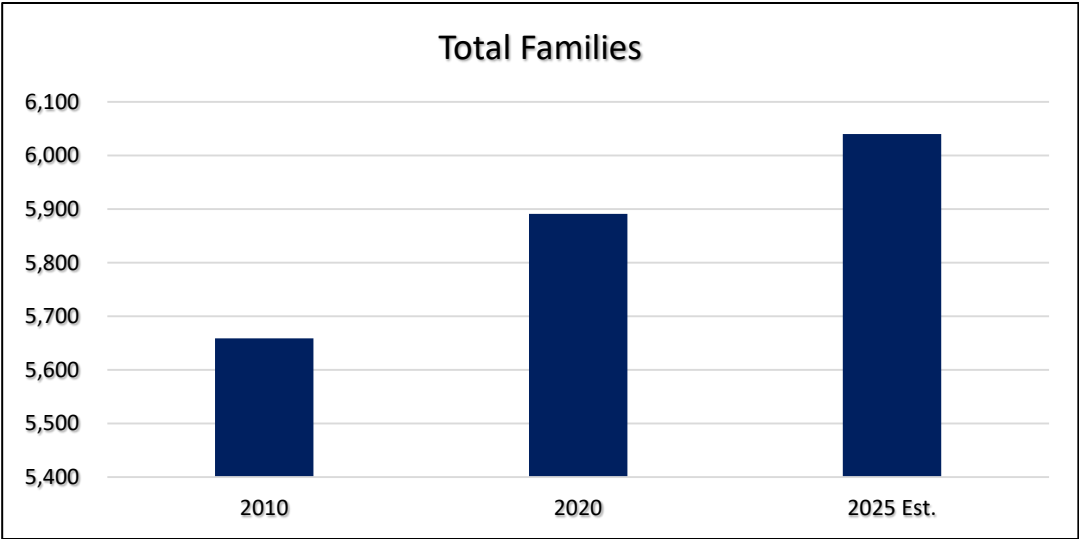
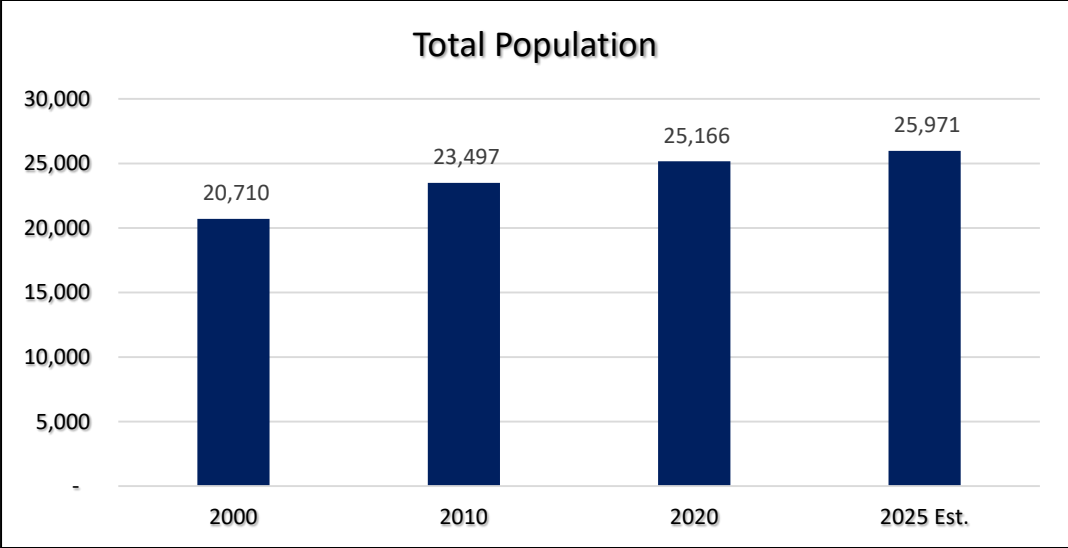
Preparation of a Consumer
SWOT



Demographics

Observations:

- Palm Springs population has grown at a moderate pace (7.1%) since 2010.
- ESRI estimates Palm Springs population to grow 3.2% to 25,971 residents in 2025.
- The median age for Palm Springs residents is 36.5 years, up nearly two years from 2010.



Source: ESRI, Inc. 2020



Description:

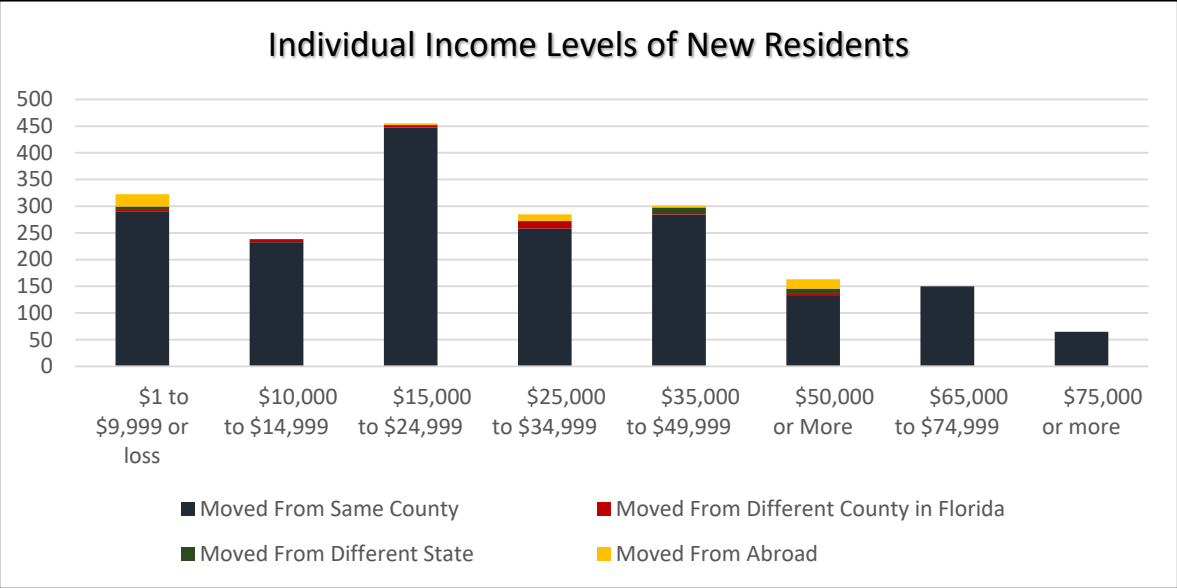
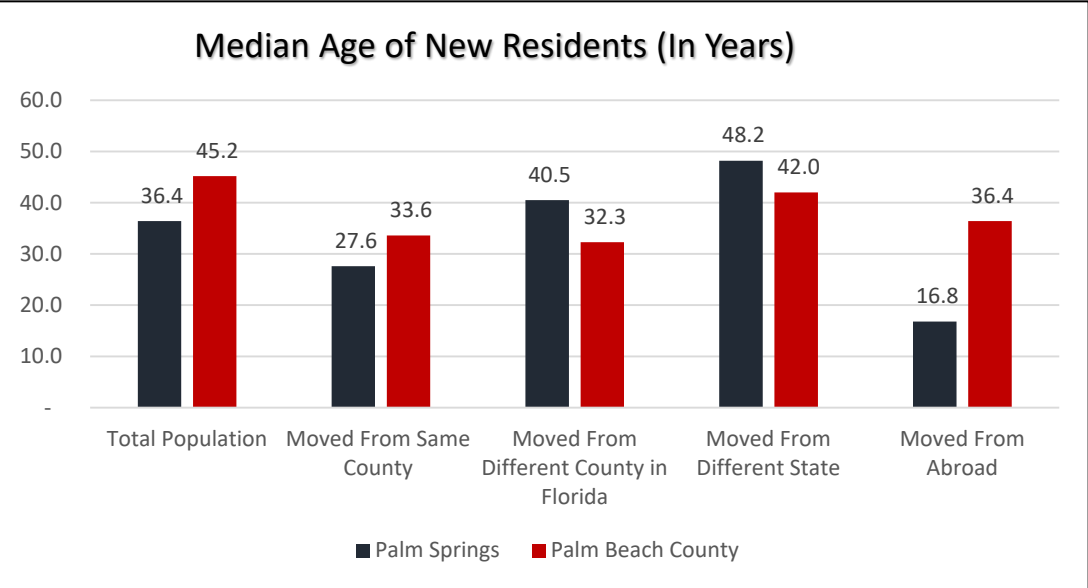
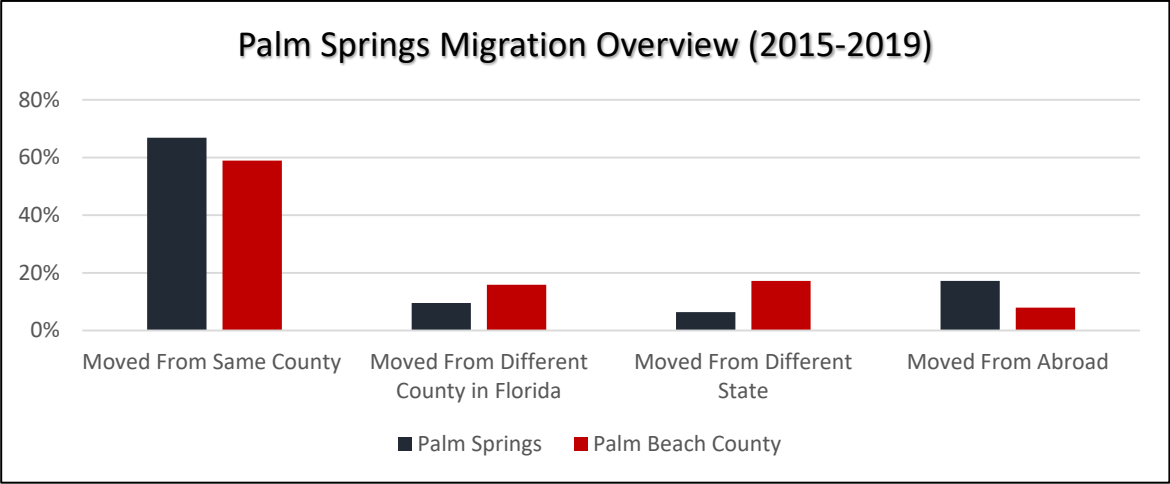
This migration analysis details new residents moving to Palm Springs during the period 2015-2019.

Demographics - Migration

Observations:

- The majority of new residents (66.9%) moved to Palm Springs from another location in Palm Beach County.
- 17.2% of new residents moved from abroad.
- New residents moving to Palm Springs from other areas of Palm Beach County and especially abroad were much younger compared to those that moved from other areas of Florida or the U.S.
- Majority (51.4%) of the new residents moving to Palm Springs earn less than \$25,000 in annual individual income.

Palm Springs Migration Overview (2015-2019)		
	Palm Springs	Palm Beach County
Moved From Same County	2,585	131,946
Moved From Different County in Florida	369	35,581
Moved From Different State	246	38,546
Moved From Abroad	665	17,790
Total New Residents	3,865	223,863



Ancestry

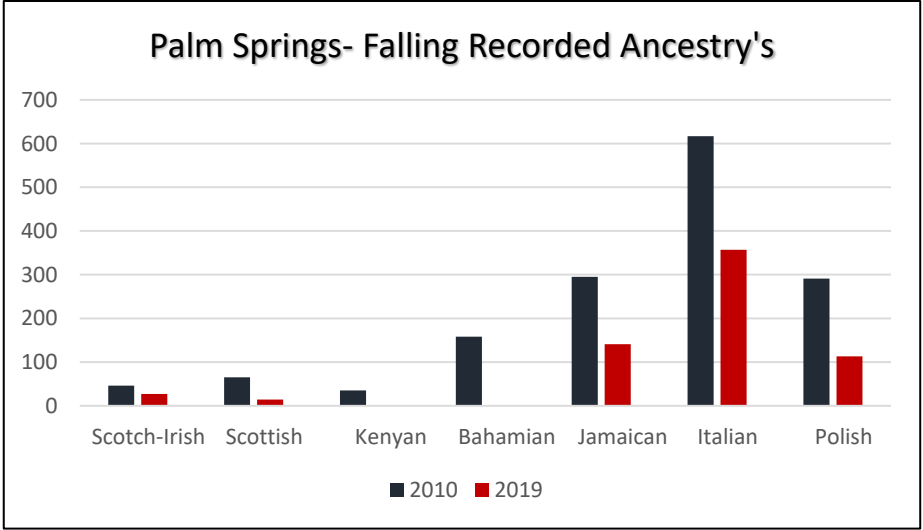
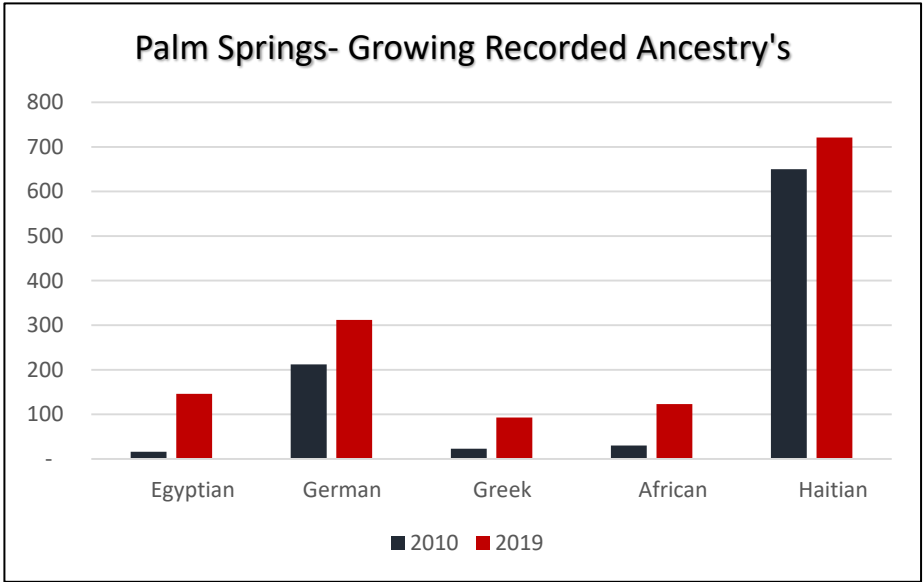
Description:

This table provides estimates for Palm Springs residents reporting a single ancestry.

Observations:

- Palm Springs is growing increasingly diverse, with residents of varied ancestries.
- During the period 2010-2019, residents reporting Egyptian, German, Greek, African and Haitian ancestry grew the most.
- During the same period, residents reporting Italian, Jamaican, Bahamian, and Polish ancestry fell the most.

Palm Springs Residents Reporting Single Ancestry					
	2010	2019		2010	2019
Total:	12,724	18,186			
Albanian	123	-	Lithuanian	7	3
American	437	315	Macedonian	-	12
Arab:	44	288	Northern European	49	-
Egyptian	16	146	Norwegian	24	-
Lebanese	28	-	Pennsylvania German	13	8
Moroccan	-	142	Polish	291	113
Armenian	22	34	Portuguese	9	-
Brazilian	-	10	Russian	9	10
British	9	-	Scandinavian	10	8
Canadian	8	-	Scotch-Irish	46	27
Danish	12	-	Scottish	65	14
Dutch	16	25	Slovak	12	35
Eastern European	-	15	Subsaharan African:	65	123
English	268	230	Kenyan	35	0
European	13	49	African	30	123
Finnish	57	8	Swedish	40	52
French (except Basque)	57	73	Turkish	13	0
French Canadian	81	16	Welsh	30	20
German	212	312	West Indian	1103	868
Greek	23	93	Bahamian	158	0
Hungarian	29	-	Haitian	650	721
Irish	375	377	Jamaican	295	141
Israeli	-	21	West Indian	0	6
Italian	617	357	Other groups	8535	14637



Customer Spending Trends

Description:

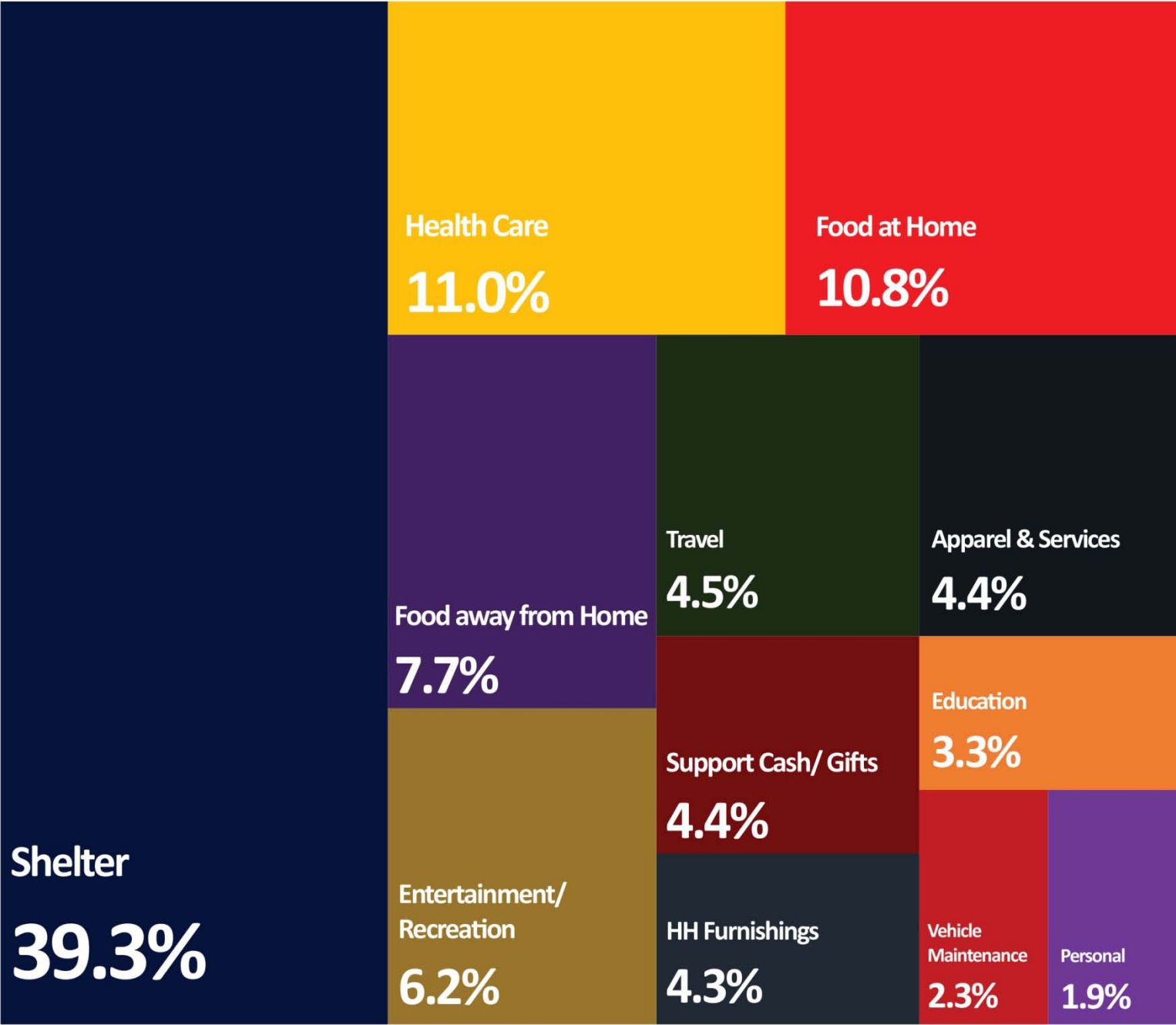
The Household Spending chart provides a detailed breakdown of spending by category for Palm Springs residents.

Observations:

According to ESRI estimates, the breakdown of spending (on average) for Palm Springs households is:

- Shelter (39% of total spending)
- Food at Home (11%)
- Healthcare (11%)
- Food away from Home (8%)
- Entertainment/Recreation (6%)

HOUSEHOLD SPENDING



Source: ESRI, Inc. 2020

Trade Area

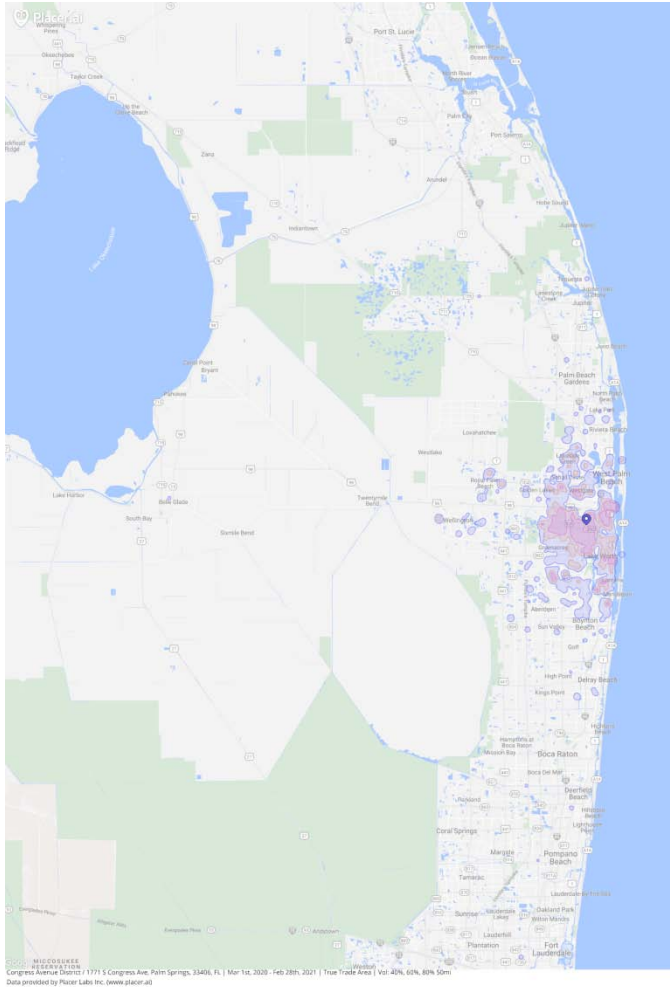
	Trade Area Size (Square Miles)		
District/Destination	40%	60%	80%
Lake Worth Rd District	13.52	28.62	71.54
Congress Ave District	10.39	25.07	68.62
Swap Shop/Drive-in	14.35	34.9	81.43
Off Lease Only	22.33	57.2	126.79

Description: The trade area represents the home locations of customers coming to the location. A trade area of 40% means 40% of customers coming the location live within that market area. The data shows that the Swap Shop and especially Off-Lease Only have a large trade area, drawing customers from across the region.

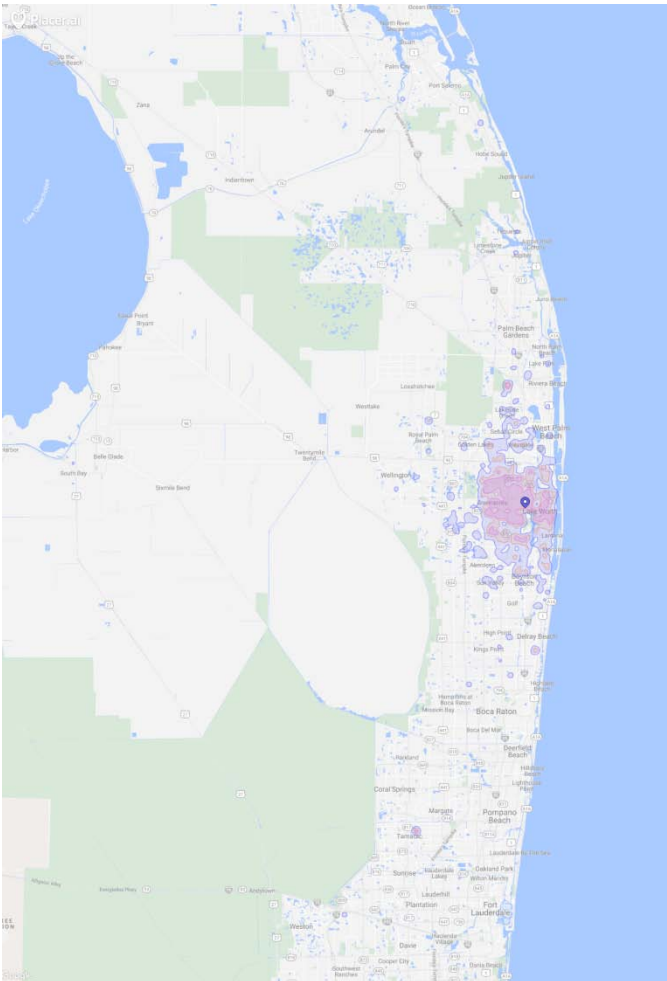
Observations: The Lake Worth Swap Shop/Drive-in and particularly the Off-Lease Only car dealership attract customers regionally where the Congress Avenue and Lake Worth Road District are much more local.

Source: Placer.ai 2021

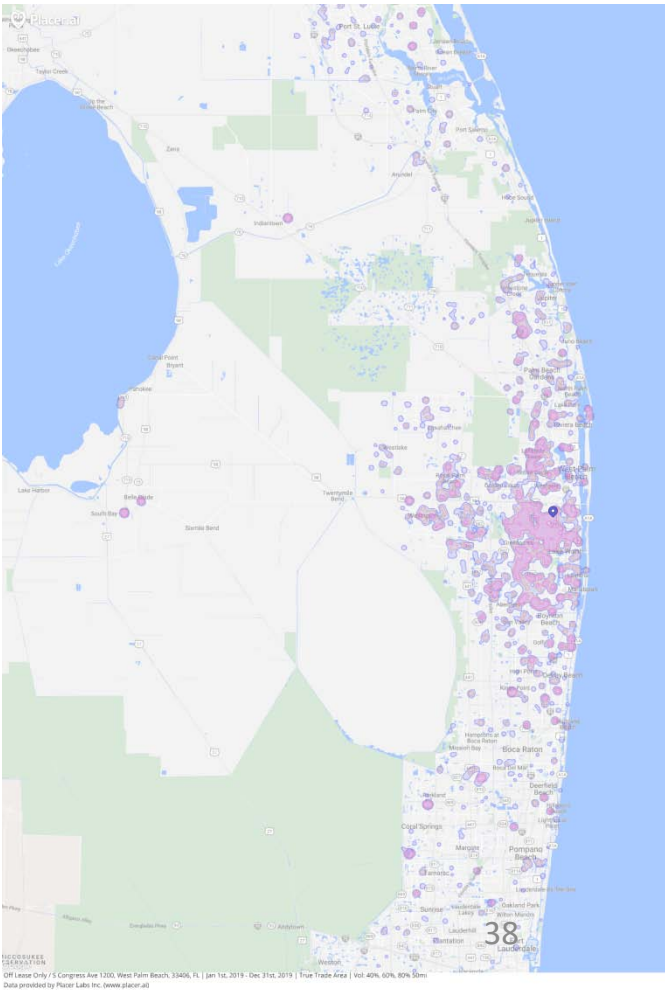
Congress Ave District



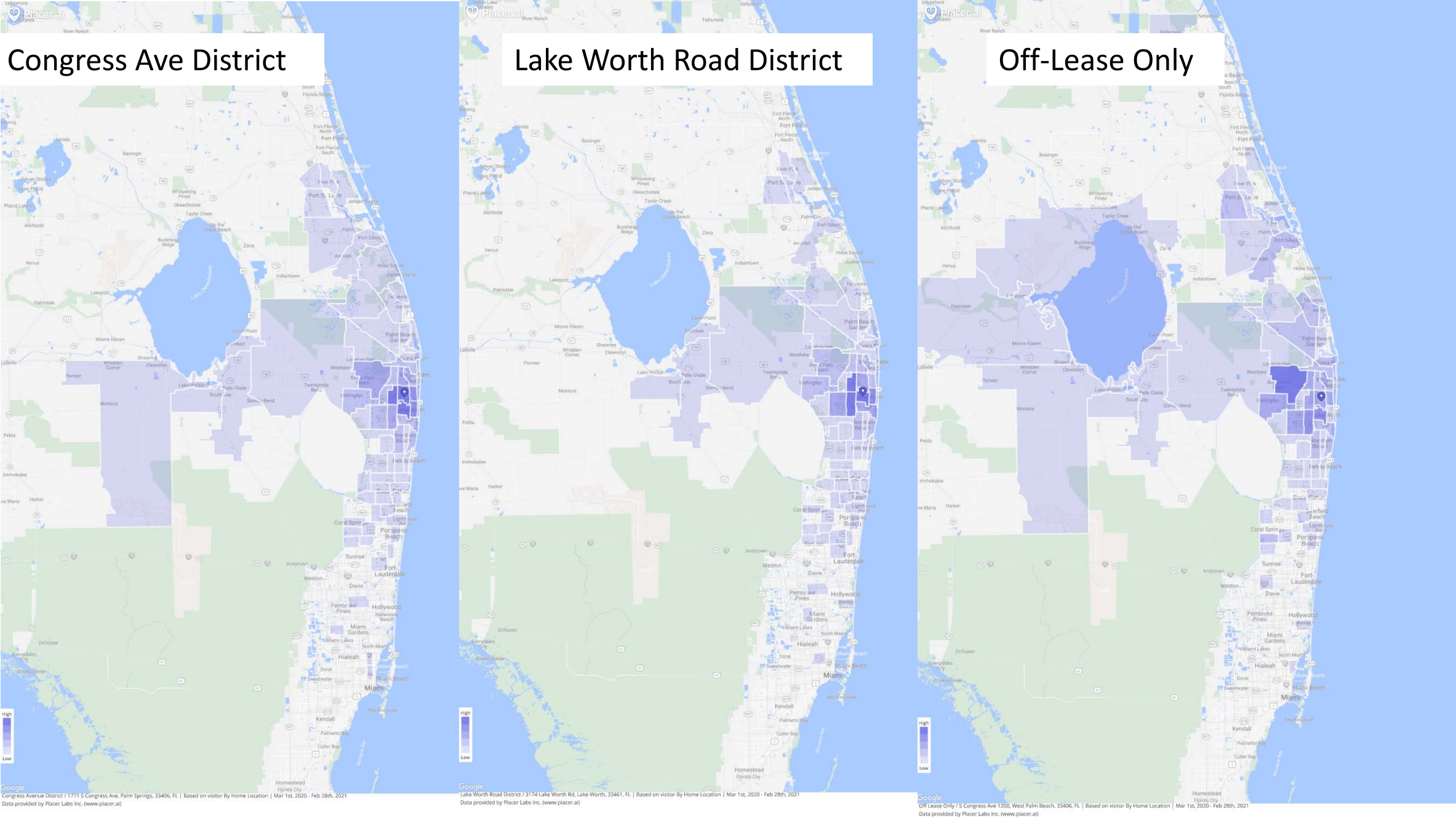
Lake Worth Road District



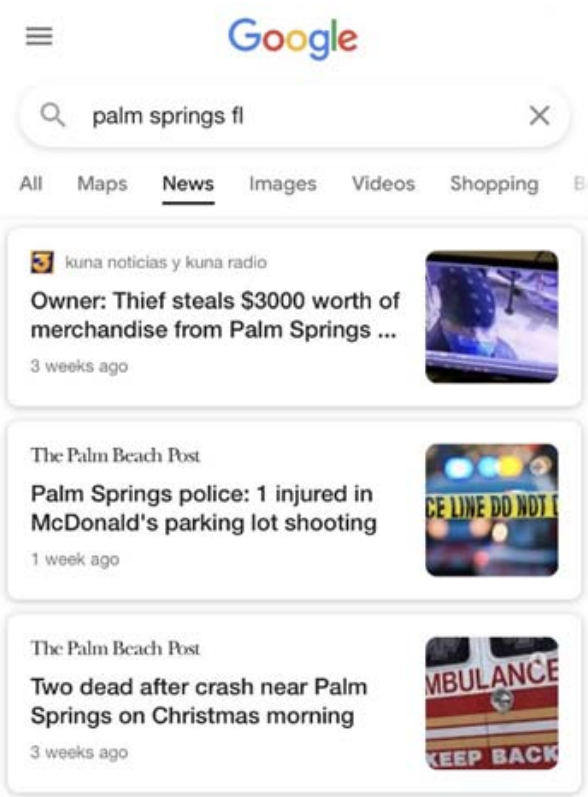
Off-Lease Only



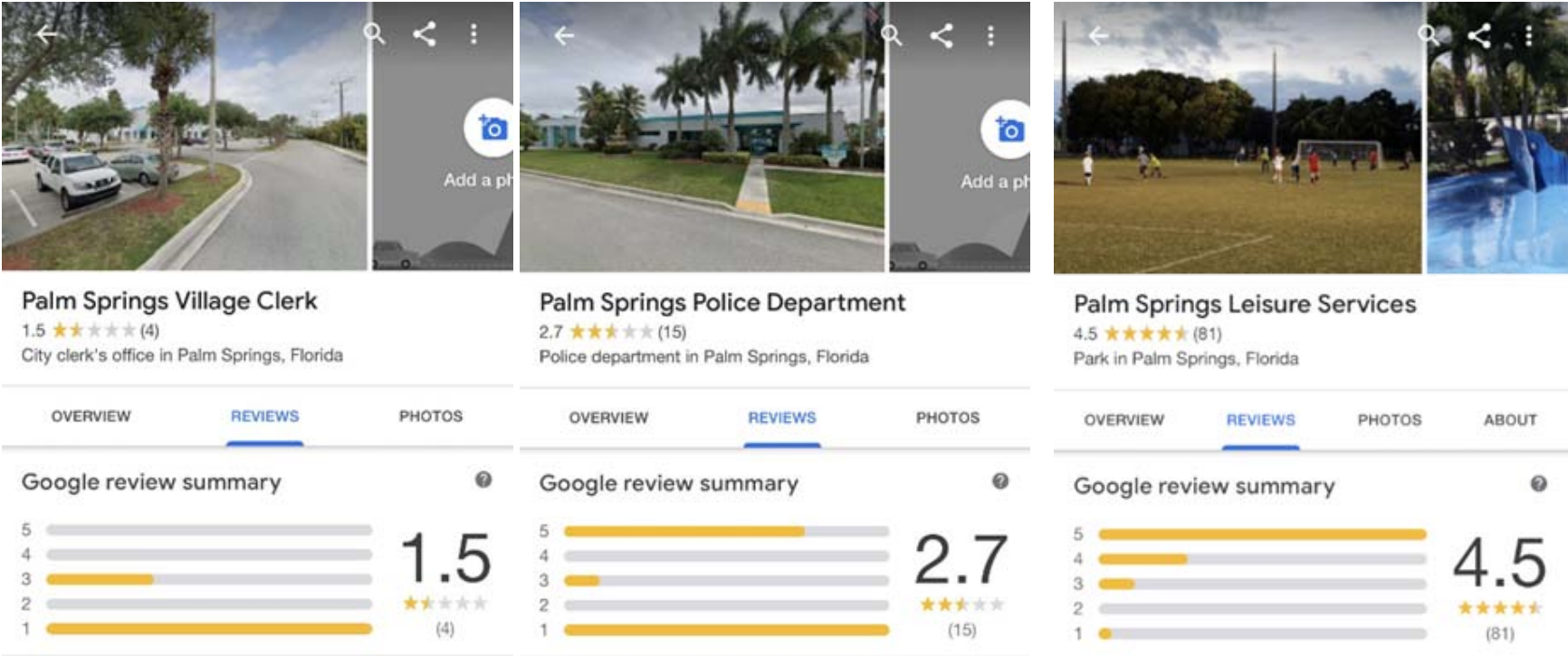
Trade Area- Top Customer Zip Codes



Digital Analysis- Google



Source: Google



Cities are increasingly turning to digital media as a means for increasing communications and messaging to its residents and business community. Likewise, residents and businesses are more and more using social media to communicate, receive news, promote business, etc.

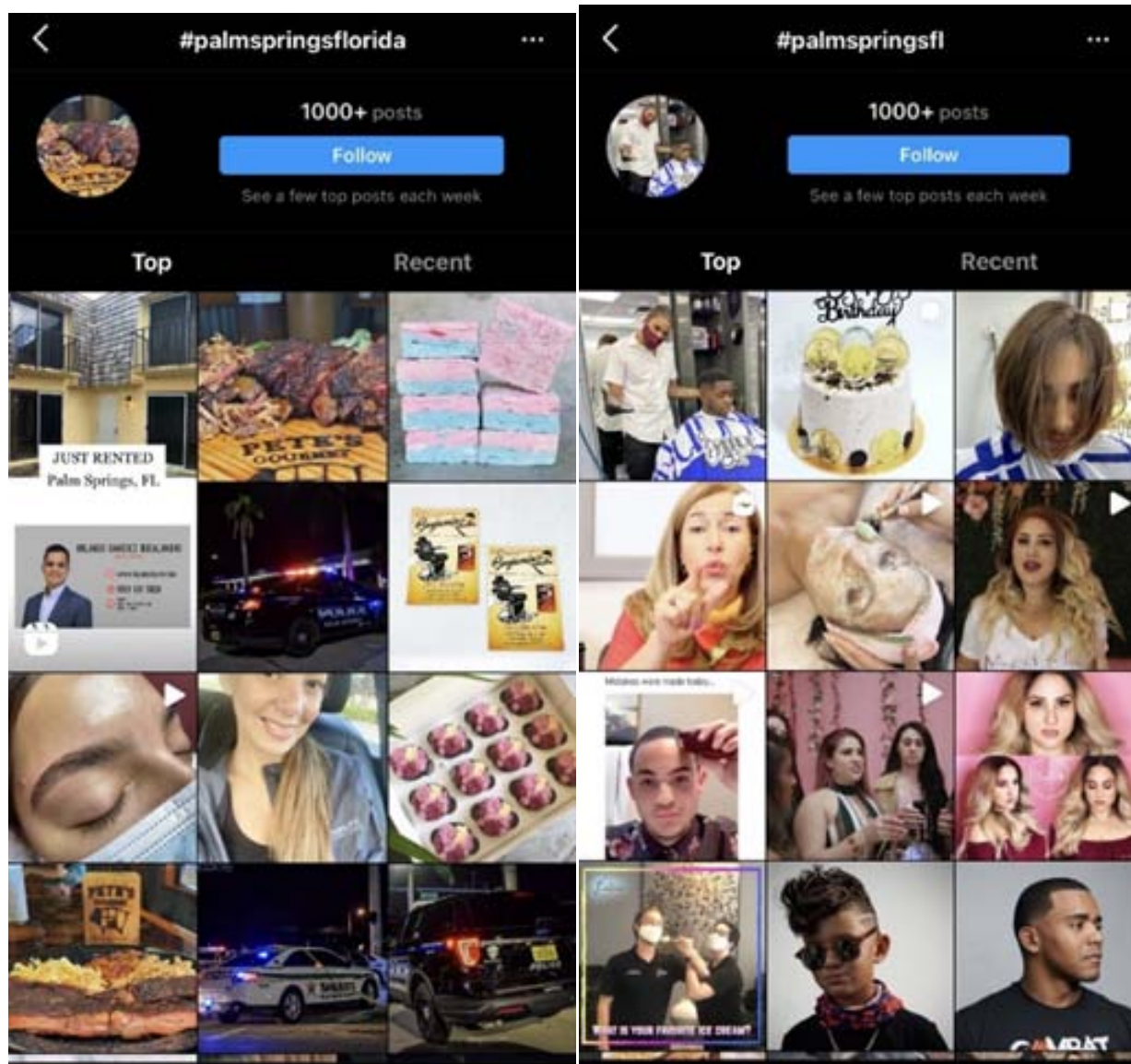
Google Search:

A google new search of “palm springs fl” performed on January 11, 2021 uncovered mostly negative and very little positive press.

Google Reviews:

People are using internet searches more and more to gather information. In Palm Springs, the Village Clerks office received unfavorable reviews, while the Police Department received mixed reviews. Palm Springs Leisure Services and parks received very positive reviews.

Digital Analysis- Social Media



Source: Google, Instagram,

Another great way to get in tune with the heartbeat of a community is to browse Social Media to see what people are saying about the area. Social media hashtag searches can also give an accurate reflection of what it's like to live in, do business in, or visit an area. In addition, Many cities and government agencies are utilizing Social Media to interact with residents and businesses as well as share vital information on events and other news. Just as businesses use social media for business development, cities are using social media as a tool for economic development.

BusinessFlare completed a hashtag search for the keywords #PalmSpringsFL and #PalmSpringsFlorida. Majority of the posts were from local businesses (mainly eateries, beauty salons and real estate professionals). Palm Springs maintains an active Facebook page, however, reach and engagement is limited.

Active social media accounts tagging Palm Springs

- Wing Diva, Palm Springs
- Emerald Lake Apartments, Palm Springs
- Maybelle Beauty Bar, Palm Springs
- Pete's BBQ (Greenacres)

Retail Gap Analysis

Palm Springs Retail Gap				
	Spending Demand	Area Sales	Surplus/Gap	Add'l SqFt
Motor Vehicle & Parts Dealers	\$44,524,486	\$49,471,605	\$4,947,119	
Automobile Dealers	\$35,526,381	\$34,810,722	-\$715,659	36
Other Motor Vehicle Dealers	\$5,113,771	\$1,368,156	-\$3,745,615	187
Auto Parts, Accessories & Tire Stores	\$3,884,334	\$13,292,727	\$9,408,393	-
Furniture & Home Furnishings Stores	\$7,469,230	\$2,640,937	-\$4,828,293	
Furniture Stores	\$4,236,023	\$1,809,824	-\$2,426,199	4,852
Home Furnishings Stores	\$3,233,207	\$831,113	-\$2,402,094	4,804
Electronics & Appliance Stores	\$5,986,596	\$4,332,770	-\$1,653,826	3,308
Bldg Materials, Garden Equip. & Supply Stores	\$13,160,136	\$38,473,053	\$25,312,917	
Bldg Material & Supplies Dealers	\$12,231,588	\$37,453,558	\$25,221,970	-
Lawn & Garden Equip & Supply Stores	\$928,548	\$1,019,495	\$90,947	-
Food & Beverage Stores	\$37,564,603	\$58,894,473	\$21,329,870	
Grocery Stores	\$34,208,246	\$55,673,973	\$21,465,727	-
Specialty Food Stores	\$1,586,539	\$1,234,515	-\$352,024	704
Beer, Wine & Liquor Stores	\$1,769,818	\$1,985,985	\$216,167	-
Health & Personal Care Stores	\$13,592,445	\$26,048,285	\$12,455,840	-
Gasoline Stations	\$22,190,654	\$32,779,412	\$10,588,758	-
Clothing & Clothing Accessories Stores	\$10,554,585	\$9,395,418	-\$1,159,167	
Clothing Stores	\$7,147,785	\$4,112,678	-\$3,035,107	10,117
Shoe Stores	\$1,662,549	\$2,473,158	\$810,609	-
Jewelry, Luggage & Leather Goods Stores	\$1,744,251	\$2,809,582	\$1,065,331	-
Sporting Goods, Hobby, Book & Music Stores	\$5,121,393	\$6,544,812	\$1,423,419	
Sporting Goods/Hobby/Musical Instr Stores	\$4,207,281	\$6,544,812	\$2,337,531	-
Book, Periodical & Music Stores	\$914,112	\$0	-\$914,112	1,828
General Merchandise Stores	\$34,680,409	\$42,825,801	\$8,145,392	
Department Stores Excluding Leased Depts.	\$24,254,057	\$37,064,850	\$12,810,793	-
Other General Merchandise Stores	\$10,426,352	\$5,760,951	-\$4,665,401	15,551
Miscellaneous Store Retailers	\$8,331,576	\$9,147,422	\$815,846	
Florists	\$315,817	\$0	-\$315,817	632
Office Supplies, Stationery & Gift Stores	\$1,819,698	\$894,258	-\$925,440	1,851
Used Merchandise Stores	\$1,892,785	\$2,194,612	\$301,827	-
Other Miscellaneous Store Retailers	\$4,303,276	\$6,058,552	\$1,755,276	-
Nonstore Retailers	\$5,238,450	\$51,697	-\$5,186,753	
Electronic Shopping & Mail-Order Houses	\$4,512,912	\$0	-\$4,512,912	
Vending Machine Operators	\$92,731	\$0	-\$92,731	
Direct Selling Establishments	\$632,807	\$51,697	-\$581,110	
Food Services & Drinking Places	\$22,437,312	\$32,411,377	\$9,974,065	
Special Food Services	\$372,554	\$301,433	-\$71,121	142
Drinking Places - Alcoholic Beverages	\$1,699,737	\$1,419,331	-\$280,406	561
Restaurants/Other Eating Places	\$20,365,021	\$30,690,613	\$10,325,592	-

- **Spending Demand** estimates the expected amount spent by Palm Springs consumers at retail establishments.
- **Area Sales** estimates sales to consumers by establishments. Sales to businesses are excluded.
- **Surplus/Gap** is calculated by subtracting sales (supply) from demand. Both values may provide opportunities for additional attraction.
 - A **positive** value represents the importation of spending into the area. This means that the retail activity taking place in Palm Springs is from customers that are drawn in from outside the trade area. In some cases these may represent a cluster that can develop critical mass and attract additional retailers in that category, strengthening the CRA and City's opportunities in that sector. For example, restaurants are attracting spending from outside that demonstrates strength in market which may be used to attract additional restaurants desired by the community. In other cases, such as motor vehicle dealers, the use may not be compatible with corridor redevelopment goals and efforts should focus on increasing local spending at other businesses by those customers.
 - A **negative** value represents leakage of retail opportunity outside of the trade area. These are the categories in which Palm Springs residents shop and dine outside of the CRA. These categories can represent an opportunity to attract businesses to capitalize on an untapped market.
- **Additional Square Feet** represents the additional square footage that could be supported based on the current market surplus.

Retail Gap Analysis

Description: Utilizing Placer Analytics data, we are able to determine Palm Springs residents favorite chains and places . The tables represent the top chains and places that Palm Springs residents visit outside of the Village’s boundary.

Palm Springs Residents- Favorite Chains not Located in Palm Springs (2020)			
Name	Category	% of Palms Springs Residents Who Visited	Estimated Visits from Palm Springs Residents
The Home Depot	Home Improvement	51%	18,711
Target	Superstores	42%	15,390
Costco Wholesale	Superstores	30%	11,010
Wendy's	Dining	26%	9,380
Starbucks	Dining	25%	9,195
Marshalls	Apparel	21%	7,813
US Post Office	Other	20%	7,467
T.J. Maxx	Apparel	20%	7,383
Chick-fil-A	Dining	19%	6,964
Lowe's Home Improvement	Home Improvement	19%	6,913
Pollo Tropical	Dining	19%	6,800
Taco Bell	Dining	18%	6,448
IHOP	Dining	16%	6,062
Burlington	Apparel	16%	6,043
JCPenney	Apparel	15%	5,518
Best Buy	Electronics	14%	5,167
Office Depot	Office Supplies	14%	5,014
Olive Garden	Dining	13%	4,853
Flanigan's Seafood Bar & Grill	Dining	13%	4,681
Big Lots	Superstores	12%	4,555
Petco	Shop & Service	12%	4,451
Chipotle Mexican Grill	Dining	12%	4,350
Sam's Club	Superstores	11%	4,172
Winn-Dixie	Groceries	11%	4,097
Planet Fitness	Fitness	10%	3,767

Palm Springs Residents- Favorite Places not Located in Palm Springs (2020)			
Name	City	% of Palms Springs Residents Who Visited in Last Year	Estimated Visits from Palm Springs Residents
The Home Depot	Lake Worth	43%	15,889
Mall at Wellington Green	Wellington	39%	14,219
Palm Beach Outlets	West Palm Beach	36%	13,352
Strawberry Fields	West Palm Beach	34%	12,679
Target	Greenacres	32%	11,665
West Palm Plaza	West Palm Beach	30%	11,169
River Bridge Center	West Palm Beach	29%	10,837
Shoppes At Cresthaven	West Palm Beach	29%	10,696
Waterside Plaza	Lake Worth	27%	10,049
Walmart Supercenter	Greenacres	25%	9,257
Polo Market Place	West Palm Beach	25%	9,234
Pinewood Square	Lake Worth	24%	9,186
Costco Wholesale	Lantana	24%	8,811
Pine Trail Shopping Center	West Palm Beach	23%	8,358
Walmart Supercenter	West Palm Beach	21%	7,558
Lake Worth Beach Park	Lake Worth	19%	7,043
Cross County Plaza	West Palm Beach	18%	6,790
El Bodegon Grocery 4	Lake Worth	18%	6,786
El Bodegon Grocery	West Palm Beach	18%	6,771
Westward	West Palm Beach	18%	6,637
Lake Worth Plaza West	Lake Worth	18%	6,610
Southern Palm Crossing	West Palm Beach	17%	6,256
Mil Lake Plaza	Greenacres	17%	6,073
The Beach on Palm Beach Island	Palm Beach	16%	6,050
Presidente Supermarkets	West Palm Beach	16%	5,943

Source: Placer.ai



Consumer SWOT

Strengths

- Clusters of medical related businesses
- Clusters of beauty related businesses- cosmetics and spa
- Moderate to high income visitor traffic
- Destinations- Swap Shop, Off Lease Only

Weaknesses

- Lack of brand identity/awareness
- Large percentage of residents are not U.S. citizens

Opportunities

- Celebrate increasing diversity through events
- Capitalize on Car Dealerships ability to draw regional customers to Palm Springs
- Create a brand identity (Citywide as well as for the CRA districts) that capitalizes on existing assets and themes:
 - Cluster of medical and cosmetic businesses
 - TV, Film, & Production- G Star Academy, Drive-in Theater,
 - Education- Quality public schools, proximity to Palm Beach State College, and Palm Springs Public Library
- Connect with residents and businesses and promote Palm Springs Village via social media.
- Hotel development- proximity to airport

Threats

- Google news search “Palm Springs, FL” shows mostly crime and negative press
- Little to no night-time economy

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Regulatory Review

CONTENTS

Review of future land use and zoning designations within context of the market and financial feasibility.

Development capacity estimates for targeted redevelopment sites.

Regulatory SWOT



Future Land Use and Zoning Designations

The major land use designation in Lake Worth and Congress Avenue District is CG-Commercial General which for the most part is intended for retail sales and services. Any type of residential dwelling unit or accessory use is a prohibit use.

Congress Avenue District has a MU-Mixed-Use zoning designation which allows for a height up to 70 ft and a mix of uses complimentary to surroundings.

Lake Worth Rd District Land Use District Regulations

Id	Name	Max. Height	Main Uses Permitted
CG	Commercial General	45 ft/ 4 sty	Retail Sales and Services (Consumer Market on Major Roads)
RM	Residential Multiple-Family Urban Infill	35 ft/ 3 sty	Multiple Family Dwellings (Residential Planned Developments)

Congress Ave District Land Use District Regulations

Id	Name	Max. Height	Main Uses Permitted
CG	Commercial General	45 ft/ 4 sty	Retail Sales and Services (Consumer Market on Major Roads)
RM	Residential Multiple-Family	35 ft/ 3 sty	Multiple Family Dwellings (Residential Planned Developments)
LI	Light Industrial	50 ft	Light Industrial Uses/ Showroom/ Warehouse
MU	Mixed Use	75 ft	Mix of Uses Complimentary to Surroundings

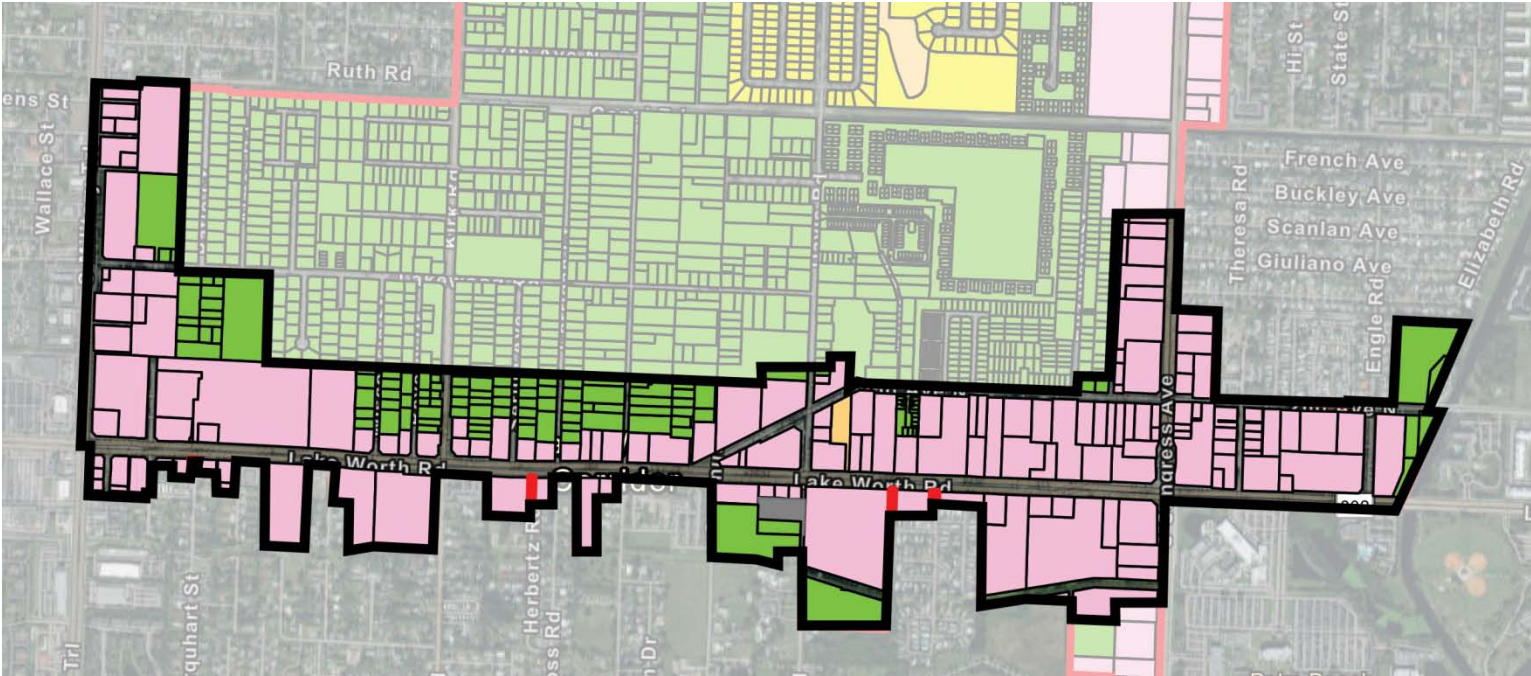
Future Land Use and Zoning Designations (2)

The major land use designation in Lake Worth District is CG-Commercal General, which for the most part is intended for retail sales and services. Any type of residential dwelling unit or accessory use is a prohibit use.

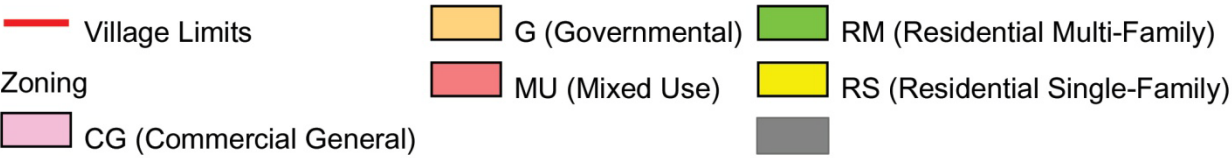
Lake Worth Rd District Land Use District Regulations include:

CG Commercial General
Max. Height: 45 ft/ 4-story
Permitted Uses: Retail Sales and Services (Consumer Market on Major Roads)

RM Residential Multiple-Family
Max. Height: 35 ft/ 3-story
Density: 19 du/ace
Permitted Uses: Multiple Family Dwellings (Residential Planned Developments)



August 10, 2021



Future Land Use and Zoning Designations (3)

The major land use designation in Congress Avenue District is CG-Commercial General, which for the most part is intended for retail sales and services.

Congress Avenue District has a MU-Mixed-Use zoning designation with allows for a height up to 70 ft and a mix of uses complimentary to surroundings. Currently the only land designated for MU is vacant.

Congress Ave District Land Use District Regulations include:

CG Commercial General

Max. Height: 45 ft/ 4-story

Permitted Uses: Retail Sales and Services (Consumer Market on Major Roads)

Maximum gross floor area: 50 percent of total lot area.

RM Residential Multiple-Family

Max. Height: 35 ft/ 3-story | **Density:** 19 du/ac

Permitted Uses: Multiple Family Dwellings (Residential Planned Developments)

LI Light Industrial

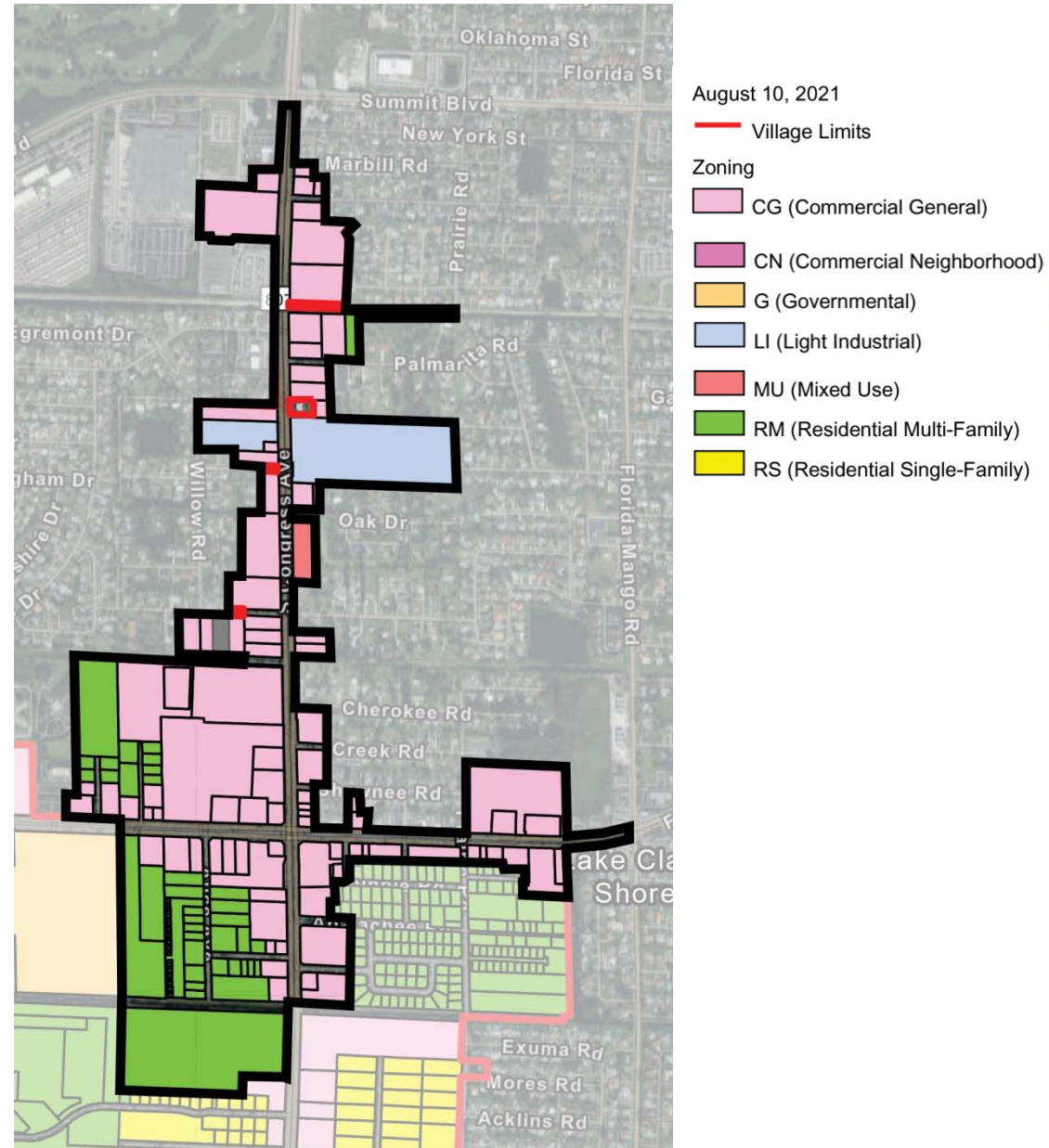
Max. Height: 50 ft

Permitted Uses: Light Industrial Uses/ Showroom/ Warehouse

MU Mixed-Use

Max. Height: 75 ft

Permitted Uses: Mix of Uses Complimentary to Surroundings



Future Land Use and Zoning Designations (4)



CG- Commercial General – Development Along Lake Worth Rd

General Description of Zoning Districts

It is the purpose of the CG commercial general land development district to provide lands within the village for a wide range of goods and commercial services that serve a consumer market that may extend beyond municipal limits. Such areas shall be located convenient to major roads and automotive traffic. However, it is not the intent of this land development district to necessarily create or promote an extension of strip commercial areas.

Permitted Uses:

All permitted uses in the CN commercial neighborhood land development district, Financial institutions, Retail sales and services, Personal services, Commercial Planned Developments.

Prohibited Uses:

Any use not specifically, provisionally or by reasonable implication permitted, or permitted by special exception, **Any type of residential dwelling unit or accessory use**, Motels and hotels, Time share uses, Theaters, outdoor, Flea markets and swap shops, Bottle clubs, Medical marijuana dispensary.



RM – Residential Multiple-Family – Development at Military Trl and Lakewood Rd

General Description of Zoning Districts

It is the purpose of the RM residential multiple-family land development district to provide an emphasis on multiple-family residences, while preserving and protecting the residential character of the village. A clustering of units and a variety of housing design and styles is encouraged in the RM district, while maintaining an appropriate density that will complement the surrounding development in the village. The gross density shall not exceed 5.8 dwelling units per acre for single-family detached dwelling developments. Gross density shall not exceed 19.0 dwelling units per acre for attached multiple-family developments, such as apartments and condominiums, and planned developments.

Permitted Uses:

Single-family detached dwellings, Duplex dwellings, Multiple family dwellings, Residential Planned Developments, Minor community residential homes, subject to the provisions of subdivision XI of this division, Home occupations.

Prohibited Uses:

Any use not specifically, provisionally or by reasonable implication permitted, or permitted by special exception, Time share uses.



LI – Light Industrial – Development along Congress Ave – Off Lease Only – Car Dealer

General Description of Zoning Districts

It is the purpose of the LI light industrial land development district to provide lands within the village for the retention and expansion of economic activities associated with manufacturing, processing, fabricating, compounding, treatment, packaging and/or assembly of materials or goods, warehousing or bulk storage of goods, and their related accessory uses. Such areas shall be located convenient to major roads and vehicular traffic while providing safeguards for adjoining and/or nearby nonindustrial properties and the surrounding community. Other uses shall be permitted which are more appropriate to the LI land development district due to environmental impacts related to noise, vibration, light, traffic, and general aesthetics.

Permitted Uses:

Light industrial uses which do not process/store flammable materials, Professional offices, Business offices, Public uses and facilities, Public utilities, Self-storage units, Warehouse, Showroom/warehouse, Industrial planned developments.

Prohibited Uses:

Any use not specifically, provisionally or by reasonable implication permitted, or permitted by special exception, Any type of residential dwelling unit, Heavy industrial uses, Dumps/recycling centers, Junk/salvage yards, Flea markets/swap shops, Medical marijuana dispensary.

Future Land Use and Zoning Designations (5)

Existing Conditions

This entire length of the study area may be characterized simply as typical suburban commercial development, which includes strip shopping centers as well as stand alone, single use retail structures. Many structures are older and parcels are underutilized and lack adequate landscaping. A lack of cross-access easements between commercial properties forces an unnecessary amount of local traffic onto Lake Worth Rd and Congress Ave.



Intersection at Lake Worth Rd and Congress Ave



Abandoned Building at Davis Rd and 2nd Ave



Off Lease Only – Car Dealer – Congress Ave



Vacant Lot for Sale at Davis Rd and 2nd Ave



Vacant Lot for Sale at 2nd Ave and E-4 Canal



Swap Shop – Lake Worth Rd



Oxygen Development – Congress Ave

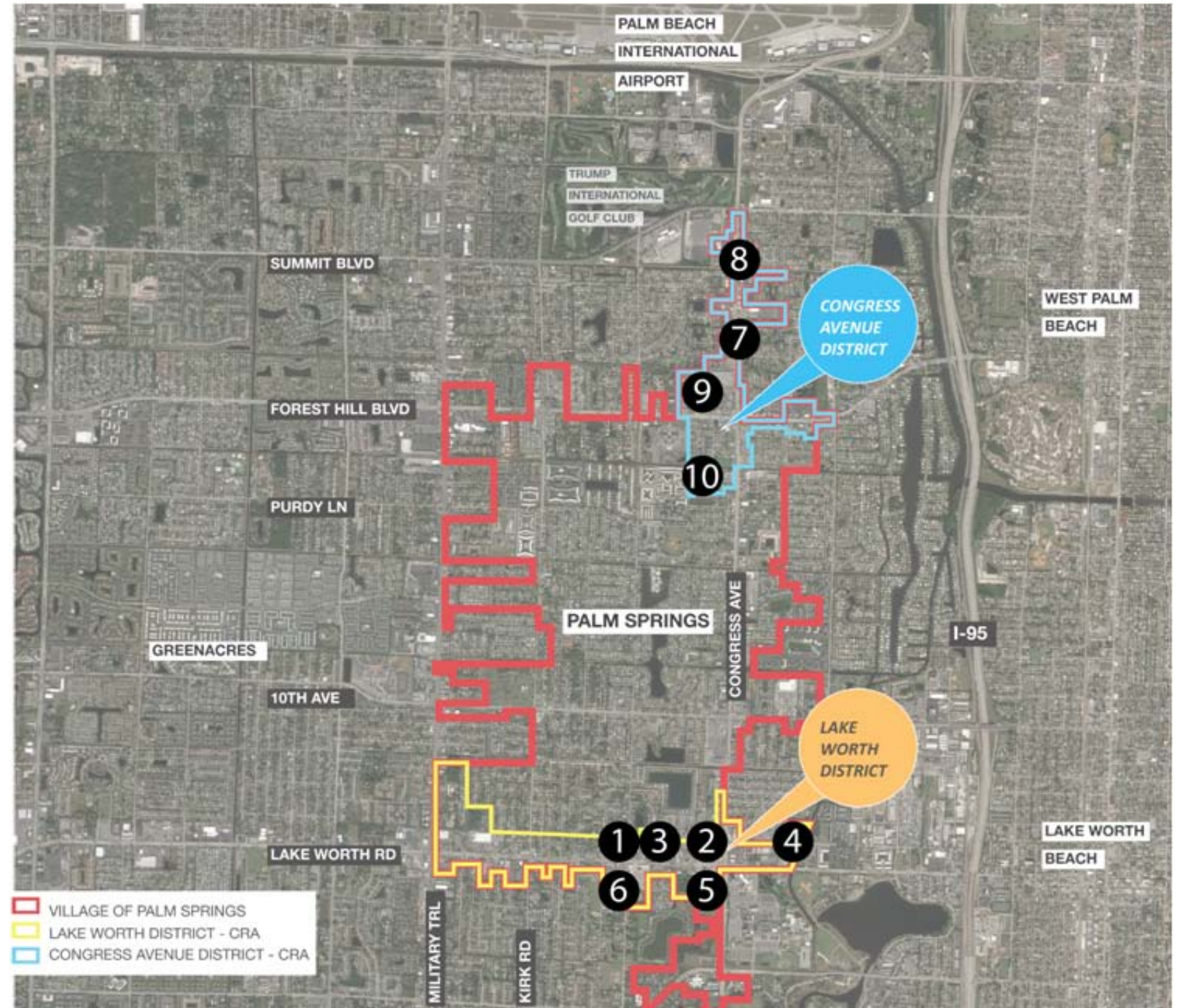


Palm Beach State College – Lake Worth Rd and Congress Ave

Redevelopment Opportunity Sites

Potential economic development and redevelopment projects in Palm Springs include:

1. **Triangle Area** – Mixed use main street redevelopment – Destination
2. **2nd Avenue and Congress Avenue** – Infill development – Live/work or Office
3. **2nd Avenue and Davis Road** – Infill development
4. **2nd Avenue and Canal** – Multifamily development – housing diversity
5. **Lake Worth Road near Congress Avenue** – SW corner – Institutional development – Office/ commercial
6. **Flea Market** property and adjacent overflow parking
7. **Congress Avenue** – Mixed Use vacant land – Live/work - Commercial corridor
8. **Congress Avenue and Holly Road** – Commercial development
9. **Congress Avenue and Forest Hill Boulevard (Oxygen Site)** - Master Planned District Development – Destination
10. **YMCA Site** – High Density Residential – Destination – This site is currently in Planning.



Source: BusinessFlare

Redevelopment Opportunity Sites

LAKE WORTH DISTRICT

Triangle Area – 2nd Ave and Lake Worth Rd

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Ownership: Private (multiple owner) Ford Off Lease Only (Vacant)

B&R Enterprises Inc (All American Trailer Connection)

Size: 5-7 acres (gross)

Zoning/ Land Use: CG- Commercial General

Potential: 100k sf + commercial space

2nd Ave and Davis Rd

--
Ownership: Private (single owner)ADVANCED GLOBAL CONSULTING FIRM LLC

Size: 1.1 acres

Zoning/ Land Use: CG – Commercial General

Potential: 20k sf + commercial space

2nd Ave and E-4 Canal

--
Ownership: Private (single owner) EIRE LW ROAD LLC

Size: 2.19 acres +/-

Zoning/ Land Use: RM – High Density

Potential: 41 residential units (attached multifamily development) @ 19 du/ac

Flea Market property and adjacent overflow parking

--
Ownership: Private (single owner) 650 GULFSTREAM CHARTER LLC

Size: 4.3 acres +/-

Zoning/ Land Use: RM – Medium Density

Potential: 81 residential units (attached multifamily development) @ 19 du/ac

2nd Ave and Congress Ave

--
Ownership: Private (single owner) Prolacto Mich Inc.

Size: 3.7 acres

Zoning/ Land Use: CG – Commercial General

Potential: 75k sf + commercial space

Lake Worth Rd Near Congress Ave

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Ownership: Private (multiple owner) SEAGLADES INVESTMENT CO
3200 LAKE WORTH ROAD LLC

Size: 12.7 acres +/-

Zoning/ Land Use: CG – Commercial General

Potential: 275k sf + commercial space

CONGRESS AVENUE DISTRICT

Congress Ave (Mixed-Use Vacant Land)

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Ownership: Private (multiple owner) CONGRESS REATLY DEVELOPMENTS LLC
ACA PALM BEACH INVESTMENTS LLC

Size: 3.0 acres +/-

Zoning/ Land Use: MU – Mixed-Use

Potential: 57 residential units (attached multifamily development) @ 19 du/ac

Congress Ave and Holly Rd

--
Ownership: Private (single owner) CT BTS LLC

Size: 3.6 acres +/-

Zoning/ Land Use: CG – Commercial General

Potential: 75k sf + commercial space

Congress Ave (Oxygen Site)

--
Ownership: Private (single owner) OXYGEN HOLDINGS LLC

Size: 21.2 acres +/-

Zoning/ Land Use: CG – Commercial General

Potential: 460k sf + commercial space

Total Land
58.7
Acres

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BusinessFlare

Thank You

