



AGENDA
PLANNING AND ZONING BOARD
VILLAGE HALL COUNCIL CHAMBERS
226 CYPRESS LANE ■ PALM SPRINGS, FL 33461
FEBRUARY 10, 2026
6:30 PM

Ralph Lashells, Chairman
Richard Hughes, Vice-Chairman
Ralph Wiles, Board Member
Brian Ruscher, Jr. Alternate

Peter Braun, Board Member
Kim Gehrman, Board Member
Brenda Browning, Sr. Alternate

ADMINISTRATION

PZB Director Iramis Cabrera
PZB Planner Christian Melendez

Deputy Village Clerk Jane R. Worth
Village Attorney Christy Goddeau

If a person decides to appeal any decision made by this Board with respect to any matter considered at this meeting, they will need a record of the proceeding, and for such purpose they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

CALL TO ORDER

ROLL CALL

Chairman Ralph Lashells
Vice Chairman Richard Hughes
Ralph Wiles
Peter Braun
Kim Gehrman
Brenda Browning, Sr. Alternate
Brian Ruscher, Jr. Alternate

PZ&B Director, Iramis Cabrera
PZ&B Planner, Christian Melendez
Village Attorney Christy Goddeau
Deputy Village Clerk Jane R. Worth

NOTE: CLERK TO ASCERTAIN IF THERE ARE ANY *EX PARTE* COMMUNICATIONS TO BE DISCLOSED DURING QUASI JUDICIAL DISCUSSIONS. CLERK TO SWEAR IN WITNESSES FOR TESTIMONY.

ADDITIONS, DELETIONS OR MODIFICATIONS TO THE AGENDA

APPROVAL OF MINUTES

2. **Approval of November 12, 2025, Planning and Zoning Advisory Board Meeting Minutes:** Motion to approve the November 12, 2025, minutes from the Planning and Zoning Advisory Board meeting.
Staff: Andrea Medero, Records Clerk

3. **Approval of January 13, 2026, Planning and Zoning Advisory Board Meeting Minutes:** Motion to approve the January 13, 2026, minutes from the Planning and Zoning Advisory Board meeting.
Staff: Jane Worth, Deputy Village Clerk

ORDER OF BUSINESS

REGULAR AGENDA

PUBLIC HEARINGS

4. **Planning & Zoning Board Order No. 2026-01 - Minor Site Plan amendment (SPR26-02) — Salvation Army - 4051 Kirk Road:** Motion to recommend approval of a Minor Site Amendment (SPR26-02), submitted by Mr. Jack Goodman, agent for the owner, Salvation Army. The Applicant proposes to construct a new supplemental storage building for the existing thrift store. The applicant is also proposing landscape enhancements. The property is located at 4501 Kirk Road.
Staff: Christian Melendez Berrios, PZ&B Technician

OTHER BUSINESS

ADJOURNMENT

NEXT MEETING

TUESDAY, MARCH 10, 2026 @ 6:30 PM IN THE VILLAGE COUNCIL CHAMBERS

Village of Palm Springs

Title VI/Nondiscrimination Policy

I. Policy Statement:

The Village of Palm Springs values diversity and welcomes input from all interested parties, regardless of cultural identity, background, or income level. Moreover, the Village believes the best programs and services result from careful consideration of the needs of all its communities and when those communities are involved in the decision-making process. The Village does not tolerate discrimination in any of its programs, services, or activities. Pursuant to Title VI of the Civil Rights Act of 1964 and other federal and state authorities, the Village will not exclude from participation in, deny the benefits of, or subject to discrimination anyone on the grounds of race, color, national origin, sex, age, disability, religion, or family status.

II. Persons with Disabilities:

Section 504 of the Rehabilitation Act of 1973, the Americans with Disabilities Act of 1990 (ADA) and related federal and state laws and regulations forbid discrimination against those who have disabilities. These laws require federal-aid recipients and other government entities to take affirmative steps to reasonably accommodate those with disabilities and ensure that their needs are equitably represented.

The Village will make every effort to ensure that its facilities, programs, services, and activities are accessible to those with disabilities. The Village will also make every effort to ensure that its advisory committees, public involvement activities and all other programs, services and activities include representation by communities with disabilities and disability service groups.

The Village encourages the public to report any facility, program, service, or activity that appears inaccessible to those who are disabled. Also, the Village will provide reasonable accommodation to individuals with disabilities who wish to participate in public involvement events or who require special assistance to access facilities, programs, services, or activities. Because providing reasonable accommodation may require outside assistance, the Village asks that requests be made at least three (3) business days prior to the need for accommodation. Questions, concerns, comments, or requests for accommodation should be made to the Village ADA Officer:

Name: Ashley Saingilus
Address: 226 Cypress Lane, Palm Springs, FL 33461
Email: asaingilus@vpsfl.org
Phone: (561)584-8200 Ext. 8421

III. Complaint Procedures:

The Village has established a discrimination complaint procedure and will take prompt and reasonable action to investigate and eliminate discrimination when found. Any person who believes that he or she has been subjected to discrimination based upon race, color, national origin, sex, religion, age, disability or family status in any Village program, service or activity may file a complaint with the Village Title VI/Nondiscrimination Coordinator:

Name: Janette Piedra, Human Resources Manager
Address: 226 Cypress Lane, Palm Springs, FL 33461
Email: jpiedra@vpsfl.org
Phone: (561)584-8200 Ext. 8422



Village of Palm Springs

Staff Report

AGENDA DATE: February 10, 2026

DEPARTMENT: Village Clerk

ITEM #2: Approval of November 12, 2025, Planning and Zoning Advisory Board Meeting Minutes

FISCAL IMPACT:

ATTACHMENTS:

1. November 12, 2025 - Planning and Zoning Agenda Minutes



**MINUTES
PLANNING AND ZONING BOARD
VILLAGE HALL COUNCIL CHAMBERS
226 CYPRESS LANE ■ PALM SPRINGS, FL 33461
NOVEMBER 12, 2025
6:30 PM**

Ralph Lashells, Chairman
Richard Hughes, Vice-Chairman
Ralph Wiles, Board Member
Brian Ruscher, Jr. Alternate

Peter Braun, Board Member
Kim Gehrman, Board Member
Brenda Browning, Sr. Alternate

ADMINISTRATION

PZ&B Director Iramis Cabrera
PZ&B Planner Christian Melendez

Records Clerk, Andrea Medero
Village Attorney Christy Goddeau

Persons who need accommodation to attend or participate in this meeting should contact the office of the Village Clerk at (561) 584-8200 at least three (3) business days before the event to request such assistance.

CALL TO ORDER

The meeting was called to order at 6:30 PM by Chairman Ralph Lashells.

ROLL CALL

Present: Chairman Ralph Lashells, Vice-Chairman Richard Hughes, Board Member Ralph Wiles, Board Member Peter Braun, Senior Alternate Board Member Brenda Browning, Junior Alternate Board Member Brian Ruscher

Absent: Board Member Kim Gehrman, PZB Director Iramis Cabrera

Also Present: PZB Planner Christian Melendez, Records Clerk Andrea Medero, Village Attorney Christy Goddeau

1. **NOTE: CLERK TO ASCERTAIN IF THERE ARE ANY *EX PARTE* COMMUNICATIONS TO BE DISCLOSED DURING QUASI JUDICIAL DISCUSSIONS. CLERK TO SWEAR IN WITNESSES FOR TESTIMONY.**

Ex parte communication disclosure was inadvertently omitted; no disclosures were reported by Boards Members.

ADDITIONS, DELETIONS, OR MODIFICATIONS TO THE AGENDA

Staff announced that Item #5 (PZ&B Order 2025-05 – Parking Variance Request for Walmart Neighborhood Market) was postponed at the request of the applicant and will be rescheduled for a future meeting.

APPROVAL OF MINUTES

2. **Approval of October 14, 2025, Planning and Zoning Advisory Board Meeting Minutes: Motion to approve October 14, 2025, minutes from the Planning and Zoning Advisory Board Meeting.**

Staff: Jane Worth, Deputy Village Clerk

Chairman Lashells asked for a motion to approve the minutes of October 14, 2025. A motion to approve was made by Mr. Hughes and seconded by Mr. Braun. The motion carried, 5-0.

FISCAL IMPACT:

No impact

ORDER OF BUSINESS

REGULAR AGENDA

3. **Ordinance No. 2025-11 - Comprehensive Plan Amendment — Urban Village Overlay: Motion for the approval of Ordinance No. 2025-11 to amend the Comprehensive Plan of the Village of Palm Springs in accordance with the Community Planning Act, Sections 163.3161, et. seq., Florida Statutes, by amending the text of the future land use element to create the Urban Village Overlay.**

Staff: Kimberly Glas-Castro, Assistant Village Manager

SUMMARY: Village staff is proposing text amendments to the Future Land-Use Element to establish an Urban Village Overlay that would offer optional performance-based incentives to promote pedestrian-oriented design in vertically mixed-use (re)development projects.

The original focus of the proposed overlay was to establish form-based code provisions

to create a main street development pattern along 2nd Avenue North to implement the South Village vision. The Overlay provides 1) development standards to create a setting of buildings oriented towards 2nd Avenue North with pedestrian amenities, including outdoor seating and pocket parks, and 2) use requirements to activate the ground-floor with restaurants, shops, and personal services.

In recognition of other opportunity sites within the Village, the draft provisions were expanded with two other sub-districts: one oriented to larger properties or assemblages of 15 acres or more (the Urban Renewal sub-district), and one oriented to smaller infill parcels of 5 acres (the Urban Mixed Use Commercial sub-district). The Urban Renewal subdistrict targets development of sufficient size to create a stand-alone project that is designed to create open spaces, pedestrian areas, and connectivity between buildings. Local examples of a redevelopment project developed pursuant to the Urban Renewal Code allowance are Renaissance Commons in Boynton Beach or Downtown at the Gardens in Palm Beach Gardens. The Urban Mixed Use Commercial District targets infill parcels that are developed with a single mixed-use building with activated ground-floor uses.

The Urban Village Overlay applies to properties within the Commercial Renewal land use category, and select parcels are being designated with the Overlay at this time (see Map FLU 2.4.9). Within the proposed land development regulations (which are the subject of another agenda item), subdistricts are assigned to the Overlay parcels. The property owners/developers of parcels designated with the Overlay may voluntarily "opt in" to the form-based code provisions outlined to encourage vertically-integrated mixed-use projects, or they may continue to follow the provisions of the Commercial Renewal district.

If a property owner/developer chooses to utilize the Overlay, the development standards of the Overlay prevail over the standards of the underlying Commercial Renewal zoning district, and in exchange for building vertically-integrated mixed-use projects, bonus density/intensity may be granted without the need for a comprehensive plan amendment.

The additional densities and intensities allowed by the provisions of the proposed Urban Village Overlay are supported by an Economic and Feasibility Analysis prepared by BusinessFlare, July 2025, which includes development yield estimates. This report was presented to the Palm Springs Community Redevelopment Agency at its September 25, 2025, special meeting.

Note: Notifications were mailed to all property owners within the proposed subdistricts on October 29, 2025.

The proposed ordinance will be considered for 1st reading by the Village Council during their November 13, 2025, meeting.

Assistant Village Manager and Assistant CRA Director, Kim Glas-Castro, introduced Items #3 and #4 and provided an overview of the Urban Village Overlay initiative. She explained that the vision for this project originated in 2022 through a series of visioning workshops, during which the primary consensus was the

importance of protecting the Village’s historic residential area. Assistant CRA Director, Mrs. Glas-Castro, outlined the phases of the project, identifying the streets and areas included within each phase. She then introduced CRA Consultant Allison Justice, who continued the presentation with additional technical detail related to Ordinance 2025-12 and further explained the components and intent of the Urban Village Overlay.

Chairman Lashells stated that this was a public hearing and invited public comments. Ms. Jordana Jarjura, representing her client at 839 South Congress Avenue, spoke in support of the project. She commended the Village’s planning efforts and noted several factors that distinguish this proposal from similar initiatives attempted in other municipalities where such projects did not succeed.

Chairman Lashells requested a motion to recommend approval to the Village Council for Ordinance No. 2025-11 – Comprehensive Plan Amendment. A motion to approve was made by Mr. Braun and seconded by Mr. Wiles. The motion carried, 5–0.

Fiscal Impact: Amending the Comprehensive Plan to create a new overlay does not have a fiscal impact; however, redevelopment utilizing allowances under this new overlay district is expected to increase the Village's property tax revenue.

4. Ordinance No. 2025-12 - Code Amendment — Chapter 34, Land Use — Urban Village Overlay: Motion for the approval of Ordinance No. 2025-12 to amend the Village Code of Ordinances to provide additional incentives for redevelopment by amending Chapter 34 “Land Development”, Article IV “Land Use”, Division 7, “Supplemental Regulations”, to add a new Subdivision XXVIII “Urban Village Overlay”.

Staff: Kimberly Glas-Castro, Assistant Village Manager

SUMMARY: The Village adopted revisions to the Land Development Regulations in June 2025 as a result of the Evaluation and Appraisal Report (EAR)-based comprehensive plan amendments and the "visioning" effort. At the public hearing for these code changes, the Village Council heard from a land use attorney who stated that the code provisions did not go far enough to allow the development depicted in the visioning isometric renderings to be realized.

The proposed code amendments, the Urban Village Overlay, provide form-based development regulations that a developer may opt to follow in exchange for additional (bonus) density and intensity if they build vertically mixed-use projects that conform to the vision. The staff is proposing that the Urban Village Overlay be assigned to key opportunity sites as a pilot project, but it may be expanded to other properties designated with the Commercial Renewal land use category as development interest grows.

The Urban Village Overlay provides for:

- The designation of three sub-districts with varying code requirements for each: 1) South Village District, 2) Urban Renewal District, and 3) Urban Mixed-Use Commercial District
- Building placement within 15' - 20' of the principal street within the South Village and Urban Renewal districts
- Ground floor nonresidential uses with outdoor activity areas (outdoor seating, restaurant table service, etc.)
- No less than 5% of the site area is provided as publicly accessible civic space integrated into the project (plazas, civic greens, pocket parks, etc.)
- Structured parking is expected for ground-floor nonresidential uses or with habitable space lining the garage
- Height allowance of 8 stories or 110'
- A list of permitted (and prohibited) uses that differ from the Commercial Renewal zoning district
- Reduced parking requirements in consideration of the vertically-integrated mix of uses

The staff have provided these draft provisions to the development community for review and comment, and the provisions have been revised to address their input. The proposed ordinance will be considered by the Village Council on its first reading during the meeting of November 13, 2025.

Assistant Village Manager and Assistant CRA Director Kim Glas-Castro continued the presentation by introducing Ordinance No. 2025-12, explaining that this item represented the corresponding code amendment necessary to implement the Urban Village Overlay within Chapter 34 of the Village's Land Development regulations. She outlined how the proposed code provisions would support the goals presented in the previous item, including redevelopment incentives, design standards, and land-use flexibility intended to encourage reinvestment within the designated area. Mrs. Glas-Castro then introduced CRA Consultant Allison Justice, who provided additional technical details regarding the proposed code amendment. Ms. Justice explained the regulatory structure of the Urban Village Overlay, described the intended development standards, and answered questions regarding how the overlay would function within the existing land-use framework.

Chairman Lashells stated that this was a public hearing and invited public comments. Jordana Jarjura, representing her client at 839 South Congress Avenue, spoke in support of the project. She commended the Village's planning efforts and noted several factors that distinguish this proposal from similar initiatives attempted in other municipalities where such projects did not succeed.

Chairman Lashells requested a motion to recommend approval to the Village Council for Ordinance No. 2025-12 – Code Amendment. A motion to approve was made by Mr. Hughes and seconded by Mr. Braun. The motion carried, 5–0.

Fiscal Impact: Adoption of revised land development regulations will provide additional incentives to facilitate the redevelopment of underutilized and antiquated properties, increasing the property valuation.

5. (POSTPONED PER THE REQUEST OF THE APPLICANT) - PZ&B Order 2025-05 - Parking Variance Request (PSV2025-11) — Walmart Neighborhood Market — 4316 Forest Hill Boulevard, Unit 4400: Motion to recommend approval of an application submitted by Jacquie Pedevillano, agent for the applicant, Walmart Stores East, is requesting a variance relief from Section 34-1329 (5)(c) to provide a total of 15 parking spaces dedicated to online pickup only, leaving the shopping center with a deficit of 9 regular parking spaces.

Staff: Christian Melendez Berrios, PZ&B Technician

SUMMARY: Jacquie Pedevillano, agent for the applicant, Walmart Stores East, is requesting a variance relief from Section 34-1329 (5)(c) to provide a total of fifteen 15 parking spaces dedicated to online pickup only, leaving the shopping center with a deficit of nine (9) regular parking spaces. The variance consists of converting 9 regular parking spaces into online pickup-only parking spaces for a total of fifteenth (15) online pickup-only parking spaces.

Note: The subject property is located within the Commercial Renewal (CR) zoning district. Village code Section 34-1329 (5)(c) requires one parking space for every 200 square feet of gross floor of the shopping center.

The Planning and Zoning Staff reviewed the application and determined that the proposed variance could create conflicts with surrounding businesses. On September 22, the Planning, Zoning, and Building Director approved an Administrative Site Plan Amendment (AP25-00023), which modified the parking layout by converting six (6) standard parking spaces into OPD (Online Pickup Delivery) spaces. Adding nine (9) additional OPD spaces would further reduce the number of parking spaces available for regular customers, particularly since the parking area in front of Walmart is often fully occupied.

Staff does not support the applicant’s request, finding that it is self-created and does not meet the criteria of Section 34-603(b)(1)(b), which specifically states “the special conditions and circumstances do not result from the actions of the applicant.”

As part of the review process, staff conducted a site visit to evaluate the current operations of the online pickup parking queue. The primary goals were to observe the average number of cars in the online pickup queue and the waiting time for customers to be served. The observations were documented at various times throughout the day and on different days. Below is a summary of the data collected:

Time period (am & pm)	Average Cars in Queue during the period	Average Wait Time (Minutes)
8:15 am - 10:00 pm	4	5 average per pick up
11:00 am -12:55 pm	4	5 average per pick up
11:00 am -12:00 pm	1	5 average per pick up
1:00 pm - 2:30 pm	2	5 average per pick up
2:30 pm - 4:30 pm	6	5 average per pick up
4:00 pm - 6:00 pm	10	3–5 average per pick up
6:00 pm - 8:00 pm	8	3–5 average per pick up

****Key Insights: ****

- The average number of cars in the online pickup queue ranges from ****2 to 6 cars**** for between ****1 and 2 hours****, showing that the online pickup delivery parking area was never always utilized.
- Customers generally experience a waiting time of approximately ****4 to 5 minutes**** from the moment they park until they receive their orders.
- The peak observation noted a maximum of ****6 cars**** in the queue over a span of two hours.
- A significant number of online pickup parking spots were occupied by shoppers who opted to enter the store due to the limited availability of regular parking spaces. Additionally, some employees were utilizing these designated online pickup spots.

Based on observations mentioned above, staff believe there is no immediate need to add more online pickup delivery parking spots. Increasing these spaces could potentially restrict regular customers from finding adequate parking, which may impact their ability to shop at Walmart.

Should the Planning & Zoning Board desire to recommend approval of the variance requested, Staff recommends that said motion include the conditions stated in the staff report.

(This item was postponed at the request of the applicant and will be rescheduled for a future meeting.)

Fiscal Impact: The proposed variance does not have a fiscal impact on the Village.

OTHER BUSINESS

Board members asked questions regarding the current status and direction of the Swap Shop property. Assistant Village Manager Kim Glas-Castro provided clarification and responded to the Board’s inquiries.

ADJOURNMENT

Hearing no further business, Chairman Lashells adjourned the meeting at 7:21 PM.

NEXT MEETING
TUESDAY, DECEMBER 9, 2025 @ 6:30 PM

If a person decides to appeal any decision made by the Council concerning any considered matter, they will need a record of the proceeding. For such purposes, they may need to ensure that a verbatim record of the proceedings is available. The recording includes the testimony and evidence upon which the appeal is to be based.

The undersigned is the Deputy Village Clerk of Palm Springs, Florida, and the information provided herein is the Minutes of the Planning and Zoning Advisory Board Meeting held on **November 12, 2025**. Which minutes were formally approved and adopted by the Planning and Zoning Advisory Board on **December 9, 2025**.

Andrea Medero

Andrea Medero, Records Clerk

Village of Palm Springs

Title VI/Nondiscrimination Policy

I. Policy Statement:

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Email: asaingilus@vpsfl.org
Phone: (561)584-8200 Ext. 8421

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Address: 226 Cypress Lane, Palm Springs, FL 33461
Email: jpiedra@vpsfl.org
Phone: (561)584-8200 Ext. 8422



Village of Palm Springs

Staff Report

AGENDA DATE: February 10, 2026

DEPARTMENT: Village Clerk

ITEM #3: January 13, 2026, Planning and Zoning Advisory Board Meeting Minutes

FISCAL IMPACT:

ATTACHMENTS:

1. January 13, 2026 Planning and Zoning Advisory Board Meeting Minutes



**MEETING MINUTES
PLANNING AND ZONING BOARD
VILLAGE HALL COUNCIL CHAMBERS
226 CYPRESS LANE ■ PALM SPRINGS, FL 33461
JANUARY 13, 2026
6:30 PM**

Ralph Lashells, Chairman
Richard Hughes, Vice-Chairman
Ralph Wiles, Board Member
Brian Ruscher, Jr. Alternate

Peter Braun, Board Member
Kim Gehrman, Board Member
Brenda Browning, Sr. Alternate

ADMINISTRATION

PZ&B Director Iramis Cabrera
PZ&B Planner Christian Melendez

Deputy Village Clerk Jane R. Worth
Village Attorney Christy Goddeau

Persons who need an accommodation to attend or participate in this meeting should contact the office of the Village Clerk at (561) 584-8200 at least three (3) business days before the event to request such assistance.

CALL TO ORDER

The meeting was called to order at 6:30 PM by Chairman Ralph Lashells.

ROLL CALL

Present: Chairman Ralph Lashells, Board Member Ralph Wiles, Board Member Kimberly Gehrman, Junior Alternate Board Member Brian Ruscher

Absent: Vice-Chairman Richard Hughes, Board Member Peter Braun, Senior Alternate Brenda Browning

Also, Present: Planning, Zoning, and Building Director, Iramis Cabrera, Planning, Zoning, and Building Planner Christian Melendez, Village Attorney Christy Goddeau and Deputy Village Clerk Jane Worth,

1. NOTE: CLERK TO ASCERTAIN IF THERE ARE ANY *EX PARTE* COMMUNICATIONS TO BE DISCLOSED DURING QUASI JUDICIAL DISCUSSIONS. CLERK TO SWEAR IN WITNESSES FOR TESTIMONY.

Staff: Andrea Medero, Records Clerk

Deputy Worth asked the Board if there were any ex parte communications. There were none.

Deputy Worth swore in all individuals speaking on behalf of any items being presented.

ADDITIONS, DELETIONS OR MODIFICATIONS TO THE AGENDA

There were no additions, deletions, or modifications to the agenda.

APPROVAL OF MINUTES

ORDER OF BUSINESS

REGULAR AGENDA

PUBLIC HEARINGS

2. PZ&B Order 2025-05 - Parking Variance Request (PSV2025-11) — Walmart Neighborhood Market — 4316 Forest Hill Boulevard, Unit 4400: Motion to recommend approval of an application submitted by Jacquie Pedevillano, agent for the applicant, Walmart Stores East, is requesting a variance relief from Section 34-1329 (5)(c) to provide a total of 15 parking spaces dedicated to online pickup only, leaving the shopping center with a deficit of 9 regular parking spaces.

Staff: Iramis Cabrera, PZB Director

SUMMARY: Jacquie Pedevillano, agent for the applicant, Walmart Stores East, is requesting a variance relief from Section 34-1329 (5)(c) to provide a total of fifteen 15 parking spaces dedicated to online pickup only, leaving the shopping center with a deficit of nine (9) regular parking spaces. The variance consists of converting 9 regular parking spaces into online pickup-only parking spaces for a total of fifteenth (15) online pickup-only parking spaces.

Note: The subject property is located within the Commercial Renewal (CR) zoning district. Village code Section 34-1329 (5)(c) requires one parking space for every 200 square feet of gross floor of the shopping center.

The Planning and Zoning Staff reviewed the application and determined that the proposed variance could create conflicts with surrounding businesses. On September 22, 2025, the Planning, Zoning, and Building Director approved an Administrative Site Plan Amendment (AP25-00023), which modified the parking layout by converting six (6) standard parking spaces into OPD (Online Pickup Delivery) spaces. Adding nine (9) additional OPD spaces would further reduce the number of parking spaces available for regular customers, particularly since the parking area in front of Walmart is often fully occupied.

Staff does not support the applicant's request, finding that it is self-created and does not meet the criteria of Section 34-603(b)(1)(b), which specifically states "the special conditions and circumstances do not result from the actions of the applicant."

As part of the review process, staff conducted a site visit to evaluate the current operations of the online pickup parking queue. The primary goals were to observe the average number of cars in the online pickup queue and the waiting time for customers to be served. The observations were documented at various times throughout the day and on different days. Below is a summary of the data collected:

Time period (am & pm)	Average Cars in Queue during the period	Average Wait Time (Minutes)
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1:00 pm - 2:30 pm	2	5 average per pick up
2:30 pm - 4:30 pm	6	5 average per pick up
4:00 pm - 6:00 pm	10	3-5 average per pick up
6:00 pm - 8:00 pm	8	3-5 average per pick up

****Key Insights: ****

- The average number of cars in the online pickup queue ranges from ****2 to 6 cars**** for between ****1 and 2 hours****, showing that the online pickup delivery area was never always utilized.
- Customers generally experience a waiting time of approximately ****4 to 5 minutes**** from the moment they park until they receive their orders.
- The peak observation noted a maximum of ****6 cars**** in the queue over a span of two hours.
- A significant number of online pickup parking spots were occupied by shoppers who opted to enter the store due to the limited availability of regular parking spaces. Additionally, some employees were utilizing these designated online pickup spots.

Based on observations mentioned above, the staff believes there is no immediate need to add more online pickup delivery parking spots. Increasing these spaces could potentially restrict regular customers from finding adequate parking, which may impact their ability to shop at Walmart.

Should the Planning & Zoning Board desire to recommend approval of the variance requested, Staff recommends that said motion include the conditions stated in the staff report.

Planning, Zoning, and Building (PZ&B) Planner Christian Melendez introduced the parking variance requested by Walmart Neighborhood Market — located at 4316 Forest Hill Boulevard, Unit 4400. Staff does not support the additional nine (9) Pick-Up parking spaces that were requested.

Mr. Wesley Hevia, attorney with LSN Law, P.A., 3800 N.E. 1st Avenue, Miami, Florida, presented the request for nine (9) additional Online Pickup Delivery (OPD) parking spaces. Mr. Hevia provided a PowerPoint presentation and advised

the Board that Walmart plans to complete interior and exterior renovations at select stores, including this location, later this year.

Mr. Bill Pfeffer, Regional Manager, Southeast District, Bowman Consulting, explained the total number of parking spaces in the shopping plaza and the number leased by Walmart. Mr. Pfeffer clarified that the Online Pickup Delivery parking spaces are not monitored and are available to all patrons.

Mr. Leon Thomas, Store Manager, stated that he has been at the store for approximately 13 days and was brought in to evaluate the services provided to customers and community residents. Mr. Thomas noted that the planned Walmart renovations will provide more benefits to the community. A discussion ensued regarding the traffic report included in the agenda packet and the parking spaces.

Village Attorney Goddeau asked why the entire parking lot was not signed, noting that the parking spaces would not be actively monitored. Mr. Phifer stated he appreciated the suggestion but explained that doing so could require customers to park farther from the store, resulting in employees walking through the parking lot with large grocery orders, which would defeat the purpose of locating Online Pickup Delivery spaces near the store entrance for customer convenience. PZ&B Director Cabrera added that staff observed parking lot conditions on seven occasions and noted that, on several of those occasions, only three vehicles occupied the designated ODP spaces.

Chairman Lashells stated that this was a public hearing and invited public comments. Hearing none, Chairman Lashells asked for a motion for PZ&B Order 2025-05 - Parking Variance Request (PSV2025-11). A motion to approve was made by Mr. Ruscher and seconded by Mr. Wiles. The motion carried, 4–0. Mr. Ruscher withdrew his motion. Ms. Gehrman made a motion for 10 spaces and requested that the "reserved" be taken off the signs, 5 spaces on one side and 5 on the other. Mr. Wiles made a 2nd for approval. Motion carried 4-0

FISCAL IMPACT:

The proposed variance does not have a fiscal impact on the Village.

- 3. Site Development Plan Amendment (SPR26-01) and Special Exception Use Amendment (PSSE26-01) — Banyan Palm Beach (f.k.a. The Retreat) — 4020 Lake Worth Road:** Motion to recommend approval of an application submitted by Mr. Jeffrey C. Lynee, agent for the applicants, property owner, BCP Florida Holdings, LLC, and its tenant, Boca RI, LLC d/b/a Banyan Palm Beach (doing business nationally as “Banyan Treatment Centers”), (collectively the “Applicants”). The application seeks approval from the Village Council for a Site Development Plan Amendment (SPR26-01) and concurrently requests a Special Exception Use (PSSE26-01) to allow the increase of the number of approved beds from 65 to 88, and concurrently, revise the type of clinical treatment provided from Substance Use Disorder treatment to Mental Health Care.

Staff: Iramis Cabrera, PZB Director

SUMMARY: Mr. Jeffrey C. Lynee, agent for the applicants, is requesting a Site Plan Amendment (SPR26-01) and Special Exception Use Amendment (PSSE26-01) to allow the increase of the number of approved beds from 65 to 88 and, concurrently, revise the type of clinical treatment provided from Substance Use Disorder treatment to Mental Health Care.

Note: The property received site plan approval and special exception use in 2013 for the construction of a 13,793 square foot office building, including a 65-bed congregate living drug rehab facility and 7 multifamily residential units within the same building as the congregate living facility.

The current special exception approval for the site is limited to 65 beds. That is based on the County's regulations in place at the time of the initial development approval, which appear to have mirrored the Village's regulations at that time for a CLF / Cluster Development. Under the site's current land use and zoning designation, there is no applicable density to determine a maximum bed count. Utilizing the original regulations, which are the basis for the current approval, an increase in the current approved number of beds is based on the following density guidelines:

Density: the maximum number of resident beds shall be 21 /acre in the standard Residential Multiple-Family (RM) land development district and 28 /acre in a Planned Unit Development (PUD). Such figures are based on 2.6 persons per household and 8 dwelling units/acres in an RM district and 11 dwelling units/acre in a PUD.

The original calculation was $2.34 \text{ acres} \times 28 = 65 \text{ gross}$.

Since the site is now 3.17 acres, the allowable density based on those original guidelines appears to be limited to 88 gross ($3.17 \times 28 = 88 \text{ gross}$)

The applicants seek to amend the previously approved site plan and special exception use to increase the number of beds from 65 to 88; and revise the type of clinical treatment provided from Substance Use Disorder treatment, licensed by the Department of Children and Families (DCF), to Mental Health care, licensed by the Agency of Health Care Administration (AHCA). The applicants are not proposing any exterior changes to the existing buildings A, B, or C, nor any increase in the overall square footage of the buildings. All existing architectural features and site improvements will remain in their current constructed state.

The scope of the amendment is limited to interior modifications within Building B, specifically on the second floor, to accommodate an increase of twenty-two (22) additional beds within existing bedroom spaces. These changes are confined to the building's interior and do not impact the overall footprint, massing, or external appearance of the structure. There is no distinction amongst the client population to be treated, but for their primary diagnosis.

The purpose of the requested amendment is to meet the ongoing increasing demand within the primary mental health space since the COVID pandemic. No addiction treatment services are expected to be provided on the property. However, persons with co-occurring disorders of both Substance Use Disorder and Mental Health may be treated on-site on a case-by-case basis.

Hours of operation for this facility are 24/7; staff are on-site 24 hours a day, with clinicians present during the day working 8-hour shifts per day. The staff-to-resident ratio for clinicians is 1:10, and overall staff during waking hours is 1:15.

The Planning, Zoning & Building Staff does not object to the proposed amendments and recommends conditional approval.

Planning, Zoning & Building (PZ&B) Planner Christian Melendez introduced the Site Development Plan Amendment (SPR26-01) and Special Exception Use Amendment (PSSE26-01) for the property located at 4020 Lake Worth Road. The applicant, BCP Florida Holdings, LLC, is requesting to increase the number of approved beds from 65 to 88 and, concurrently, to revise the type of clinical treatment provided for substance-use disorders in Mental Health Care. Staff recommends conditional approval, consistent with the previously approved site development plan under Resolution No. 2023-49.

Mr. Jeffrey Lynn, U.S. Highway, North Palm Beach, Attorney for the Applicant, gave a history of the facility known as the Retreat. Mr. George Gentile, principal of 2GHO Architects and Planners, presented a PowerPoint that covered landscape plans and lighting. Mr. Gentile stated they would be happy to answer any questions from the Board.

The Board requested that the applicant address the proposed increase in bed count, available amenities, and the typical length of stay for patients at the Retreat. Ms. Michelle Parks responded to questions from the Board and staff.

Mr. Robert Bogdenoff, representing families who own property near the facility and along Lake Worth Road, expressed concern regarding the proposed increase from a 66-bed to an 88-bed facility. He questioned whether the maximum of 100 parking spaces would adequately accommodate the anticipated increase in residents and staff. Mr. Gentile responded that in-care residents do not drive, will be transported, and the maximum staff number is 38, and stated that the parking provided would be more than sufficient.

Chairman Lashells requested a motion for the Site Development Plan Amendment (SPR26-01) and Special Exception Use Amendment (PSSE26-01). A motion to approve the conditions that were mentioned by staff was made by Mr. Ruscher and seconded by Ms. Gehrman. The motion carried, 5–0.

FISCAL IMPACT:

The proposed request is not expected to provide a direct fiscal impact on the village. However, if approved, it would require various village services that would result in increased expenditure to the village.

OTHER BUSINESS

None


ADJOURNMENT

Hearing no further business, Chairman Lashells adjourned the meeting at 8:03 PM.

NEXT MEETING TUESDAY, FEBRUARY 10, 2026 @ 6:30 PM

If a person decides to appeal any decision made by the Council concerning any considered matter, they will need a record of the proceeding. For such purposes, they may need to ensure that a verbatim record of the proceedings is available. The recording includes the testimony and evidence upon which the appeal is to be based.

The undersigned is the Deputy Village Clerk of Palm Springs, Florida, and the information provided herein is the Minutes of the Planning and Zoning Advisory Board Meeting held on January 13, 2026. Which minutes were formally approved and adopted by the Planning and Zoning Advisory Board on February 10, 2026.


Jane R. Worth
Deputy Village Clerk



Village of Palm Springs

Staff Report

AGENDA DATE: February 10, 2026

DEPARTMENT: Planning, Zoning & Building

ITEM #4: Planning & Zoning Board Order No.2026-01 - Minor Site Plan amendment (SPR26-02) — Salvation Army - 4051 Kirk Road

SUMMARY: Mr. Jack Goodman, agent for the owner, Salvation Army, requests approval of a Minor Site Plan Amendment (SPR26-02) for the Commercial General property located at 4051 Kirk Road. The applicant proposes to construct a new supplemental storage building for the existing thrift store. The proposed building will provide 4,376 square feet of additional storage area to support ongoing operations.

In connection with the building addition, the applicant is proposing landscape enhancements that include new foundation plantings, the installation of trees within landscape islands, equipment screening, and the removal and replacement of existing buffer hedging as needed.

The site is currently comprised of two primary structures: a 27,150-square-foot center for worship and service and a 7,470-square-foot thrift store. The remainder of the site consists of off-street parking, an outdoor open play field and track, and a dry detention area. The area subject to this proposed amendment is located on the west side of the driveway from Lake Worth Road west to the existing thrift store.

The applicant is not proposing any other modifications outside the affected area, and the remainder of the site will remain as it exists today. All improvements are internal to the site and will not impact perimeter driveways or existing parking areas, other than the landscaping modifications noted above.

The Planning, Zoning & Building Staff does not object to the site plan amendment requested, finding the proposed project to be generally consistent with the Land Development and Zoning regulations, and recommends conditional approval to support enhancements to their ongoing operations.

FISCAL IMPACT:

The proposed amendment will enhance the business operations, although, as a non-profit, it will not affect the Village's assessed property valuation.

ATTACHMENTS:

1. Exhibit "A" Staff Report and Conditions of Approval
2. Justification Statement
3. Site Plan, Landscape Plans and Engineering Plans
4. Architectural Plans
5. Aerial and Location Maps



PLANNING, ZONING & BUILDING STAFF REPORT

SUBJECT: Minor Site Plan Amendment - Salvation Army – 4051 Kirk Road

Application Summary				
Applicant / Petitioner	Salvation Army Jack Goodman – Insite Studio, Inc.	Submittal Date	9/30/2025	
Reference Name	4051 Kirk Road	Case Numbers	SPR26-02	
		Parcel Control No	70-42-44-25-00-000-1380	
Location	4051 Kirk Road	Site Area	±5.59 acres	
P&Z Board	Tuesday, February 10, 2026			
Requests				
Proposed Use(s)	Minor Site Plan Amendment to permit the addition of a storage building to function as an ancillary building to the retail thrift store use.			
Number of Buildings	Total of 11,890 sf within 3 buildings			
	Existing 27,150 sf Place of worship 7,470 sf thrift store	Proposed Addition 1 Ancillary building 4,420 sf storage/warehouse		
Parking				
Code	Required	Provided	Meets Requirement	
Total Vehicle Parking	Place of Assembly - 1/100 sf @12,619 = 126	145 spaces	No*(existing non-conforming characteristics for the assembly, indoor court, and retail use) New storage/warehouse meets the minimum parking required.	
	Indoor court – 1/1800 sf @ 7876 sf = 5 Thrift store – 1/200 sf @ 7,470 = 38 Warehouse/storage – 1/2000 sf @ 4420 = 2 171 total			
Setbacks				
Code	Required	Existing	New Structure	Meets Requirement
Front Yard (East)	50'	133'	over 300'	Yes
Rear Yard (West)	20'	228'	117'	Yes
Side Interior Yard (south)	15'	Over 85'	Over 400'	Yes
Side Corner Yard (North)	25'	16'	25'	No (existing non-conforming)
Site Characteristics				
Existing Use	Place of Assembly and retail	Proposed Use		No changes
Existing Zoning	Commercial General (CG)	Future Land Use		Commercial
Surrounding Existing Land Use, Future Land Use, and Zoning				
Direction	Existing Use	Future Land Use		Zoning District
North	Gas Station and a Mix of commercial uses	Commercial		Commercial General (CG)
South	Residential use	Unknown Unincorporated PBC		Unknown Unincorporated PBC
East	Multi-Family Dwelling Units & Commercial uses	Unknown Unincorporated PBC		Unknown Unincorporated PBC
West	Mental Health Care facility	Commercial		Commercial General (CG)
Recommendation				
<p>Planning, Zoning & Building Staff recommend conditional approval of the site plan amendment to allow the addition of a 4,420 square foot storage building to support the ongoing operations of the thrift store and further enhance the functionality of the business.</p>				

I. Site History

- Ordinance 2014-33: Annexation

The property was voluntarily annexed into the Village of Palm Springs on December 11, 2014, and designated with the Commercial General zoning district, and Future Land Use category of Commercial. The property has been used as a place of worship with a thrift store since it was annexed.

- Administrative Site Plan

On December 20, 2023, the property received a site plan amendment approval, administratively, to allow minor modifications to the approved site plan, providing an outdoor multi-purpose path and playground equipment on the west side of the property. The modifications established a park-like feature for the campus rather than just an empty and open play area.

II. Comprehensive Plan Consistency

The subject property's Future Land Use designation and Zoning district are Commercial and Commercial General (CG), respectively. The proposed site plan amendment to construct a 4,420 square foot storage building to support the ongoing operations of the thrift store is generally consistent with goals, objectives, and policies of the Village's Comprehensive Plan.

III. Neighborhood Compatibility

- 1) The proposed project is located on the south side of Lake Worth Road between Kirk Rd and Cooley Court.
- 2) Surrounding properties are commonly zoned General Commercial
- 3) A mix of different commercial uses exists along the Lake Worth Road corridor.
- 4) The property is located within the Lake Worth CRA District.
- 5) Transit services are available through Lake Worth Road about 0.3 miles away.

IV. Regulatory Issues

The site plan generally conforms to the property development standards of the CG district.

- 1) The proposed project generally meets the required site development regulations.
- 2) Permits from all applicable permitting agencies, including but not limited to PBC Fire Rescue and the Village of Palm Springs, are required before construction.
- 3) The Village's Engineer shall approve civil/Utility plans.

V. Environmental Issues:

No environmental issues (e.g., wetlands, floodplains, etc.) have been identified.

VI. Community Outreach/ Notification

- The subject property was posted on February 2, 2026.
- Public Notification letters were mailed to all property owners within a 300-foot radius of the subject property.
- Legal advertisement was published on February 2, 2026.
- Staff have not received any inquiries or comments as a result of the notices.

VII. Proposed Development Plan Details

The petitioner's development plans received on September 30, 2025, depict the following:

- An application submitted for a Minor Site Plan Amendment for the addition of a 4,420 square feet storage building within the 5.59-acre commercial property.
 1. Site Plan received September 30, 2025; revised and resubmitted on February 2, 2026.
 2. Landscape plans received September 30, 2025; revised and resubmitted on February 2, 2026.
 3. Preliminary Engineering plans received September 30, 2025; revised and resubmitted on February 2, 2026.
 4. Architectural plans.
 5. Project narrative.
 6. Stormwater calculations

VIII. Recommendation

The applicant is requesting a Minor Site Plan Amendment to make some improvements to the Salvation Army property, incorporating a new supplemental storage building for the existing thrift store. The proposed building will provide 4,420 square feet of additional storage area to support ongoing operations.

In connection with the building addition, the applicant is proposing landscape enhancements that include new foundation plantings, the installation of trees within landscape islands, equipment screening, and the removal and replacement of existing buffer hedging as needed.

The site is currently comprised of two primary structures, a 27,150 square foot center for worship and service, and a 7,470 square foot thrift store. The remainder of the site consists of off-street parking, an outdoor open play field and track, and a dry detention area. The area subject to this proposed amendment is located on the west side of the driveway from Lake Worth Road west to the existing thrift store.

The applicant is not proposing any other modifications outside of the affected area, and the remainder of the site will remain as it exists today. All improvements are internal to the site and will not impact perimeter driveways or existing parking areas, other than the landscaping modifications noted above.

Planning, Zoning & Building Staff has conducted a review of the application and found the proposed project to be generally consistent with the goals, objectives, and policies of the Village's Comprehensive Plan. The proposed project is generally consistent with the Land Development and Zoning regulations and all other portions of the code.

Staff recommends conditional approval of the Minor Site Plan Amendment, subject to the following twenty-one (21) conditions below:

1. The Minor Site Plan approval is valid for a period not to exceed 24 months from Planning & Zoning Board approval.
2. A Utility/Civil plan shall be approved by the Village Engineer and Public Service Department **at the time of permitting.**
3. Absolutely **no outdoor storage** shall be permitted on the property.
4. The new trash compactor shall be screened from view.
5. Any proposed signs shall be reviewed and approved by the Planning, Zoning, and Building Department **at the time of permitting.**
6. Any existing or proposed utility box/cabinet shall be screened from view. Staff recommend wrapping the cabinet/box with an appropriate design for the existing/proposed location.
7. The construction dumpster shall be provided only by Waste Pro USA, which is under a franchise agreement with the Village.
8. Landscaped areas shall be irrigated, including but not limited to buffers, islands, planter boxes, etc.

9. Irrigation plans shall be provided **at the time of permitting**. Non-potable water shall be used for the irrigation system per the Village code.
10. Provide permits from all applicable permitting agencies, including but not limited to PBC Fire Rescue and the Village of Palm Springs **at the time of permitting**.
11. The property owner shall register an Agent of Record, before issuance of a permit, to establish a contact person responsible for compliance with this Development Order, including site plan/landscape plan details and conditions of approval.
12. All mechanical equipment and above-ground infrastructure shall be screened from view.
13. The Applicant may be required to undertake additional security measures, based on the number of complaints or calls for service for incidents at the premises, as determined by the Police Chief. Such additional security measures as approved by the Police Chief may include increased on-site security at the operator's sole expense.
14. Verify utility and easement locations to ensure that there are no conflicts with landscaping, and revise **at the time of permitting** as needed.
15. A pre-construction meeting shall be scheduled with the Village Planning, Zoning & Building Development Department before commencement of any construction activity. Permits are required from the Planning, Zoning & Building Department before commencing any construction or renovation. The project shall be constructed in accordance with the FBC edition in effect **at the time of permitting**.
16. A silt barrier shall be installed around the perimeter of the property (within the affected area for the site improvements and new building construction) before commencement of any site work or construction activity, and a track pad shall be installed at the construction entrance(s), both of which shall remain through substantial completion.
17. The Landscaping shall be certified by the Landscape Architect upon completion and **before the Certificate of Occupancy/Certificate of Completion** of each improvement area.
18. Absolutely no occupancy, other than construction personnel, is permitted **before TCO/CO**.
19. The civil engineer of record shall certify the site construction **before Certificate of Occupancy or Certificate of Completion**.
20. The General Contractor shall be on site during all construction activity in accordance with FS 489.1195.
21. **At the time of CO**, the petitioner shall provide the Planning, Zoning, and Building Department with electronic copies of as-builts.

The Salvation Army - Center of Worship and Service: Storage Building

Site Plan Amendment

Intake Date: September 30, 2025

Resubmittal 1: November 19, 2025

Owner/Applicant: Salvation Army
14274 NE Expressway, NE
Atlanta, GA 30329

Owner's Representative: Collins Development Company
177 US Highway 1, Suite 273
Tequesta, FL 33469

Planner / Landscape Architect: Insite Studio, Inc.
3601 PGA Blvd, Suite 220
Palm Beach Gardens, FL 33410

Architect: Claren Architecture and Design, Inc.
6400 Congress Ave, Suite 2150
Boca Raton, FL 33487

Civil Engineer: McLeod McCarthy & Associates, P.A.
1655 Palm Beach Lakes Blvd, Suite 810
West Palm Beach, FL 33401

Traffic Engineer: Pinder Troutman Consulting, Inc.
601 Heritage Dr, Suite 493
Jupiter, FL 33458

Property Location

The Salvation Army Center for Worship and Service is located at 4051 Kirk Road, on the southwest corner of Lake Worth Road and Kirk Road. The 5.438-acre site is identified by Parcel Control Number (PCN): 70424425000001380 and currently retains a Future Land Use (FLU) designation of Commercial and a Zoning District Classification of Commercial General (CG).

The site is comprised of two primary structures, a 27,150 square foot Center for Worship and Service and a 7,470 square foot thrift store. The remainder of the site consists of off-street parking, an outdoor open play field and track, and a dry detention area. The area subject to this proposed amendment is located on the west side of the driveway from Lake Worth Road behind the existing Thrift Store.



Approval History

- **December 2023** - Administrative Site Plan Amendment – Outdoor Play Area Modification

Application Request

On behalf of the Applicant, The Salvation Army, we are respectfully requesting approval of a Site Plan Amendment to the previously approved plan for The Salvation Army Center for Worship and Service to delineate improvements within the area labeled as “Auxiliary Storage.”

Surrounding Uses

The subject site is situated along Lake Worth Road and Kirk Road, which are county-maintained public roads. The surrounding area is comprised of a mix of residential and commercial uses, land use, and zoning district classifications which are summarized below:

North	Commercial CG Commercial General Commercial
South	MR-5 Multifamily PBC RM Multifamily Single Family
East	UI Urban Infill and MR-5 UI and RM Commercial and Multifamily
West	Commercial CG Commercial General Behavioral Health Retreat

Proposed Modifications

The Applicant is proposing to make modifications to the approved site plan for the Salvation Army property to incorporate a new supplemental storage building for the existing thrift store. The proposed building will provide 4,420 square feet of additional storage area to support ongoing operations.

In connection with the building addition, the Applicant is proposing landscape enhancements that include new foundation plantings, the installation of trees within landscape islands, equipment screening, and the removal and replacement of existing buffer hedging as needed. Revised civil engineering plans are provided to demonstrate utility connections and site services to the proposed building.

The Applicant is not proposing any other modifications outside of the affected area, and the remainder of the site will remain as it exists today. All improvements are internal to the site and will not impact perimeter driveways or existing parking areas, other than the landscaping modifications noted above.

Development Program

The current facility does not have enough storage space, which has led to drop-off items overflowing outside of the building. This has created both operational challenges for staff and an unattractive appearance from the street. The proposed 1-story storage building will provide 4,420 square feet of space, with a building height of 29'-4". It will be located in between the existing thrift store and dry retention area.

As part of the project, two standard parking spaces, one handicap-accessible space, and a 12' x 40' loading zone will be added. Landscaping improvements include foundation plantings, trees within landscape islands, equipment screening, and replacement of buffer hedging where needed.

To accommodate the building addition, the existing dry detention area will be expanded as part of the site's stormwater management system. Drainage reports have been provided to document this approach and demonstrate compliance with applicable requirements. Updated civil plans are included to show the necessary utility connections and services to the new building.

Compliance with Commercial General Criteria

Sec. 34-821 – Purpose

The purpose of the CG district is to provide land for a broad range of commercial services that can serve a wider market. The Salvation Army thrift store and donation center is a permitted retail service that draws from both the local community and surrounding areas. The site is conveniently located with access to major roads and existing traffic patterns, and the proposed storage building is an internal site improvement that does not expand strip commercial development. The addition of the proposed storage building further supports the existing operations while improving the property functionality and aesthetic.

Sec. 34 -822 – Permitted Uses

Retail sales and services are permitted uses in the CG district. The thrift store is retail sales. The proposed storage building supports the retail use as part of the same operation. The proposed building use is consistent with the uses allowed within the existing zoning district.

Sec. 34-823 – Accessory Uses

No accessory uses are proposed. The storage building functions as auxiliary storage for the thrift store retail use.

Sec. 34-824 – Special Exceptions

No special exception uses are requested. The project does not introduce any new use requiring council discretion.

Sec. 34-825 – Prohibited Uses

No prohibited uses are proposed. The project remains limited to retail sales and services with supportive storage.

Sec. 34-826 – Property Development Regulations

The proposed building plans either meet or exceed all Village land development requirements as outlined in the table below.

	Required	Proposed
Lot Width	100’	540’
Lot Frontage	100’	540’
Lot Depth	200’	450’
Building Height	45’ Max.	29’-4”
North (Side Corner)	25’	26’
South (Side)	15’	94’
East (Front)	50’	97’
West (Rear)	20’	117’
Gross Floor Area	50% Max.	16% (39,040 S.F.)

Sec. 34-827 – Off Street Parking and Loading

Based on the functionality of the building as storage, we are applying the parking standard for “warehouse” which would require 1 space per 2,000 SF of building area. The project provides two new parking spaces, one handicap-accessible space, and a 12’ x 40’ loading zone, meeting the district’s requirements for both patrons and operational needs. This is the minimum requirement for the 4,420 SF building.

Sec. 34-828 – Supplemental Regulations

- **Outdoor storage:** No outdoor storage is proposed, this building will help to relieve the existing storage problem for the thrift store.
- **Outdoor display:** No outdoor display of merchandise is proposed; donations will be managed through the new enclosed storage building.
- **Parking of business vehicles:** Not applicable.
- **Vending machines:** None proposed.

Section 14 Unified Development Application:

Consistency With Palm Springs CRA Community Redevelopment Plan:

The proposed auxiliary storage building supports the Palm Springs Community Redevelopment Agency Plan’s goals by helping an existing community-serving business operate more efficiently while maintaining a cleaner, more organized site. By relocating the drop-off point and adding storage to address overflow, the project removes blight from public view and enhances the overall appearance of the Lake Worth Road corridor.

The proposed storage building will feature substantial foundation plantings and exceed landscape code requirements. Combined with site clean-up, improved screening, and a more efficient circulation pattern, these enhancements reinforce the “small town” character emphasized in the CRA plan.

This project strengthens an established local business, supports ongoing employment, and makes better use of an already developed property - aligning with the CRA’s goals for infill redevelopment and reinvestment. Overall, it contributes to a safer, cleaner, and more orderly corridor while complementing CRA strategies to reduce blight, enhance corridor identity, and encourage incremental private investment.

Thank you for your consideration of this application. If you have any questions regarding this application, please do not hesitate to contact our office.

Sincerely,



Jack Goodman

Designer

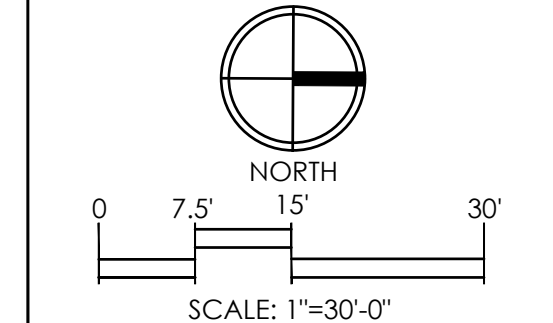
Insite Studio, Inc.

Consultants:

Revisions:

- 2025-09-26 - Intake
- 2025-11-19 - Resubmittal
- 2026-01-12 - Resubmittal
- 2026-02-02 - Resubmittal

THE SALVATION ARMY CENTER FOR WORSHIP AND SERVICE
 Lake Worth, Florida



Drawn By: JG
 Drawing #: 1347
 Date: 09/26/2025

PRELIMINARY SITE PLAN

PSP.1

SITE DATA	
APPLICATION NAME	SALVATION ARMY CENTER FOR WORSHIP AND SERVICE
RECORD NUMBER	AP25-0074
ADDRESS	4051 KIRK RD. LAKE WORTH, FL 33461
PROPERTY CONTROL NUMBER (S)	704242500001380
EXISTING ZONING	COMMERCIAL GENERAL (CG)
FUTURE LAND USE (FLU)	COMMERCIAL
TIER	U/S
GROSS SITE AREA	238,849 S.F. (5.438 AC)
GROSS BUILDING S.F.	32,385 S.F. (0.74 AC)
S.F. BREAKDOWN	CHURCH / ASSEMBLY - 12,619 S.F. GYMNASIUM / COURT - 7,876 S.F. THRIFT STORE - 7,470 S.F. AUXILIARY STORAGE - 4,420 S.F.
PROPOSED BUILDING COVERAGE	13.55%
PROPOSED BUILDING HEIGHT	29'-4"
TOTAL IMPERVIOUS AREA	133,270 S.F. (3.05 AC) (56%)
TOTAL PERVIOUS AREA	105,579 S.F. (2.42 AC) (44%)
TOTAL OPEN SPACE	105,579 S.F. (2.42 AC) (44%)
TOTAL RECREATION SPACE	INDOOR - 7,876 S.F. OUTDOOR - 42,448 S.F.
CRA DISTRICT	LAKE WORTH ROAD
TRAFFIC ANALYSIS ZONE	356

PARKING DATA	
REQUIRED PARKING - 173 SPACES	CHURCH / ASSEMBLY - 127 SP. (1 SPACE PER 100 S.F.)* INDOOR ATHLETIC COURT - 5 SP. (1 SPACE PER 1,800 S.F.)* RETAIL / THRIFT STORE - 38 SP. (1 SPACE PER 200 S.F.)* AUXILIARY STORAGE / WAREHOUSE - 3 SP. (1 SPACE PER 2,000 S.F.)
EXISTING SPACES ON SITE	142 SPACES (8 ADA)*
TOTAL SPACES PROVIDED	145 SPACES (9 ADA)
LOADING ZONES PROVIDED	2 LOADING ZONES

* DENOTES EXISTING NON-COMFORMING PARKING BETWEEN ASSEMBLY, ATHLETIC COURT, AND RETAIL USES.

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED HANDICAP RAMP
- PROPOSED TACTILE SURFACE
- PROPOSED LIGHTS
- EXIST. OVERHEAD POWER LINE W/ WOOD POWER POLES

NOTES:

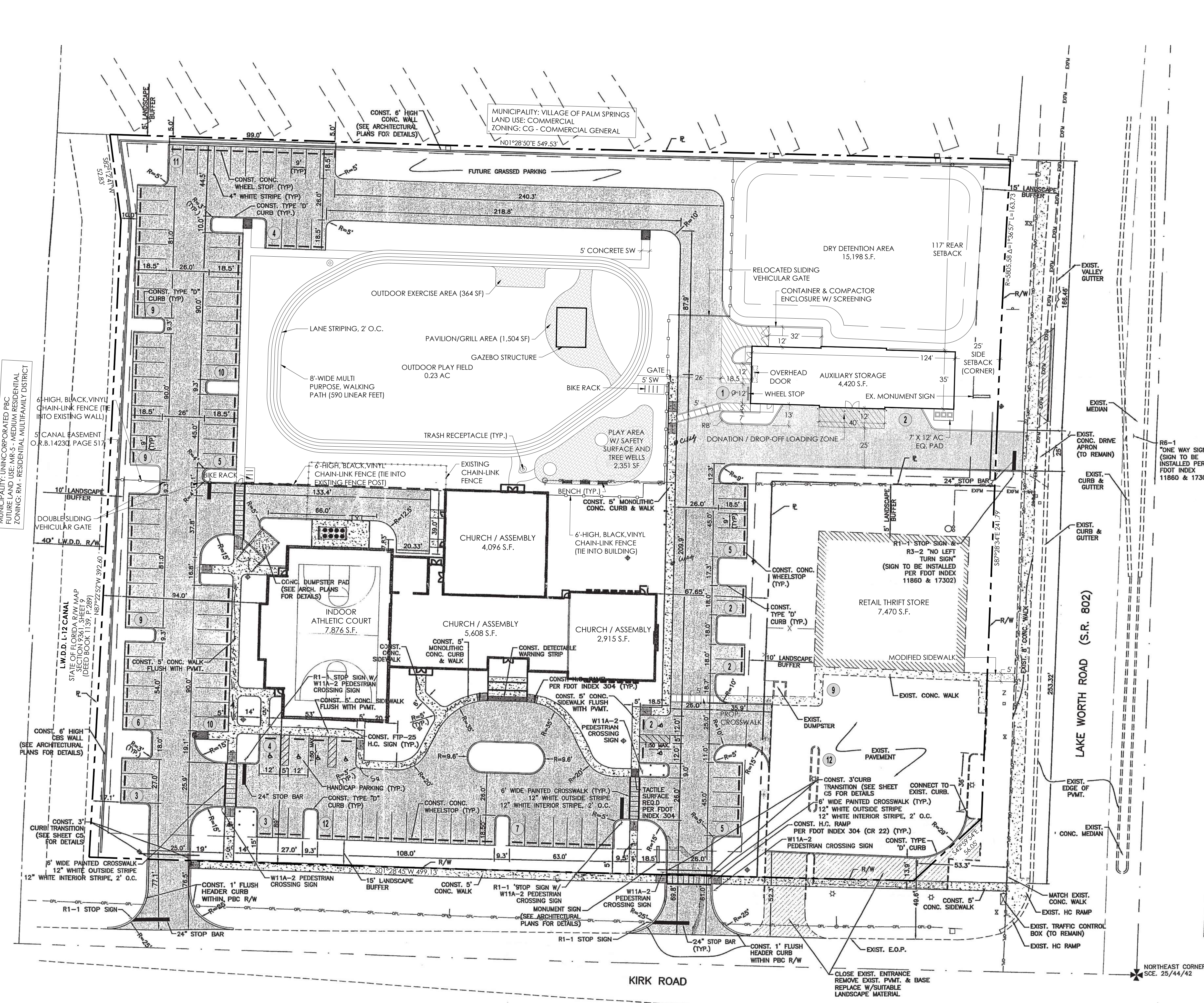
1. CURB RADI AND DIMENSIONS ARE TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
2. ALL CURB RADI ARE 3' TYPICAL AT LANDSCAPE ISLANDS, UNLESS OTHERWISE NOTED.
3. REFERENCE SHEETS C-3, C-5 & C-6 FOR CONSTRUCTION NOTES & DETAILS.

SURVEY REFERENCE DATA:

MILLER, LEGG & ASSOCIATES, INC.
 PROJECT NO. 00024
 DRAWING: SV-2
 DATED: 9-5-00
 BENCHMARK LAND SURVEYING & MAPPING, INC.
 PROJECT NO. R97-0027
 DATED: 3-31-97

MUNICIPALITY: VILLAGE OF PALM SPRINGS
 LAND USE: COMMERCIAL
 ZONING: CG - COMMERCIAL GENERAL

VICINITY MAP



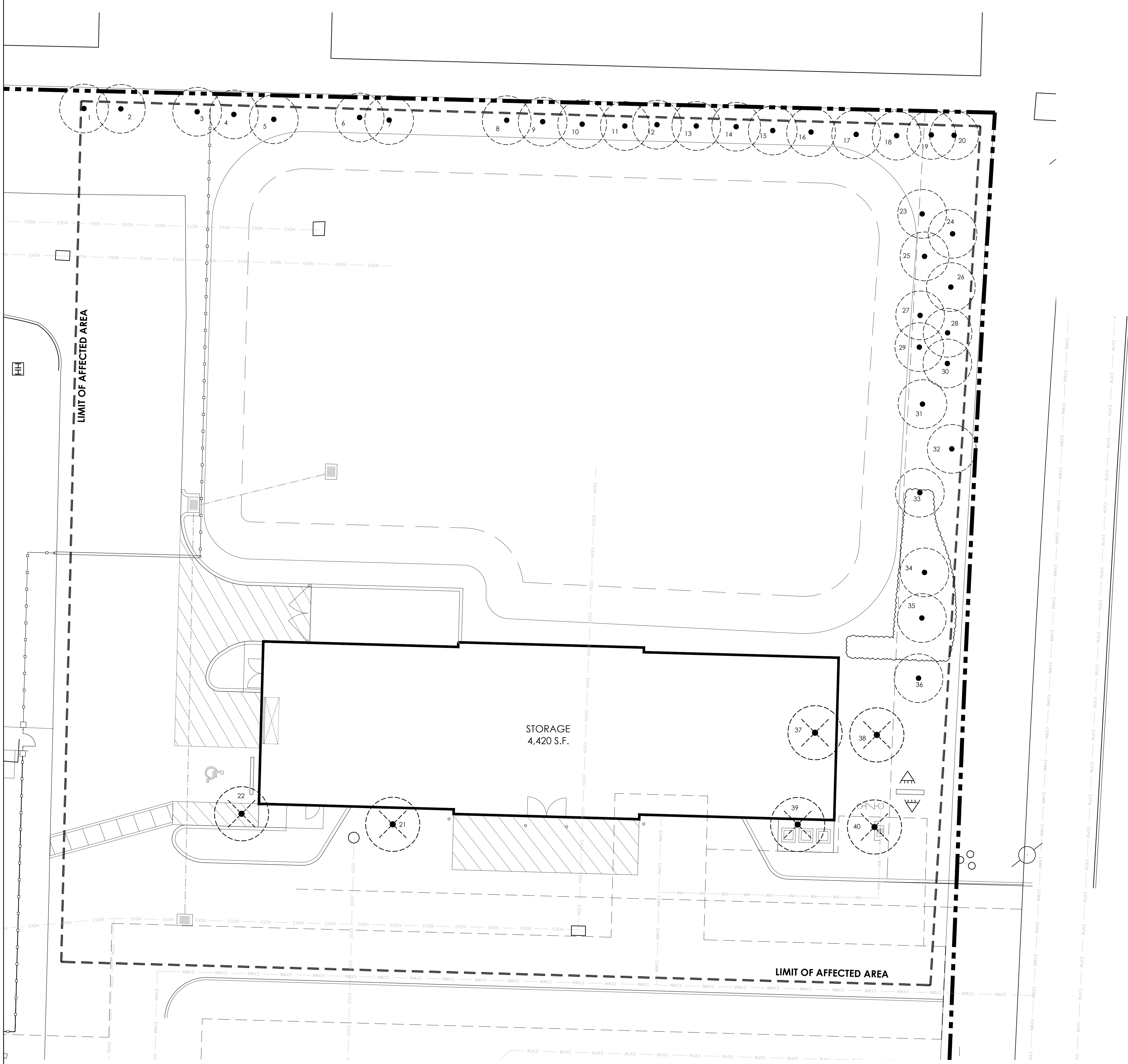
MUNICIPALITY: UNINCORPORATED PBC
 FUTURE LAND USE: MR-5 - MEDIUM RESIDENTIAL
 ZONING: RM - RESIDENTIAL MULTIFAMILY DISTRICT

MUNICIPALITY: UNINCORPORATED PBC
 FUTURE LAND USE: MR-5 - MEDIUM RESIDENTIAL
 ZONING: RM - RESIDENTIAL MULTIFAMILY DISTRICT

MUNICIPALITY: UNINCORPORATED PBC
 FUTURE LAND USE: MR-5 - MEDIUM RESIDENTIAL
 ZONING: RM - RESIDENTIAL MULTIFAMILY DISTRICT

MUNICIPALITY: UNINCORPORATED PBC
 FUTURE LAND USE: UI - URBAN INFILL
 ZONING: UI - URBAN INFILL

NORTHEAST CORNER
 SEC. 25/44/42



TREE DISPOSITION TABLE			
TREE I.D.	SPECIES	SIZE	DISPOSITION
1	SABAL PALM	10"	PRESERVE
2	SABAL PALM	14"	PRESERVE
3	SABAL PALM	12"	PRESERVE
4	SABAL PALM	12"	PRESERVE
5	SABAL PALM	12"	PRESERVE
6	SABAL PALM	12"	PRESERVE
7	SABAL PALM	12"	PRESERVE
8	BLACK OLIVE	8"	PRESERVE
9	BLACK OLIVE	8"	PRESERVE
10	BLACK OLIVE	8"	PRESERVE
11	SABAL PALM	12"	PRESERVE
12	SABAL PALM	12"	PRESERVE
13	BLACK OLIVE	8"	PRESERVE
14	BLACK OLIVE	8"	PRESERVE
15	BLACK OLIVE	10"	PRESERVE
16	BLACK OLIVE	10"	PRESERVE
17	BLACK OLIVE	12"	PRESERVE
18	BLACK OLIVE	8"	PRESERVE
19	BLACK OLIVE	10"	PRESERVE
20	BLACK OLIVE	10"	PRESERVE
21	BLACK OLIVE	12"	REMOVE
22	BLACK OLIVE	12"	REMOVE
23	SABAL PALM	20'	PRESERVE
24	SABAL PALM	20'	PRESERVE
25	SABAL PALM	20'	PRESERVE
26	SILVER BUTTWOOD	3"	PRESERVE
27	SABAL PALM	20'	PRESERVE
28	CRAPÉ MYRTLE	5"	PRESERVE
29	SABAL PALM	20'	PRESERVE
30	SILVER BUTTWOOD	3"	PRESERVE
31	SABAL PALM	20'	PRESERVE
32	SABAL PALM	20'	PRESERVE
33	SABAL PALM	20'	PRESERVE
34	CRAPÉ MYRTLE	5"	PRESERVE
35	SABAL PALM	20'	PRESERVE
36	SILVER BUTTWOOD	3"	PRESERVE
37	ROYAL PALM	24'	REMOVE
38	ROYAL PALM	24'	REMOVE
39	WASHINGTON PALM	35'	REMOVE
40	WASHINGTON PALM	35'	REMOVE

TREE DISPOSITION TOTAL	
DISPOSITION	QTY
PRESERVE	34
REMOVE	6

NORTH

0 5' 10' 20'

SCALE: 1" = 10'-0"

LEGEND

- EX. TREE TO BE PRESERVED
 - EX. TREE TO BE REMOVED



Consultants:

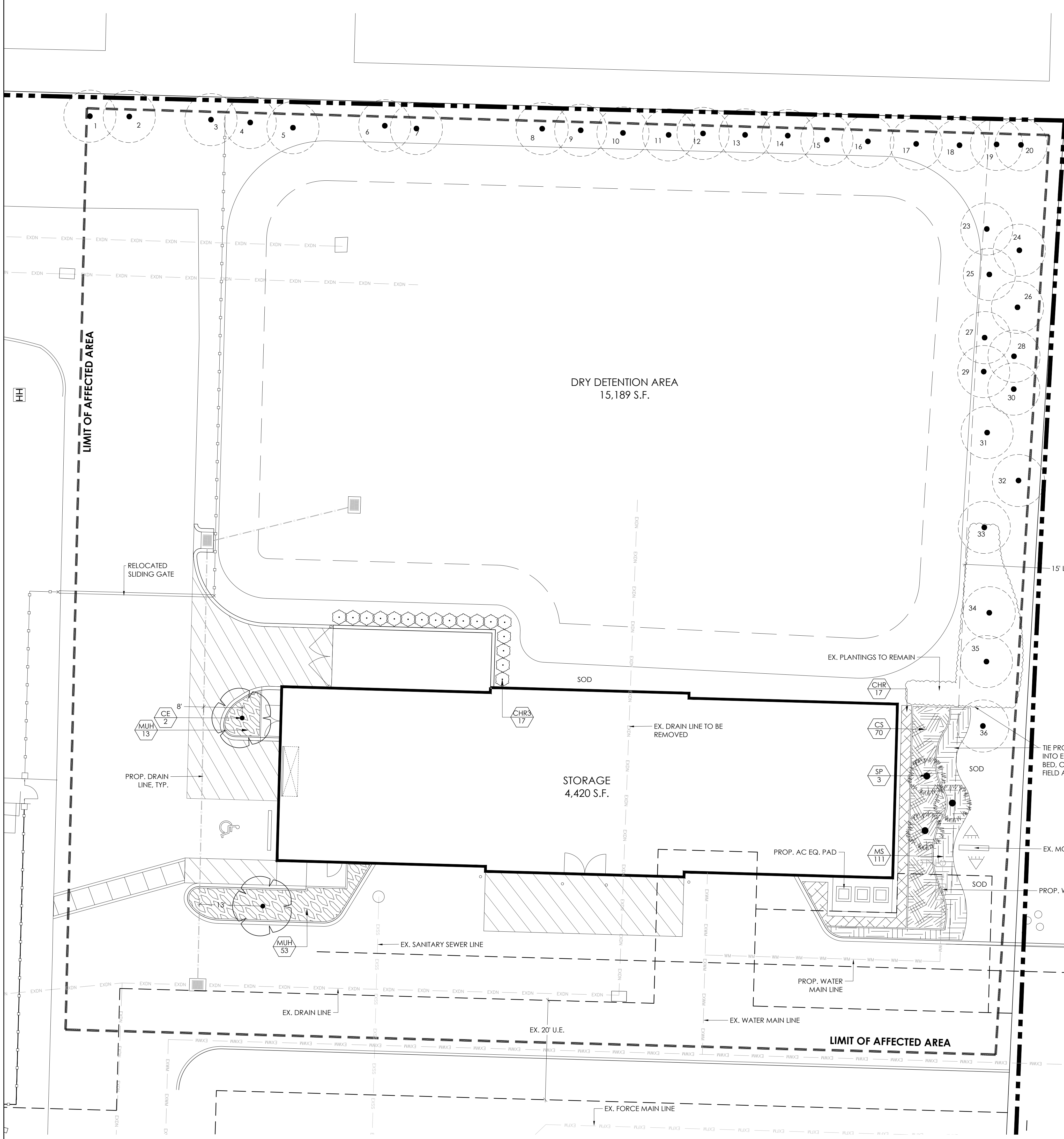
Revisions:

2025-09-26: Intake

2025-11-19: Resubmittal

2026-02-02: Resubmittal

THE SALVATION ARMY
CENTER FOR WORSHIP AND SERVICE
 Palm Springs, Florida



LANDSCAPE REQUIREMENT CHART			
LOCATION / AREA	CODE REQUIREMENT	REQUIRED	PROVIDED
PARKING ISLAND TREES	1 TREE PER ISLAND	3 TREES	2 TREES
BUILDING FOUNDATION PLANTING	25% OF BUILDING FACADE THAT FACES THE STREET	25% OF 35 LF NORTH FACADE	35 LF OF NORTH (100%) 10 LF OF EAST (8%)
PALM RATIO	CAN ONLY COUNT FOR LESS THAN 50% OF REQUIRED TREES	LESS THAN 2 OF 3 TREES	1 TREE (33%)
NATIVE SPECIES PLANTINGS RATIO	40% OF PLANTINGS MUST BE NATIVE IF NO WASTEWATER SYSTEM USED	40%	62%

PLANT SCHEDULE			
CODE	QTY	BOTANICAL / COMMON NAME	REMARKS
TREES			
CE *	2	Conocarpus erectus 'Sericeus' / Silver Buttonwood	12' HT X 5' SPR, 2" CAL., 5' MIN. C.T.
SP*	3	Sabal palmetto / Cabbage Palmetto	12-16' O.A. HT, DE-BOOTED
SHRUBS			
CHR3*	17	Chrysobalanus icaco 'Red Tip' / Red Tip Cocoplum	36" HT. X 36" SPR.
SHRUB AREAS			
CHR *	37	Chrysobalanus icaco 'Red Tip' / Red Tip Cocoplum	30" HT X 24" SPR @ 24" O.C.
CS *	70	Conocarpus erectus f. sericeus / Silver Buttonwood	30" HT X 24" SPR @ 24" O.C.
MS*	111	Microsorium scolopendria / Wart Fern	16" HT X 16" SPR. @ 18" O.C.
MUH*	66	Muhlenbergia capillaris / Pink Muhly	18" HT. X 18" SPR. @ 24" O.C.

* DENOTES NATIVE SPECIES



Consultants:

Revisions:
 2025-09-26: Intake
 2025-11-19: Resubmittal
 2026-02-02: Resubmittal

**THE SALVATION ARMY
 CENTER FOR WORSHIP AND SERVICE**
 Palm Springs, Florida

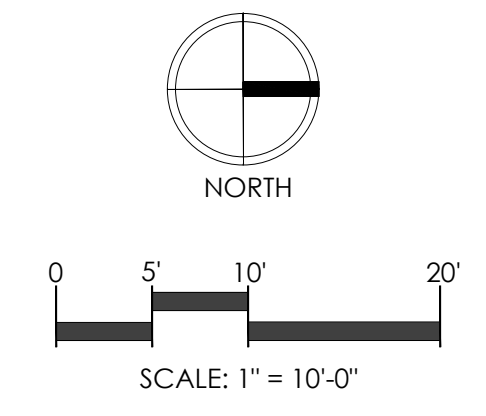
ALWAYS CALL 811 TWO FULL BUSINESS DAYS BEFORE YOU DIG TO HAVE UNDERGROUND UTILITIES LOCATED AND MARKED.



Drawn By: SG
 Drawing #: 1347
 Date: 9/26/2025

LANDSCAPE PLAN

SHEET # LP.1



GENERAL CONDITIONS

- A. CONTRACT DOCUMENTS: Shall consist of specifications and its general conditions and the drawings...
B. VERIFICATION: The Contractor shall verify measurements on the drawings before beginning work...
C. MATERIALS, MACHINERY, EMPLOYEES: Except as otherwise noted, the Contractor shall provide and pay for all materials, labor, tools, and other items necessary and incidental to the completion of his/her work...
D. SURVEYS, PERMITS, REGULATIONS: The Owner shall furnish an adequate survey of the property...
E. PROTECTION OF WORK, PROPERTY AND PERSON: The Contractor shall adequately protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions...
F. CHANGES IN THE WORK: The Owner may order changes in the work, and the contract sum being adjusted accordingly...
G. CORRECTION OF WORK: The Contractor shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative for a period of ninety (90) days from the date of completion of the contract...
H. Owner's Authorized Representative: The Owner's authorized representative acts as the authorized representative of the Owner in conjunction with the project manager, and has authority to accept or reject materials or workmanship and to make minor changes in the work not involving extra cost...
I. CLARIFICATION OF DRAWINGS BEFORE BIDDING: After reviewing the drawings thoroughly it is the Contractor's responsibility to check the drawings for any inconsistencies or any questions the Contractor may have regarding the method of construction, quantities, or quality of materials included or called out...
J. SAMPLES: The Owner's Representative reserves the right to take and analyze samples of materials for conformity to specifications at any time...
K. PRE-CONSTRUCTION CONFERENCE: Schedule a pre-construction meeting with the Owner's Representative at least seven (7) days before beginning work...
L. Tree and Plant Protection

015639 Tree and Plant Protection

PART 1 GENERAL

- 1.1 SUMMARY
The scope of work includes all labor, materials, tools, equipment, facilities, transportation and services necessary for, and incidental to performing all operations in connection with protection of existing trees and other plants as shown on the drawings and as specified herein.
2. Provide preconstruction evaluations
3. Provide tree and plant protection fencing
4. Provide protection of root zones and above ground tree and plants
5. Provide pruning of existing trees and plants
6. Coordinate with the requirements of Section Planting Soil for modifications to the soil within the root zone of existing trees and plants
7. Provide all insect and disease control
8. Provide maintenance of existing trees and plants including irrigation during the construction period as recommended by the arborist report
9. Remove tree protection fencing and other protection from around and under trees and plants
10. Clean up and disposal of all excess and surplus material.

- 1.2 CONTRACT DOCUMENTS
A. Shall consist of specifications and general conditions and the drawings, the intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
B. It is the intent of this section that the requirements apply to all sections of the project specification such that any subcontractor must comply with the restrictions on work within designated Tree and Plant Protection Areas.
1.3 RELATED DOCUMENTS AND REFERENCES
A. Related Documents:
1. Drawings and general provisions of contract including general and supplementary conditions and Division I specifications apply to work of this section.
2. Section - Planting
B. References: The following specifications and standards of the organizations and documents listed in this paragraph form a part of the specification to the extent required by the references thereto. In the event that the requirements of the following referenced standards and specifications conflict with this specification section, the requirements of this specification shall prevail. In the event that the requirements of any of the following referenced standards and specifications conflict with each other the more stringent requirement shall prevail.
1. ANSI A300 (Part 5) - Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current editions.
2. Pruning practices shall conform with recommendations "Structural Pruning: A Guide For The Green Industry", Published by Urban Tree Foundation, Visalia, California, most current edition.
3. Glossary of Arboricultural Terms, International Society of Arboriculture, Champaign IL, most current edition.
1.4 VERIFICATION
A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.
1.5 PERMITS AND REGULATIONS
A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions. The Contractor shall comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a conflict exists between permit requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.
B. Wherever references are made to standards or codes in accordance with which work is to be performed or tested, the edition or revision of the standards and codes current on the effective date of this contract shall apply, unless otherwise expressly set forth.
C. In case of conflict among any referenced standards or codes or between any referenced standards and codes and the specifications, the more restrictive standard shall apply or Owner's Representative shall determine which shall govern.
1.6 PROTECTION OF WORK, PROPERTY AND PERSON
A. The Contractor shall protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
1.7 CHANGES IN THE WORK
A. The Owner's Representative may order changes in the work, and the contract sum should be adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extra compensation must be made and approved in writing before executing the work involved.
1.8 CORRECTION OF WORK
A. The Contractor shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative, at the soonest possible time that can be coordinated with other work and seasonal weather demands.
1.9 DEFINITIONS
All terms in this specification shall be as defined in the "Glossary of Arboricultural Terms" or as modified below.

Table with 4 columns: Soil type, Permanent will point v/v, Field capacity v/v. Rows include Sand, Loamy sand, Sandy loam, Loams, Sandy clay, Sandy clay loam, Clay loam, Silty loam, Silty clay, Silty clay loam.

- 2. Areas where foot traffic or storage of lightweight materials is anticipated to be unavoidable provide a layer of Filter Fabric under the 5 inches of Wood Chips or Mulch.
3. Areas where occasional light vehicle traffic is anticipated to be unavoidable provide a layer of Geogrids under 8 inches of Wood Chips or Mulch.
4. Areas where heavy vehicle traffic is unavoidable provide a layer of Geogrids under 8 - 12 inches of Wood Chips or Mulch and a layer of matting over the Wood Chips or Mulch.
B. The Owner's Representative shall approve the appropriate level of protection.
C. In the above requirements, light vehicle is defined as a truck skid steer with a ground pressure of 4 psi or lighter. A heavy vehicle is any vehicle with a tire or track pressure of greater than 4 psi. Lightweight materials are any packaged materials that can be physically moved by hand into the location. Bulk materials such as soil, or aggregate shall never be stored within the Tree and Plant Protection Area.
3.8 PROTECTION:
A. Protect the Tree and Plant Protection Area at all times from compaction of the soil; damage of any kind to trunks, bark, branches, leaves and roots of all plants; and contamination of the soil, bark or leaves with construction materials, debris, silt, fuels, oils, and any chemicals substance. Notify the Owner's Representative of any spills, compaction or damage and take corrective action immediately using methods approved by the Owner's Representative.
3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA:
A. The Contractor shall not engage in any construction activity within the Tree and Plant Protection Area without the approval of the Owner's Representative including: operating, moving or storing equipment; storing supplies or materials; locating temporary facilities including trailers or portable toilets and shall not permit employees to traverse the area to access adjacent areas of the project or use the area for lunch or any other work breaks. Permitted activity is any work within the Tree and Plant Protection Area maybe indicated on the drawings along with any required remedial activity as listed below.
B. In the event that construction activity is unavoidable within the Tree and Plant Protection Area, notify the Owner's Representative and submit a detailed written plan of action for approval. The plan shall include: a statement detailing the reason for the activity including why other areas are not the subject a description of the proposed activity; the time period for the activity, and a list of remedial actions that will reduce the impact on the Tree and Plant Protection Area from the activity. Remedial actions shall include but shall not be limited to the following:
1. In general, demolition and excavation within the drip line of trees and shrubs shall proceed with extreme care either by the use of hand tool, directional boring and or Air Knife excavation where indicated or with other low impact equipment that will not cause damage to the tree, roots or soil.
2. When encountered, exposed roots, 1 inches and larger in diameter shall be worked around in a manner that does not break the outer layer of the root surface (bark). These roots shall be covered in Wood Chips and shall be maintained above permanent will point at all times. Roots one inch and larger in diameter shall not be cut with out the approval of the owners representative. Excavation shall be tunneled under these roots without cutting them. In the areas where roots are encountered, work shall be performed and scheduled to close excavations as quickly as possible over exposed roots.
3. Tree branches that interfere with the construction may be tied back or pruned to clear only to the point necessary to complete the work. Other branches shall only be removed when specifically indicated by the Owner's Representative. Tying back or trimming of all branches and the cutting of roots shall be in accordance with accepted arboricultural practices (ANSI A300, part 8) and be performed under supervision of the arborist.
4. Matting: Install temporary matting over the Wood Chips or Mulch to the extent indicated. Do not permit foot traffic, scaffolding or the storage of materials within the Tree and Plant Protection Area to occur off of the temporary matting.
5. Trunk Protection: Protect the trunk of each tree to remain by covering it with a ring of 8 foot long 2 inch x 6 -inch planks loosely bonded to the trunk with 3 steel bands. Staple the bands to the planks as necessary to hold them securely in place. Trunk protection must be kept in place no longer than 12 months. If construction requires work near a particular tree to continue longer than 12 months, the steel bands shall be inspected every six months and loosened if they are found to have become tight.
6. Air Excavation Tool: If excavation for footings or utilities is required within the Tree and Plant Protection Area, air excavation tool techniques shall be used where practical or as designed on the drawings.
a. Remove the Wood Chips from an area approximately 18 inches beyond the limits of the hole or trench to be excavated. Cover the Wood Chips for a distance of not less than 15 feet around the limit of the excavation area with Filter Fabric or plastic sheathing to protect the Wood Chips from silt. Mound the Wood Chips so that the plastic slopes towards the excavation.
b. Using a sprinker or soaker hose, apply water slowly to the area of the excavation for a period of at least 4 hours, approximately 12 hours prior to the work so that the ground water level is at or near field capacity of the beginning of the work. For excavations that go beyond the damp soil, rewet the soil as necessary to keep soil moisture near field capacity.
c. Using an air excavation tool specifically designed and manufactured for the intended purpose, and at pressures recommended by the manufacturer of the equipment, fracture the existing soil to the shape and the depths required for the work. Work at rates and using techniques that do not harm tree roots. Air pressure shall be a maximum of 90-100 psi.
1.) The air excavation tool shall be "Air-Spade" as manufactured by Concept Engineering Group, Inc., Verona, PA (412) 826-8800, or Air Knife as manufactured by Easy Use Air Tools, Inc. Allison Park, Pa (866) 328-5733 or approved equal.
2.) Using a commercial, high-powered vacuum truck if required, remove the soil from the excavation produced by the Air Knife excavation. The vacuum truck should generally operate simultaneously with the hose operator, such that the soil produced is picked up from the excavation hole, and the exposed roots can be observed and not damaged by the ongoing operation. Do not drive the vacuum truck into the Tree and Plant Protection Area unless the area is protected from compaction as approved in advance by the Owner's Representative.
e. Remove all excavated soil and excavated Wood Chips, and contaminated soil at the end of the excavation.
f. Schedule the work so that foundations or utility work is completed immediately after the excavation. Do not let the roots dry out. Mit the roots several times during the day. If the excavated area must remain open over night, mulch the roots and cover the excavation with plastic.
g. Dispose of all soil in a manner that meets local laws and regulations.
h. Restore soil within the trench as soon as the work is completed. Utilize soil of similar texture to the removed soil and lightly compact with hand tools. Leave soil mounded over the trench to a height of approximately 10% of the trench depth to account for settlement.
i. Restore any Geogrids, Filter Fabric, Wood Chips or Mulch and/or matting that was previously required for the area.
3.10 TREE REMOVAL:
A. Remove all trees indicated by the drawings and specifications, as requiring removal, in a manner that will not damage adjacent trees or structures or compacts the soil.
B. Remove trees that are adjacent to trees or structures to remain, in sections, to limit the opportunity of damage to adjacent crowns, trunks, ground plane elements and structures.
C. Do not drop trees with a single cut unless the tree will fall in an area not included in the Tree and Plant Protection Area. No tree to be removed within 50 feet of the Tree and Plant Protection Area shall be pushed over or root-protected using a piece of grading equipment.
D. Protect adjacent paving, soil, trees, shrubs, ground cover plantings and understory plants to remain from damage during all tree removal operations, and from construction operations. Protection shall include the root system, trunks, limbs, and crown trunks, breakage or scoring, and the soil from compaction.
E. Remove stumps and immediate root plate from existing trees to be removed. Grind trunk bases and large buttress roots to a depth of the largest buttress root or at least 18 inches below the top trunk whorl which ever is less and over the area of three times the diameter of the trunk (DBH).
1. For trees where the stump will fall under new paved areas, grind roots to a total depth of 18 inches below the existing grade. If the sides of the stump hole still have greater than approximately 20% wood visible, continue grinding operation deeper and or wider until the resulting hole has less than 20% wood. Remove all wood chips produced by the grinding operation and back fill in 8 inch layers with controlled fill of a quality acceptable to the site engineer for fill material under structures, compacted to 95% of the maximum dry density standard proctor. The Owner's Representative shall approve each hole at the end of the grinding operation.
2. In areas where the tree location is to be a planting bed or lawn, remove all woodchips and backfill stump holes with planting soil as defined in Specification Section Planting Soil, in maximum of 12 inch layers and compact to 80 - 85% of the maximum dry density standard proctor.
3.11 PRUNING:
A. Within six months of the estimated date of substantial completion, prune all dead or hazardous branches larger than 2 inch in diameter from all trees to remain.
B. Implement all pruning recommendations found in the arborist report.
C. Prune any low, hanging branches and vines from existing trees and shrubs that overhang walks, streets and drives, or parking areas as follows:
1. Walks - within 8 feet vertically of the proposed walk elevation.
2. Parking areas - within 12 feet vertically of the proposed parking surface elevation.
3. Streets and drives - within 14 feet vertically of the proposed driving surface elevation.
D. All pruning shall be done in accordance with ANSI A300 (part 1), ISA BMP Tree Pruning (latest edition, and the "Structural Pruning: A Guide for the Green Industry", Edward Gilman, Brian Kempf, Nelda Matheny and Jim Clark, 2013 Urban Tree Foundation, Visalia CA.
E. Perform other pruning tasks as indicated on the drawings or requested by the Owner's Representative.
F. Where tree specific disease vectors require, sterilize all pruning tools between the work in individual trees.
3.13 WATERING
A. The Contractor shall be fully responsible to ensure that adequate water is provided to all plants to be preserved during the entire construction period. Adequate water is defined to be maintaining soil moisture above the permanent will point to a depth of 8 inches or greater.
B. Implement all watering recommendations found in the arborist report, if available, and apply additional water, using hoses or water tanks as required.
C. Periodically test the moisture content in the soil within the root zone to determine the water content.
3.14 WEED REMOVAL
A. During the construction period, control any plants that seed in and around the fenced Tree and Plant Protection area at least three times a year.
1. All plants that are not shown on the planting plan or on the Tree and Plant Protection Plan to remain shall be considered as weeds.
B. At the end of the construction period provide one final weeding of the Tree and Plant Protection Area.
3.15 INSECT AND DISEASE CONTROLLER
A. Monitor all plants to remain for disease and insect infestations during the entire construction period. Provide all disease and insect control required to keep the plants in a healthy state using the principles of Integrated Plant Management (IPM). All pesticides shall be applied by a certified pesticide applicator.
3.16 CLEAN UP
A. During tree and plant protection work, keep the site free of trash, pavements reasonably clean and work area in an orderly condition at the end of each day. Remove trash and debris in containers from the site no less than once a week.
1. Immediately clean up any spilled or tracked soil, fuel, oil, trash or debris deposited by the Contractor from all surfaces within the project or on public right of ways and neighboring property.
B. Once tree protection work is complete, wash oil soil from pavements and other structures. Ensure that Mulch is confined to planting beds.
C. Make all repairs to grades, ruts, and damage to the work or other work of the site.
D. Remove and dispose of all excess Mulch, Wood Chips, packaging, and other material brought to the site by the Contractor.
3.17 Removal of fencing and other Tree and plant protection
A. At the end of the construction period and when requested by the Owner's Representative remove all fencing, Wood Chips or Mulch, Geogrids and Filter Fabric, trunk protection and/or any other Tree and Plant Protection material.
3.18 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN

- 1. Areas within the Tree and Plant Protection area provide a minimum of 5 inches of Wood Chips or Mulch.
2. Areas where foot traffic or storage of lightweight materials is anticipated to be unavoidable provide a layer of Filter Fabric under the 5 inches of Wood Chips or Mulch.
3. Areas where occasional light vehicle traffic is anticipated to be unavoidable provide a layer of Geogrids under 8 inches of Wood Chips or Mulch.
4. Areas where heavy vehicle traffic is unavoidable provide a layer of Geogrids under 8 - 12 inches of Wood Chips or Mulch and a layer of matting over the Wood Chips or Mulch.
B. The Owner's Representative shall approve the appropriate level of protection.
C. In the above requirements, light vehicle is defined as a truck skid steer with a ground pressure of 4 psi or lighter. A heavy vehicle is any vehicle with a tire or track pressure of greater than 4 psi. Lightweight materials are any packaged materials that can be physically moved by hand into the location. Bulk materials such as soil, or aggregate shall never be stored within the Tree and Plant Protection Area.

- B. Any trees or plants designated to remain and which are damaged by the Contractor shall be replaced in kind by the Contractor at their own expense. Trees shall be replaced with a tree of similar species and of equal size or 6 inch caliper which ever is less. Shrubs shall be replaced with a plant of similar species and equal size or the largest size plants reasonably available which ever is less. Where replacement plants are to be less than the size of the plant that is damaged, the Owner's Representative shall approve the size and quality of the replacement plant.
1. All trees and plants shall be installed per the requirements of Specification Section Planting.
C. Plants that are damaged shall be considered as requiring replacement or approval in the event that the damage affects more than 25 % of the crown, 25% of the trunk circumference, or root protection area, or the tree is damaged in such a manner that the tree could develop into a potential hazard. Trees and shrubs to be replaced shall be removed by the Contractor at his own expense.
1. The Owner's Representative may engage an independent arborist to assess any tree or plant that appears to have been damaged to determine their health or condition.
C. Any tree that is determined to be dead, damaged or potentially hazardous by the Owner's arborist and upon the request of the Owner's Representative shall be immediately removed by the Contractor at no additional expense to the Owner. Tree removal shall include all clean up of all wood parts and grinding the stump to a depth sufficient to plant the replacement tree or plant, removal of all chips from the site and filling the resulting hole with topsoil.
D. Any remedial work on damaged existing plants recommended by the consulting arborist shall be completed by the Contractor at no cost to the owner. Remedial work shall include but is not limited to: soil compaction remediation and vertical mulching, pruning and/or cabling, insect and disease control including injections, compensatory watering, additional mulching, and could include application tree growth regulators (TGR).
E. Remedial work may extend up to two years following the completion of construction to allow for any requirements of multiple applications or the need to undertake applications of required seasons of the year.
END OF SECTION 015639

SECTION 32 9300 PLANTING

- PART 1 GENERAL
1.1 SUMMARY
A. The scope of work includes all labor, materials, appliances, tools, equipment, facilities, transportation and services necessary for, and incidental to performing all operations in connection with furnishing, delivery, and installation of plant (also known as "landscaping") complete as shown on the drawings and as specified herein.
B. The scope of work in this section includes, but is not limited to, the following:
1. Locate, purchase, deliver and install all specified plants.
2. Water, provide specified plants.
3. Mulch, fertilize, stake, and prune all specified plants.
4. Maintenance of all specified plants until the beginning of the warranty period.
5. Plant warranty.
6. Clean up and disposal of all excess and surplus material.
7. Maintenance of all specified plants during the warranty period.
1.2 CONTRACT DOCUMENTS
A. Shall consist of specifications and general conditions and the construction drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
1.3 RELATED DOCUMENTS AND REFERENCES
A. Related Documents:
1. Drawings and general provisions of contract including general and supplementary conditions and Division I specifications apply to work of this section
2. Related Specification Sections
a. Section - Tree Protection and Plant Protection
B. References: The following specifications and standards of the organizations and documents listed in this paragraph form a part of the specification to the extent required by the references thereto. In the event that the requirements of the following referenced standards and specification conflict with this specification section the requirements of this specification shall prevail. In the event that the requirements of any of the following referenced standards and specifications conflict with each other the more stringent requirement shall prevail or as determined by the Owner's Representative.
1. State of California, Department of Food and Agriculture, Regulations for Nursery Inspectors, Rules and Grading.
2. ANSI Z60.1 American Standard for Nursery Stock, most current edition.
3. ANSI A300 - Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current edition and parts.
4. Florida Grades and Standards for Nursery Stock, current edition (Florida Department of Agriculture, Tallahassee FL).
5. Interpretation of plant names and descriptions shall reference the following documents. Where the names or plant descriptions disagree between the several documents, the most current document shall prevail.
a. USDA - The Geoplasm Resources Information Network (GRIN) http://www.ars-grin.gov/npgs/searchgrin.html
b. Manual of Woody Landscape Plants; Michael Dirr; Stipes Publishing, Champaign, Illinois; Most Current Edition.
c. The New Sunset Western Garden Book, Oxnard House, most current edition.
6. Pruning practices shall conform to recommendations "Structural Pruning: A Guide For The Green Industry" most current edition, published by Urban Tree Foundation, Visalia, California.
7. Glossary of Arboricultural Terms, International Society of Arboriculture, Champaign IL, most current edition.
1.4 VERIFICATION
A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.
B. In the case of a discrepancy in the plant quantities between the plan drawings and the plant call outs, list or plant schedule, the number of plants or square footage of the planting bed actually drawn on the plan drawings shall deemed correct and prevail.
1.5 PERMITS AND REGULATIONS
A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions. The Contractor shall comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a conflict exists between permit requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.
B. Wherever references are made to standards or codes in accordance with which work is to be performed or tested, the edition or revision of the standards and codes current on the effective date of this contract shall apply, unless otherwise expressly set forth.
C. In case of conflict among any referenced standards or codes or between any referenced standards and codes and the specifications, the more restrictive standard shall apply or Owner's Representative shall determine which shall govern.
1.6 PROTECTION OF WORK, PROPERTY AND PERSON
A. The Contractor shall adequately protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
1.7 CHANGES IN THE WORK
A. The Owner's Representative may order changes in the work, and the contract sum should be adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extra compensation must be made and approved in writing before executing the work involved.
B. All changes in the work, notifications and contractor's request for information (RFI) shall conform to the contract general condition requirements.
1.8 CORRECTION OF WORK
A. The Contractor, at their own cost, shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative, at the soonest as possible time that can be coordinated with other work and seasonal weather demands.
1.9 DEFINITIONS
A. All terms in this specification shall be as defined in the "Glossary of Arboricultural Terms" or as modified below.
A. Bred trees: A container root ball package made of wood in the shape of a four-sided box.
B. Container plant: Plants that are grown in and/or are currently in a container including banded trees.
C. Defective plant: Any plant that fails to meet the plant quality requirement of this specification.
D. End of Warranty Final Acceptance: the date when the Owner's Representative accepts that the plants and work in this section meet all the requirements of the warranty. It is intended that the materials and workmanship warranty for Planting, Planting Soil, and irrigation work run concurrent with each other.
E. Field grown trees (B&B): Trees growing in field soil for at least 12 months prior to harvest.
A. Healthy: Plants that are growing in a condition that expresses leaf size, crown density, color, and with annual growth rates typical of the species and cultivar's horticultural description, adjusted for the planting site soil, drainage and weather conditions.
G. Kinked root: A root within the root package that bends more than 90 degrees.
H. Maintenance: Actions that preserve the health of plants after installation and as defined in this specification.
I. Maintenance period: the time period, as defined in this specification, which the Contractor is to provide maintenance.
J. Normal: the prevailing protocol of industry standards.
K. Owner's Representative: the person appointed by the Owner to represent their interest in the review and approval of the work and to serve as the contracting authority with the Contractor. The Owner's Representative or Owner may appoint other persons to review and approve any aspects of the work, such as the landscape architect who prepared the plans.
L. Reasonable and reasonably: When used in this specification relate to plant quality, it is intended to mean that the conditions cited will not affect the establishment or long term stability, health or growth of the plant. This specification recognizes that it is not possible to produce plants free of all defects, but that some accepted industry protocols and standards result in plants unacceptable to this project.

- When reasonable or reasonably is used in relation to other issues such as weeds, diseases, insects, it shall mean at levels low enough that no treatment would be required when applying recognized integrated Plant Management practices.
This specification recognizes that some decisions cannot be totally based on measured findings and that professional judgment is required. In cases of differing opinion, the Owner's Representative's expert shall determine when conditions are judged as reasonable.
R. Root ball: The mass of roots including any soil substrate that is shipped with the tree within the root ball package.
W. Root ball package: The material that surrounds the root ball during shipping. The root package may include the material in which the plant was grown, or new packaging placed around the root ball for shipping.
O. Root collar (root crown, root flare, trunk flare, etc.): The region at the base of the trunk where the majority of the structural roots join the plant stem, usually at or near ground level.
P. Shrub: Woody plants with mature height approximately less than 15 feet.
Q. Spade harvested and transplanted: Field grown trees that are mechanically harvested and immediately transplanted to the final growing site without being removed from the digging machine.
R. Stem: The trunk of the tree.
S. Substantial Completion Acceptance: The date at the end of the Planting, Planting Soil, and Irrigation installation where the Owner's Representative accepts that all work in these sections is complete and the Warranty period has begun. This date may be different than the date of substantial completion for the other sections of the project.
T. Stem girdling root: Any root more than 1/4 inch diameter currently touching the trunk, or with the potential to touch the trunk, above the root collar approximately tangent to the trunk circumference or circling the trunk. Roots shall be considered as Stem Girdling that have, or are likely to have in the future, root to trunk bark contact.
U. Structural root: One of the largest roots emerging from the root collar.
V. Tree: Single and multi-stemmed plants with mature height approximately greater than 15 feet.
1.10 SUBMITTALS
A. See contract general conditions for policy and procedure related to submittals.
B. Submit all product submittals 4 weeks prior to installation of plants.
C. Product data: Submit manufacturer product data and literature describing all products required by this section to the Owner's Representative for approval. Provide submittal four weeks before the installation of plants.
D. Plant growth certificates: Submit plant grower's certificates for all plants indicating that each meets the requirements of the specification, including the requirements of free quality, to the Owner's Representative for approval. Provide submittal four weeks before the installation of plants.
E. Samples: Submit samples of each product and material where required by the specification to the Owner's Representative for approval. Label samples to indicate product, characteristics, and locations in the work. Samples will be reviewed for appearance only. Compliance with all other requirements is the exclusive responsibility of the Contractor.
F. Plant sources: Submit sources of all plants as required by Article - "Selection of Plants" to the Owner's Representative for approval.
G. Close out submittals: Submit to the Owner's Representative for approval.
1. Plant maintenance data and requirements.
H. Warranty period site visit record: If there is no maintenance during the warranty period, after each site visit during the warranty period, by the Contractor, as required by this specification, submit a written record of the visit, including any problems, potential problems, and any recommended corrective action to the Owner's Representative for approval.
1.11 OBSERVATION OF THE WORK
A. The Owner's Representative may observe the work at any time. They may remove samples of materials for conformity to specifications. Rejected materials shall be immediately removed from the site and replaced at the Contractor's expense. The cost of testing materials not meeting specifications shall be paid by the Contractor.
B. The Owner's Representative shall be informed of the progress of the work so the work may be observed at the following key times in the construction process. The Owner's Representative shall be afforded sufficient time to schedule visit to the site. Failure of the Owner's Representative to make field observations shall not relieve the Contractor from meeting all the requirements of this specification.
1. SITE CONDITIONS PRIOR TO THE START OF PLANTING: review the soil and drainage conditions.
2. COMPLETION OF THE PLANT LAYOUT STAKING: Review of the plant layout.
3. PLANT QUALITY: Review of plant quality of the time of delivery and prior to installation. Review tree quality prior to unloading where possible, but in all cases prior to planting.
4. COMPLETION OF THE PLANTING: Review the completed planting.
1.12 PRE-CONSTRUCTION CONFERENCE
A. Schedule a pre-construction meeting with the Owner's Representative at least seven (7) days before beginning work to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.
1.13 QUALITY ASSURANCE
A. Substantial Completion Acceptance - Acceptance of the work prior to the start of the warranty period:
1. Once the Contractor completes the installation of all items in this section, the Owner's Representative will observe work for Substantial Completion Acceptance upon written request of the Contractor. The request shall be received at least ten calendar days before the anticipated date of the observation.
2. Substantial Completion Acceptance by the Owner's Representative shall be for general conformance to specified size, character and quality and not relieve the Contractor of responsibility for full conformance to the contract documents, including contract species.
3. Any plants that are deemed defective as defined under the provisions below shall not be accepted.
B. The Owner's Representative will provide the Contractor with written acknowledgment of the date of Substantial Completion Acceptance and the beginning of the warranty period and plant maintenance period (if plant maintenance is included).
C. Contractor's Quality Assurance Responsibilities: The Contractor is solely responsible for quality control of the work.
D. Installer Qualifications: The installer shall be a firm having at least 5 years of successful experience of a scope similar to that required for the work, including the handling and planting of large specimen trees in urban areas. The same firm shall install planting soil (where applicable) and plant materials.
1. The bidders list for work under this section shall be approved by the Owner's Representative.
2. Installer Field Supervision: When any planting work is in progress, installer shall maintain, on site, a full-time supervisor who can communicate in English with the Owner's Representative.
3. Installer's field supervisor shall have a minimum of five years experience as a field supervisor installing plants and trees of the quality and scale of the proposed project, and can communicate in English with the Owner's Representative.
4. The installer's crew shall have a minimum of 3 years experienced in the installation of Planting Soil, Plantings, and Irrigation (where applicable) and interpretation of soil plans, planting plans and irrigation plans.
E. 1.14 PLANT WARRANTY:
1. The Contractor agrees to replace defective work and defective plants. The Owner's Representative shall make the final determination if plants meet these specifications and that plants are defective. Plants warranty shall begin on the date of Substantial Completion Acceptance and continue for the following periods, classed by plant type:
a. Trees - 1 Year(s).
e. Shrubs - 1 Year(s).
f. Ground cover and perennial flower plants - 1 Year(s).
g. Bulbs, annual flower and seasonal color plants - for the period of expected bloom or primary display.
2. When the work is accepted in parts, the warranty periods shall extend from each of the partial Substantial Completion Acceptances to the terminal date of the last warranty period. Thus, all warranty periods for each class of plant warranty, shall terminate at one time.
3. All plants shall be warranted to meet all the requirements for plant quality at installation in this specification. Defective plants shall be defined as plants not meeting these requirements. The Owner's representative shall make the final determination that plants are defective.
2. Plants determined to be defective shall be removed immediately upon notification by the Owner's Representative and replaced without cost to the Owner, as soon as weather conditions permit and within the specified planting period.
3. Any work required by this specification of the Owner's Representative during the progress of the work, to correct plant defects including the removal of roots or branches, or planting plants that have been rooted during installation to observe for or correct root defects shall not be considered as grounds to void any conditions of the contract price. In the event that the Contractor decides that such remediation work may compromise the future health of the plant, the plant or plants in question shall be rejected and replaced with plants that do not contain defects that require remediation or correction.
4. The Contractor is exempt from replacing plants, after Substantial Completion Acceptance and during the warranty period, that are removed by others, lost or damaged due to occupancy of project, lost or damaged by a third party, vandalism, or any natural disaster.
5. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification. Make all necessary repairs due to plant replacements. Such repairs shall be done at no extra cost to the Owner.
6. The warranty of all replacement plants shall extend for an additional one-year period from the date of their acceptance after replacement. In the event that a replacement plant is not acceptable during or at the end of the said extended warranty period, the Owner's Representative may elect one more replacement items or credit for each item. These tertiary replacement items are not protected under a warranty period.
7. During and by the end of the warranty period, remove all tree wrap, ties, and givings unless agreed to by the Owner's Representative to remain in place. All trees that do not have sufficient caliper to remain upright, or those requiring additional anchorage in windy locations, shall be staked or remain staked, if required by the Owner's Representative.
B. End of Warranty Final Acceptance - Acceptance of plants at the end of the warranty period.
1. At the end of the warranty period, the Owner's Representative shall observe all warranted work upon written request of the Contractor. The request shall be received at least ten calendar days before the anticipated date for final observation.
2. End of Warranty Final Acceptance - Acceptance of plants at the end of the warranty period. This specification and in specification sections Planting Soil and Irrigation have been met.

Consultants:

Revisions: 2025-09-26: Intake 2025-11-19: Resubmittal 2026-02-02: Resubmittal

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Drawn By: SG Drawing #: 1347 Date: 9/26/2025

LANDSCAPE SPECIFICATIONS



planning + landscape architecture 3601 PGA Blvd., Suite 220, Palm Beach Gardens, FL 33410 phone: 561-249-0940 email: info@insitestudio.com www.insitestudio.com License #: LC26000606

1.15 SELECTION AND OBSERVATION OF PLANTS

A. The Owner's Representative may review all plants subject to approval of size, health, quality, character, etc. Review or approval of any plant during the process of selection, delivery, installation and establishment period shall not prevent that plant from later rejection in the event that the plant quality changes or previously existing defects become apparent that were not observed.

B. Plant Selection: The Owner's Representative reserves the right to select and observe all plants at the nursery prior to delivery and to reject plants that do not meet specifications as set forth in this specification. If a particular defect or substantial defect can be corrected at the nursery, as determined by the Owner's Representative, the agreed upon remedy may be applied by the nursery or the Contractor provided that the correction allows the plant to meet the requirements set forth in this specification. Any work to correct plant defects shall be at the contractor's expense.

1. The Owner's Representative may make invasive observation of the plant's root system in the area of the root collar and the top of the root ball in general in order to determine that the plant meets the quality requirements for depth of the root collar and presence of roots above the root collar. Such observations will not harm the plant.

2. Corrections are to be undertaken at the nursery prior to shipping.

C. The Contractor shall bear all cost related to plant corrections.

D. All plants that are rejected shall be immediately removed from the site and acceptable replacement plants provided at no cost to the Owner.

E. Submit to the Owner's Representative, for approval, plant sources including the names and locations of nurseries proposed as sources of acceptable plants, and a list of the plants they will provide. The plant list shall include the botanical and common name and the size at the time of selection. Observe all nursery materials to determine that the materials meet the requirements of this section.

F. The Contractor shall require the grower or wholesale supplier to permit the Owner's Representative to observe the root system of all plants at the nursery or job site prior to planting including random removal of soil or substrate around the base of the plant. Observation may be as frequent and as extensive as needed to verify that the plants meet the requirements of the specifications and conform to requirements.

G. Where requested by the Owner's Representative, submit photographs of plants or representative samples of plants. Photographs shall be legible and clearly depict the plant specimen. Each submitted image shall contain a height reference stick. The approval of plants by the Owner's Representative via photograph does not preclude the Owner's Representative's right to reject material while on site.

1.16 PLANT SUBSTITUTIONS FOR PLANTS NOT AVAILABLE

A. Submit all requests for substitutions of plant species, or size to the Owner's Representative, for approval, prior to purchasing the proposed substitution. Request for substitution shall be accompanied with a list of nurseries contacted in the search for the required plant and a record of other attempts to locate the required material. Requests shall also include sources of plants found that may be of a smaller or larger size, or a different shape or habit than specified, or plants of the same genus and species but different cultivar origin, or which may otherwise not meet the requirements of the specifications, but which may be available for substitution.

1.17 SITE CONDITIONS

A. It is the responsibility of the Contractor to be aware of all surface and sub-surface conditions, and to notify the Owner's Representative, in writing, of any circumstances that would negatively impact the health of plantings. Do not proceed with work until unsatisfactory conditions have been corrected.

1. Should subsurface drainage or soil conditions be encountered which would be detrimental to growth or survival of plant material, the Contractor shall notify the Owner's Representative in writing, stating the conditions and submit a proposal covering plant corrections. If the Contractor fails to notify the Owner's Representative of such conditions, he/she shall remain responsible for plant material under the warranty clause of the specifications.

B. It is the responsibility of the Contractor to be familiar with the local growing conditions, and if any specified plants will be in conflict with these conditions. Report any potential conflicts, in writing, to the Owner's Representative.

C. This specification requires that all Planting Soil and Irrigation (if applicable) work be completed and accepted prior to the installation of any plants.

1. Planting operations shall not begin until such time that the irrigation system is completely operational for the area(s) to be planted, and the irrigation system for that area has been preliminarily observed and approved by the Owner's Representative.

D. Actual planting shall be performed during those periods when weather and soil conditions are suitable in accordance with locally accepted horticultural practices.

1. Do not install plants into saturated or frozen soils. Do not install plants during inclement weather, such as rain or snow or during extremely hot, cold or windy conditions.

1.18 PLANTING AROUND UTILITIES

A. Contractor shall carefully examine the civil, record, and survey drawings to become familiar with the existing underground conditions before digging.

B. Determine location of underground utilities and perform work in a manner that will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until parties concerned mutually agree upon removal.

C. Notification of Local Utility Locator Service, Sunshine 811, is required for all planting areas; The Contractor is responsible for knowing the location and avoiding utilities that are not covered by Sunshine 811.

PART 2 PRODUCTS

2.1 PLANTS - GENERAL

A. Standards and measurement: Provide plants of quantity, size, genus, species, and variety or cultivars as shown and scheduled in contract documents.

1. All plants including the root ball dimensions or container size, trunk caliper ratio shall conform to ANSI Z60.1 "American Standard for Nursery Stock" latest edition, unless modified by provisions in this specification. When there is a conflict between this specification and ANSI Z60.1, this specification section shall be considered correct.

2. Plants larger than specified may be used if acceptable to the Owner's Representative. Use of such plants shall not increase the contract price. If larger plants are accepted the root ball size shall be in accordance with ANSI Z60.1. Larger plants may not be acceptable if the resulting root ball cannot fit into the required planting space.

3. If a range of size is given, no plant shall be less than the minimum size and not less than 50 percent of the plants shall be as large as the maximum size specified. The measurements specified are the minimum and maximum size acceptable and are the measurements after pruning, where pruning is required.

B. Proper identification: All trees shall be true to name as ordered or shown on planting plans.

C. Compliance: All trees shall comply with federal and state laws and regulations regarding observation for plant disease, pest, and weeds. Observation certificates required by law shall accompany each shipment of plants.

D. Plant Quality:

1. **General:** Provide healthy stock, grown in a nursery and reasonably free of die-back, disease, insects, eggs, borers, and larvae. At the time of planting, all plants shall have a central leader, stem, and branch form that will not restrict normal growth, stability and health for the expected life of the plant.

2. **Plant quality above the soil line:**

a. Plants shall be healthy with the color, shape, size and distribution of trunk, stems, branches, buds and leaves normal to the plant type specified. Tree quality above the soil line shall comply with the Florida Grapes and Standards tree grade Florida Fancy or Florida #1 and the following:

- Crown: The form and density of the crown shall be typical for a young specimen of the species or cultivar prior to a central and dominant leader.
 - Crown specifications do not apply to plants that have been specifically trained in the nursery as topiary, espalier, multi-trunk, clump, or unique selections such as contorted or weeping cultivars.
- Leaves: the size, color, and appearance of leaves shall be typical for the time of year and stage of growth of the species or cultivar. Trees shall not show signs of prolonged moisture stress or over watering as indicated by wilted, shriveled, or dead leaves.
- Branches: Shoot growth (length and diameter) throughout the crown should be appropriate for the age and size of the species or cultivar. Trees shall not have dead, diseased, broken, distorted, or otherwise injured branches.
 - Main branches shall be distributed along the central leader trunk not clustered together. They shall form a balanced crown appropriate for the cultivar/species.
 - Main branches shall be no larger than two-thirds (one-half is preferred) the diameter of the central leader measured 1 inch above the branch union.
 - The attachment of the largest branches (scaffold branches) shall be free of included bark.
- Trunk: The tree trunk shall be relatively straight, vertical, and free of wounds that penetrate to the wood (properly made pruning cuts, closed or not, are acceptable and are not considered wounds), sunburned areas, canks (wound healing bodies), wood rottings, rock sap leakage, signs of boring insects, galls, cankers, girdling ties, or lesions (mechanical injury).

3. Trees shall have one central leader. If the leader was headed, a new leader (with a live terminal bud) at least one-half the diameter of the pruned cut shall be present.

1.) All trees are assumed to have one central leader trees unless a different form is specified in the plant list or drawings.

4. All graft unions, where applicable, shall be completely closed without visible sign of graft rejection. All grafts shall be visible above the soil line.

5. Trunk caliper and taper shall be sufficient so that the lower five feet of the trunk remains vertical without a stake. Auxiliary stake may be used to maintain a straight leader in the upper half of the tree.

3. **Plant quality at or below the soil line:**

a. Plant roots shall be normal to the plant type specified. Root observations shall take place without impacting tree health. Root quality at or below the soil line shall comply with the project Root Acceptance details and the following:

- The roots shall be reasonably free of scrapes, broken or split wood.
- The root system shall be reasonably free of injury from biotic (e.g., insects and pathogens) and abiotic (e.g., herbicide toxicity and salt injury) agents. Wounds resulting from root pruning used to produce a high quality root system are not considered injuries.
- A minimum of three structural roots reasonably distributed around the trunk (not clustered on one side) shall be found in each plant. Root distribution shall be uniform throughout the root ball, and growth shall be appropriate for the species.
 - Plants with structural roots on only one side of the trunk (J roots) shall be rejected.
- The root collar shall be within the upper 2 inches of the substrate/soil. Two structural roots shall reach the side of the root ball near the top surface of the root ball. The grower may request a modification to this requirement for species with roots that rapidly descend, provided that

the grower removes all stem girdling roots above the structural roots across the top of the root ball.

5.) The root system shall be reasonably free of stem girdling roots over the root collar or kninked roots from nursery production practices.

6.) At time of observation and delivery, the root ball shall be moist throughout. Roots shall not show signs of excess soil moisture conditions as indicated by stunted, discolored, distorted, or dead roots.

E. Submittals: Submit for approval the required plant quality certification from the grower where plants are to be purchased, for each plant type. The certification must state that each plant meets all the above plant quality requirements.

1. The grower's certification of plant quality does not prohibit the Owner's Representative from observing any plant or rejecting the plant if it is found to not meet the specification requirements.

2. **ROOT BALL PACKAGE OPTIONS:** The following root ball packages are permitted. Specific root ball packages shall be required where indicated on the plant list or in this specification. Any type of root ball packages that is not specifically defined in this specification shall not be permitted.

A. BALLED AND BURRAPPEED PLANTS

2. All Balled and Burlrapped Plants shall be field grown, and the root ball packaged in a burtop and twine and/or butrap and wire basket package.

3. Plants shall be harvested with the following modifications to standard nursery practices.

a. Prior to digging any tree that fails to meet the requirement for maximum soil and roots above the root collar, carefully removed the soil from the top of the root ball of each plant, using hand tools, water or an air spade, to locate the root collar and obtain the soil depth over the structural roots requirements. Remove all stem girdling roots above the root collar. Care must be exercised not to damage the surface of the root collar and the top of the structural roots.

b. Trees shall be dug for a minimum of 4 weeks and a maximum of 52 weeks prior to shipping. Trees dug 4 to 52 weeks prior to shipping are defined as hardened-off. Digging is defined as cutting all roots and lifting the tree out of the ground and either moving it to a new location in the nursery or placing it dug into the same hole. Trees that are stored out of the ground should be placed in a holding area protected from extremes of wind and sun with the root ball protected by covering with mulch or straw and irrigated sufficiently to keep moisture in the root ball above will point and below saturation.

c. If wire baskets are used to support the root ball, a "low profile" basket shall be used. A low profile basket is defined as having the top of the highest loops on the basket no less than 4 inches and no greater than 8 inches below the shoulder of the root ball package. The basket shall be removed completely at time of planting.

1.) At nurseries where sandy soils prevent the use of "low profile baskets", baskets that support the entire root ball, including the top, are allowable.

d. Twine and butrap used for wrapping the root ball package shall be natural, biodegradable material. If the butrap decomposes after digging the tree then the root ball shall be re-wrapped prior to shipping if roots have not yet grown to keep root ball intact during shipping.

SPADE HARVESTED AND TRANSPLANTED

1. Spade Harvested and Transplanted Plants shall meet all the requirements for field grown trees. Root ball diameters shall be of similar size as the ANSI Z60.1 requirements for Balled and Burlrapped plants.

2. Trees shall be harvested prior to leafing out (bud break) in the spring or during the fall planting period except for plants known to be considered as fall planting hazards. Plants that are fall planting hazards shall only be harvested prior to leafing out in the spring.

3. Trees shall be moved and planted within 48 hours of the initial harvesting and shall remain in the spade machine until planted.

C. CONTAINER (INCLUDING ABOVE-GROUND FABRIC CONTAINERS AND BOXES) PLANTS

4. Container plants may be permitted only when indicated on the drawing, in this specification, or approved by the Owner's Representative.

5. Provide plants shall be established and well rooted in removable containers.

6. Container class size shall conform to ANSI Z60.1 for container plants for each size and type of plant.

D. BARE ROOT PLANTS

7. Harvest bare root plants while the plant is dormant and a minimum of 4 weeks prior to leaf out (bud break).

8. The root spread dimensions of the harvested plants shall conform to ANSI Z60.1 for nursery grown bare root plants for each size and type of plant. Just prior to shipping to the job site, dip the root system into a slurry of hydrogel (cross linked polyacrylamide) and water mixed at a rate of 15 oz. of hydrogel in 25 gallons of water. Do not shake off the excess hydrogel. Place the root system in a pleated black plastic bag and tie the bag snugly around the trunk. Bundle and tie the upper branches together.

9. Keep the trees in a cool dark space for storage and delivery. If daytime outside temperatures exceeds 70 degrees F, utilize a refrigerated storage area with temperature between 35 and 50 degrees.

10. Where possible, plan time of planting to be before bud break. For trees to be planted after bud break, place the trees before bud break in an irrigated bed of peat gravel.

a. The peat gravel bed shall be 18 inches deep over a sheet of plastic.

b. Spade trees to allow the unbanded branches to grow without shading each other.

c. Once stored in peat gravel, allow the trees sufficient time for the new root system to flush and spring growth of leaves to fully develop before planting.

d. Peat gravel stored trees may be kept for up to one growing season.

e. Peat gravel stored trees shall be dipped, packaged and shipped similar to the requirements for freshly dug bare root trees above.

2.3 ANNUAL, FLOWERING AND SEASONAL COLOR PLANTS

E. Container or flat-grown plants should be staked as noted in the planting plan. Plants shall be well-rooted and healthy.

2.4 PALMS

F. Except as modified below or where the requirements are not appropriate to the specification of palms, palms shall meet all the requirements of the plant quality section above.

G. Defoliating, tying, and hedging:

1. In preparing palm trees for relocation, all dead fronds shall be removed.

6. All remaining fronds above horizontal shall be lifted up and tied together around the crown in an upright position. Do not tie too tightly, bind or injure the bud. Jute binder twine shall be used in tying up the fronds; wire will not be permitted. Fronds shall be untied immediately after planting.

C. Digging the root ball:

1. When digging out the root ball, no excavation shall be done closer than 24 inches to the trunk of ground level and the excavation shall extend below the major root system to a minimum depth of 3.5 feet. The bottom of the root ball shall be cut off square and perpendicular to the trunk below the major root system.

D. The Contractor shall not free-fall, drop, roll or abuse the trunk of a tree or strain on the crown (bud area) at any time. A protective device shall be used around the trunk of the tree while lifting and relocating so as not to injure the bud, or scar or skin the trunk in any way.

2.5 PLANTING SOIL

Planting Soil shall contain a mixture of 1/3 sand, 1/3 topsoil and 1/3 peat humus. Sand shall be clean, soil-free and containing no extraneous matter. Topsoil shall be friable fertile soil with representative characteristics of area soils. It should be free of heavy silt, stone, excess lime, shell rock, plant roots, debris or other foreign matter. If shell not contain calcium plant growth (such as sermado, turp or nut grass), it shall be left between the pH range of 5.0 to 7.0 unless otherwise specified and contain no toxic residue or substances that would endanger plant growth. If topsoil is not available on site, it shall be imported from local sources with similar soil characteristics to that found at project site. Obtain topsoil only from naturally, well-drained sites where topsoil occurs in a depth not less than 4". Peat humus shall be decomposed peat with no identifiable fibers or if available, muck may be substituted and shall be free from stones, excessive plant roots, debris or other foreign matter. Muck shall not be overly saturated with water.

2.6 MULCH

A. Mulch shall be Metalaouca or Eucalyptus and shall cover all landscape bed areas in a 3" minimum layer. Do not mix mulch pile up on root ball or around trunks of trees plants. Submit supplier's product specification data sheet and a one gallon sample for approval.

2.7 TREE STAKING AND GUYING MATERIAL

A. Tree guying to be flat woven polypropylene material, 3/4 inch wide, and 900 lb. break strength. Color to be Green. Product to be Arbolite manufactured by Deep Root Partners, LP, or approved equal.

B. Stakes shall be lodge pole stakes free of knots and diameters and lengths appropriate to the size of plant as required to adequately support the plant.

C. Below ground anchorage system to be constructed of 2 x 2 dimensional untreated wood securing (using 3 inch long screws) horizontal portions to 4 feet long vertical stakes driven straight into the ground outside the root ball.

D. Submit manufacturer's product data for approval.

PART 3 EXECUTION

3.1 DELIVERY, STORAGE AND HANDLING

A. Protect materials from deterioration during delivery and storage. Adequately protect plants from drying out, exposure of roots to sun, wind or extremes of heat and cold temperatures. If planting is delayed more than 24 hours after delivery, set plants in a location protected from sun and wind. Provide adequate water to the root ball package during the shipping and storage period.

1. All plant materials must be available for observation prior to planting.

2. Using a soil moisture meter, periodically check the soil moisture in the root balls of all plants to assure that the plants are being adequately watered. Volumetric soil moisture shall be maintained above wilting point and below field capacity for the root ball substrate or soil.

B. Do not deliver more plants to the site than there is space with adequate storage conditions. Provide a suitable remote staging area for plants and other supplies.

3.2 SPADE HARVESTED AND TRANSPLANTED PLANTS

1. After installing the tree, loosen the soil along the seam between the root ball and the surrounding soil out

C. Provide protective covering over all plants during transporting.

3.2 ADVERSE WEATHER CONDITIONS

A. No planting shall take place during extremely hot, dry, windy or freezing weather.

3.3 COORDINATION WITH PROJECT WORK

A. The Contractor shall coordinate with all other work that may impact the completion of the work.

B. Prior to the start of work, prepare a detailed schedule of the work for coordination with other trades.

C. Coordinate the relocation of any irrigation lines, heads or the conduits of other utility lines that are in conflict with tree locations. Root balls shall not be altered to fit around lines. Notify the Owner's Representative of any conflicts encountered.

3.4 LAYOUT AND PLANTING SEQUENCE

A. Relative positions of all plants and trees are subject to approval of the Owner's Representative.

B. Notify the Owner's Representative, one (1) week prior to layout. Lay out all individual tree and shrub locations. Place plants above surface at planting location or place a labeled stake at planting location. Layout bed lines with paint for the Owner's Representative's approval. Secure the Owner's Representative's acceptance before digging and start of planting work.

C. When applicable, plant trees before other plants are installed.

D. It is understood that plants are not precise objects and that minor adjustments in the layout will be required as the planting plan is constructed. These adjustments may not be apparent until some or all of the plants are installed. Make adjustments as required by the Owner's Representative including relocating previously installed plants.

3.5 SOIL PROTECTION DURING PLANT DELIVERY AND INSTALLATION

A. Protect soil from compaction during the delivery of plants to the planting locations, digging of planting holes and installing plants.

1. Where possible deliver and plant trees that require the use of heavy mechanized equipment prior to final soil preparation and filling. Where possible, restrict the driving lanes to one area instead of driving over and compacting a large area of soil.

2. Till to a depth of 6 inches, all soil that has been driven over during the installation of plants.

3.6 SOIL MOISTURE

A. Volumetric soil moisture level, in both the planting soil and the root balls of all plants, prior to, during and after planting shall be above permanent wilting point and below field capacity for each type of soil texture within the following ranges.

Soil type	Permanent wilting point	Field capacity
Sand, Loamy sand, Sandy loam	5 - 8%	12 -18%
Loam, Sandy clay, Sandy clay loam	14 - 25%	27 -36%
Clay loam, Silt loam	11 - 22%	31 - 36%
Silty clay, Silty clay loam	22 - 27%	38 - 41%

1. Volumetric soil moisture shall be measured with a digital moisture meter. The meter shall be the Digital Soil Moisture Meter, D5M5M50 by General Specialty Tools and Instruments, or approved equivalent.

B. The Contractor shall confirm the soil moisture levels with a moisture meter. If the moisture is too high, suspend planting operations until the soil moisture drains to below field capacity.

3.7 INSTALLATION OF PLANTS - GENERAL

C. Observe each plant after delivery and prior to installation for damage of other characteristics that may cause rejection of the plant. Notify the Owner's Representative of any condition observed.

D. No more plants shall be distributed about the planting bed area than can be planted and watered on the same day.

E. The root system of each plant, regardless of root ball package type, shall be observed by the Contractor, at the time of planting to confirm that the roots meet the requirements for plant root quality in Part 2 Products; Plants General: Plant Quality. The Contractor shall undertake at the time of planting, all modifications to the root system required by the Owner's Representative to meet these quality standards.

1. Modifications, at the time of planting, to meet the specifications for the depth of the root collar and removal of stem girdling roots and circling roots may make the plant unstable or stress the plant to the point that the Owner's Representative may choose to reject the plant rather than permitting the modification.

2. Any modifications required by the Owner's Representative to make the root system conform to the plant quality standards outlined in Part 2 Products; Plants General: Quality, or other requirements related to the permitted root ball package, shall not be considered as grounds to modify or void the plant warranty.

3. The resulting root ball package may need additional staking and water after planting. The Owner's Representative may reject the plant if the root modification process makes the tree unstable or if the tree is not healthy at the end of the warranty period. Such plants shall still be covered under this warranty.

4. The Contractor remains responsible to confirm that the grower has made all required root modifications noted during any nursery observations.

F. Container and Baxed Root Ball Shaving: The outer surfaces of ALL plants in containers and boxes, including the top, sides and bottom of the root ball shall be shaved to remove all circling, descending, and mottled roots. Shaving shall be performed using saws, knives, sharp shovels or other suitable equipment that is capable of making clean cuts on the roots. Shaving shall remove a minimum of one inch of root mat or up to 2 inches as required to remove all root segments that are not growing reasonably radial to the trunk.

G. Exposed Stem Tissue after Modification: The required root ball modifications may result in stem tissue that has not formed trunk bark being exposed above the soil line. If such condition occurs, wrap the exposed portion of the stem in a protective wrapping with a white filter fabric. Secure the fabric with biodegradable masking tape. DO NOT USE string, twine, green nursery ties or any other material that may girdle the trunk if not removed.

H. Excavation of the Planting Space: Using hand tools or tracked mini-excavator, excavate the planting hole around the planting Soil to the depth of the root ball measured after any root ball modification to correct root problems, and wide enough for working room around the root ball or to the site indicated on the drawing or as noted below.

1. For trees and shrubs planted in soil areas that are NOT filled or otherwise modified to a depth of at least 12 inches over a distance of more than 10 feet radius from each tree, or 5 feet radius from each shrub, the soil around the root ball shall be loosened as defined below or as indicated on the drawings.

a. The area of loosening shall be a minimum of 3 times the diameter of the root ball at the surface sloping to 2 times the diameter of the root ball at the depth of the root ball.

b. Loosening is defined as digging into the soil and turning the soil to reduce the compaction. The soil does not have to be removed from the hole, just dug, lifted and turned. Lifting and turning may be accomplished with a tracked mini excavator, or hand shovels.

C. 14 PRUNING OF TREES AND SHRUBS

A. Prune plants as directed by the Owner's Representative. Pruning trees shall be limited to addressing structural defects as shown in details; follow recommendations in "Structural Pruning: A Guide For The Green Industry" published by Urban Tree Foundation, Visalia CA.

B. All pruning shall be performed by a person experienced in structural tree pruning.

C. Except for plants specified as multi-stemmed or as otherwise instructed by the Owner's Representative, preserve or create a central leader.

D. Pruning of large trees shall be done using pole pruners or a needed, from a ladder or hydraulic lift to gain access to the top of the tree. Do not climb in newly planted trees. Small trees can be structurally pruned by laying them over before planting. Pruning may also be performed at the nursery prior to shipping.

E. Remove and replace excessively pruned or malformed stock resulting from improper pruning that occurred in the nursery or after.

F. Pruning shall be done with clean, sharp tools.

G. No tree point or sealants shall be used.

3.15 MULCHING OF PLANTS

A. Apply 3 inches of mulch before settlement, covering the entire planting bed area. Install no more than 1 inch of mulch over the top of the root balls of all plants. Taper to 2 inches when abutting pavement.

B. For trees planted in lawn areas the mulch shall extend to a 5 foot radius around the tree or to the extent indicated on the plans.

C. Lift all leaves, low hanging stems and other green portions of small plants out of the mulch if covered.

3.16 PLANTING BED FINISHING

A. After planting, smooth out all grades between plants before mulching.

B. Separate the edges of planting beds and lawn areas with a smooth, formed edge cut into the turf with the bed mulch level slightly lower, 1 and 2 inches, than the adjacent turf sod or as directed by the Owner's Representative. Edge lines shall be depicted on the drawings.

3.17 WATERING

A. The Contractor shall be fully responsible to ensure that adequate water is provided to all plants from the point of installation until the date of Substantial Completion Acceptance. The Contractor shall adjust the automatic irrigation system, if available, and apply additional or adjust for less water using hoses as required.

B. Hand water root balls of all plants to assure that the root balls have moisture above will point and below field capacity. Test the moisture content in each root ball and the soil outside the root ball to determine the water content.

3.18 CLEAN-UP

A. During installation, keep the site free of trash, pavements reasonably clean and work area in an orderly condition at the end of each day. Remove trash and debris in containers from the site no less than one week.

1. Immediately clean up any spilled or tracked soil, fuel, oil, trash or debris deposited by the Contractor from all surfaces within the project or on public right of ways and neighboring property.

B. Once installation is complete, wash all soil from pavements and other structures. Ensure that mulch is confined to planting beds and that all logs and flagging tape are removed from the site. The Owner's Representative's seals are to remain on the trees and removed at the end of the warranty period.

C. Make all repairs to grades, ruts, and damage by the plant installer to the work or other work at the site.

D. Remove and dispose of all excess planting soil, subsoil, mulch, plants, packaging, and other material brought to the site by the Contractor.

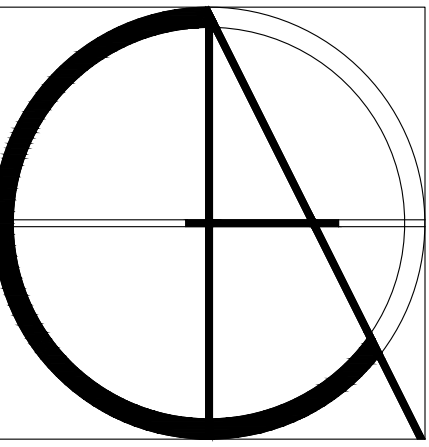
3.19 PROTECTION DURING CONSTRUCTION

A. The Contractor shall protect planting and related work and other site work from damage due to planting

to a radius from the root ball edge equal to the diameter of the root ball to a depth of 8 - 10 inches by hand digging to disturb the soil interface.

2. Fill any gaps below the bed with loose soil.

D. CONTAINER (INCLUDES BOXED AND ABOVE-GROUND FABRIC CONTAINERS) PL

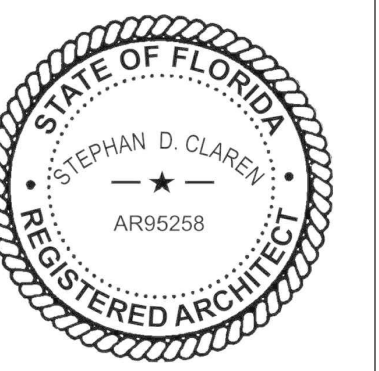


Claren Architecture + Design, Inc.
AA26002865

6400 CONGRESS AVE, SUITE 2150
BOCA RATON, FL 33487
561.961.4884
www.clarenarchitecture.com

New Building for:
Salvation Army

4051 Kirk Road
Palm Springs, Florida 33461



SEAL

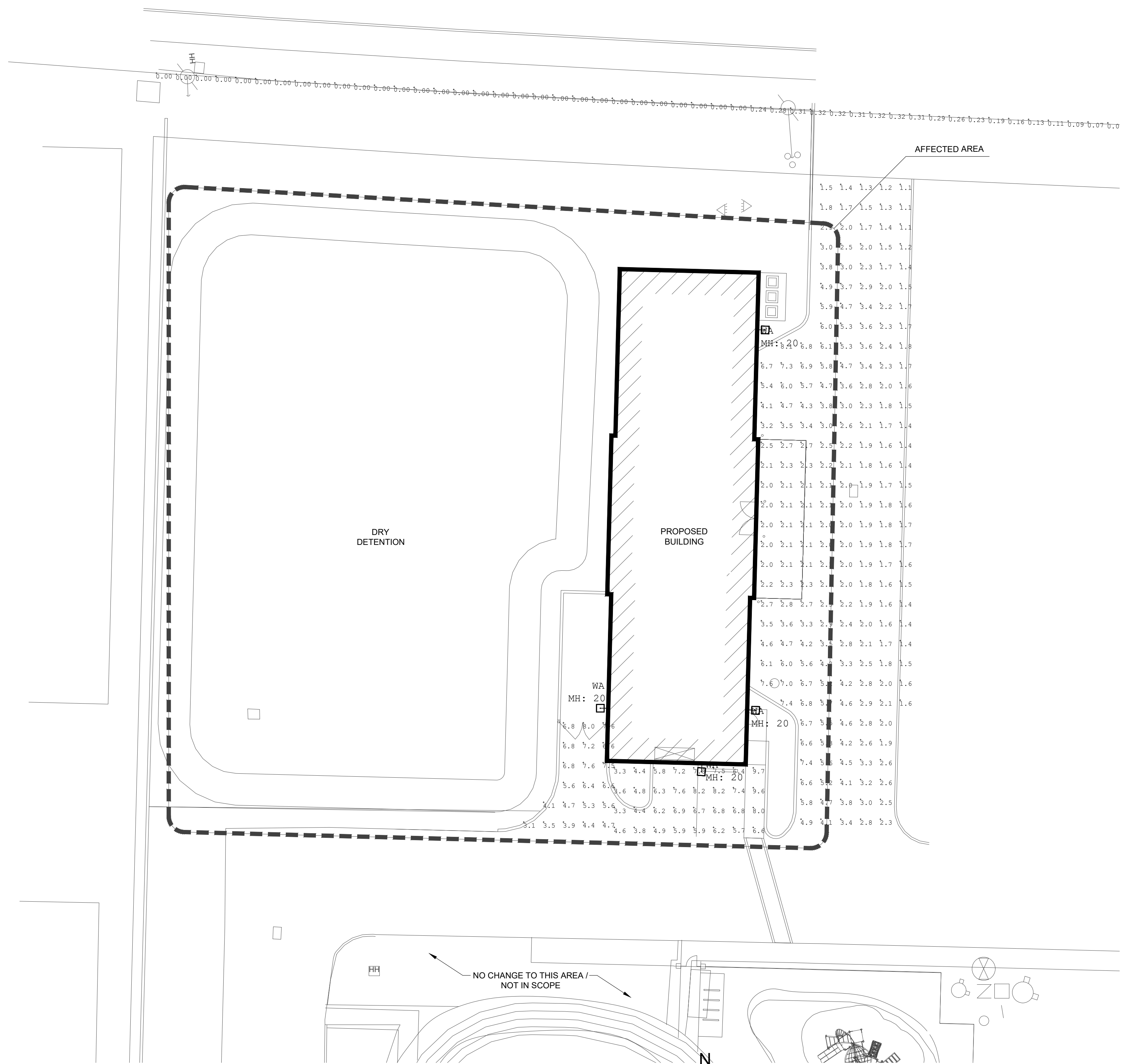
PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT #	25-022
DATE	09-25-25
REV #	DATE
1	11-19-2025
2	01-09-2026
3	2-2-2026

SHEET #

A-4.1

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01 PHOTOMETRIC PLAN

SCALE: 1/16" = 1'-0"

SALVATION ARMY 4051 KIRK ROAD, PALM SPRINGS, FL 33461										
LIGHTING FIXTURE SCHEDULE										
TYPE	IMAGE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS TYPE	DIMMING	VOLTAGE	MOUNTING	REMARKS	INPUT WATTS
WA		XTRA LIGHT	VN7A-2000L-40K-DIM-4M-N-XX-XX	WALL MOUNTED LED AREA LIGHT	INTEGRATED LED	0-10V	TBC	SURFACE	MOUNTED @ 20'-0" AFO	152W

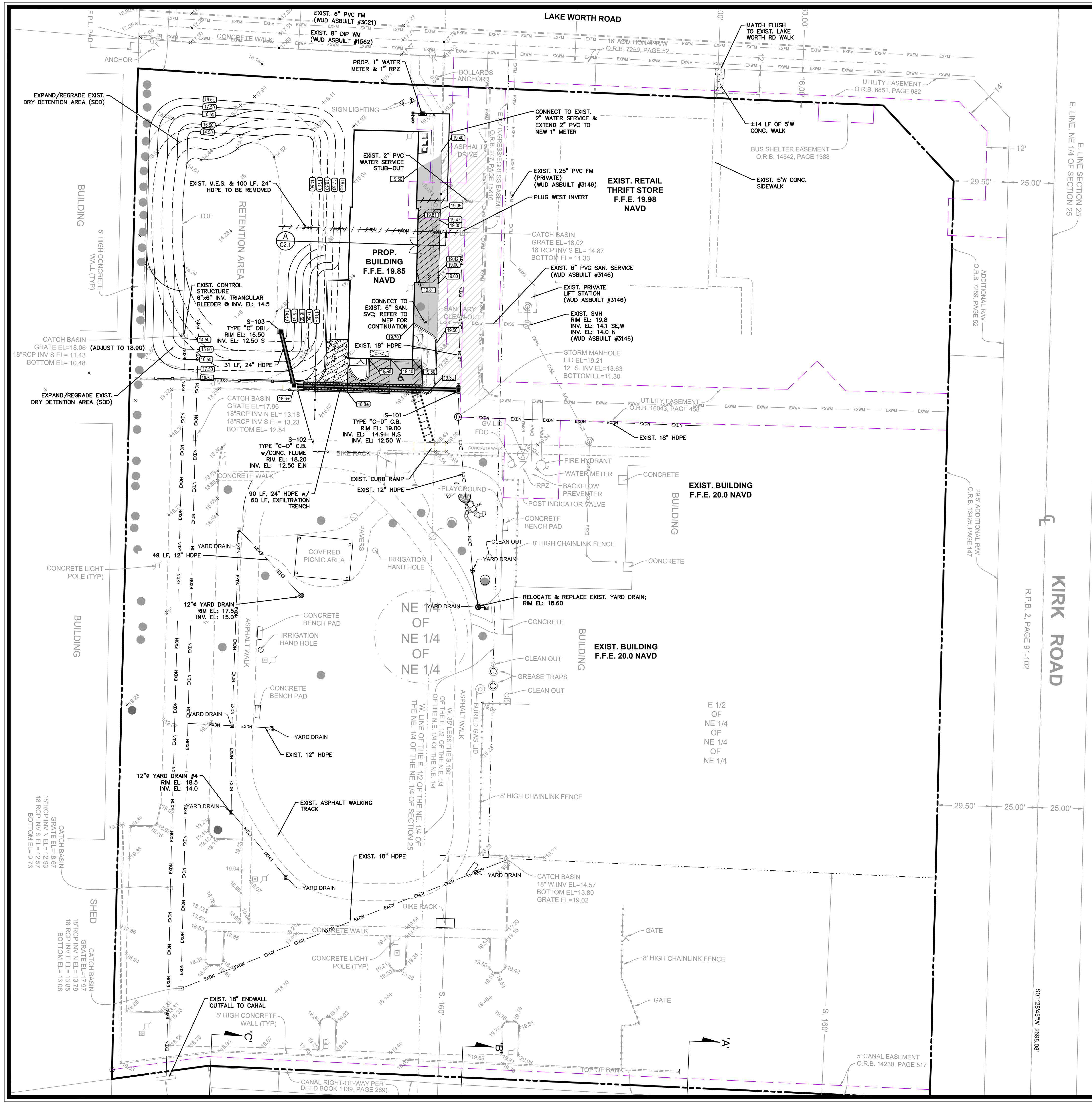
LIGHTING SCHEDULE NOTES:

- For pricing please email Genesis Lighting at quotes@genesislighting.net, for technical questions please contact Brian Meneses @ 772-919-5570 (bmeneses@genesislighting.net)
- No substitutions allowed without prior approval by architect, engineer or design team
- Contractor to verify all voltages, mounting and run lengths prior to final bid and installation of fixtures
- Verify correct mounting for each fixture with Architectural reflected ceiling plans and/or Site Plans



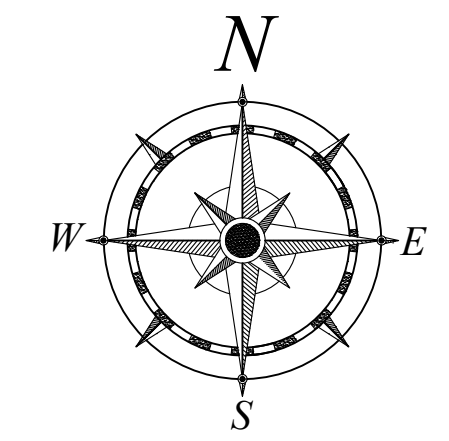
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	4	WA	Single	Xtra Light VN7M-2000L-40K-DIM-4M-N-XX-XX	0.900	22428	152	608

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
New Parking	Illuminance	Fc	6.27	9.7	3.3	1.90	2.94
New Road	Illuminance	Fc	5.85	8.0	3.1	1.89	2.58
Property Line at 6FT	Illuminance	Fc	0.06	0.32	0.00	N.A.	N.A.
Roadway	Illuminance	Fc	3.01	8.1	1.1	2.74	7.36



LEGEND

- PROP. SIGN
- SURFACE FLOW ARROW
- EXIST. CONCRETE PAVEMENT
- EXIST. ASPHALT OR CONCRETE
- CONC. OR PAVEMENT RESTORATION & RECONSTRUCTION
- PROPOSED ELEVATION
- EXIST. ELEVATION



SCALE: 1" = 25'

NOTES:

1. EXIST. UTILITIES, DRAINAGE, & ELEVATIONS BASED ON SURVEY PREPARED BY MICHAEL B. SCHORAH. CONTRACTOR SHALL VERIFY INVERTS, PIPE SIZES, AND STRUCTURE LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
2. MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
3. ALL DISTURBED, BUFFER, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
4. ALL DISTURBED AREAS SHALL BE SODDED BY CONTRACTOR. ALL DAMAGED CURBING, PAVEMENT, STRIPING, SIGNAGE, LANDSCAPING, ETC. SHALL BE RESTORED BY CONTRACTOR.
5. CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MAINTENANCE OF TRAFFIC (MOT) PLANS AND OBTAINING ALL REGULATORY APPROVALS FOR MOT PLANS. COPIES OF APPROVED MOT PLANS SHALL BE PROVIDED TO ENGINEER PRIOR TO COMMENCING WORK.
6. ALL PIPE JOINTS SHALL BE WRAPPED PER FDOT INDEX NO. 430-001.
7. EXIST. TREES, UTILITY BOXES, LIGHTPOLES, YARD DRAINS, ETC. SHALL BE ADJUSTED TO AVOID PROPOSED TRACK ROUTING. EXIST. UTILITY BOXES SHALL BE ADJUSTED TO NEW FINISHED GRADE.

ACCESSIBILITY NOTES:

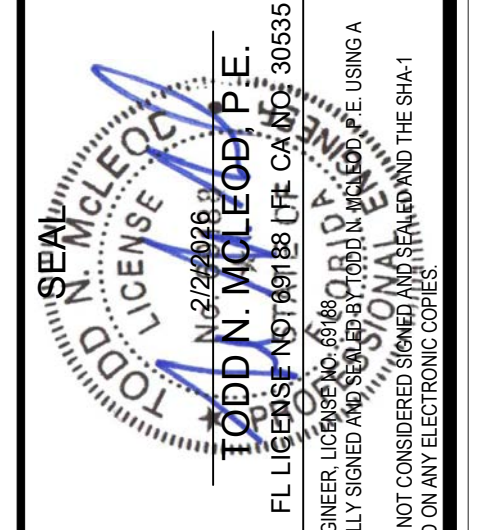
1. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - ACCESSIBILITY.
2. ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
3. CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 522-02. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
4. DETECTABLE WARNING SHALL BE THE WIDTH OF THE WALKING SURFACE AND 3' IN LONGITUDINAL LENGTH (DIRECTION OF TRAVEL). DETECTABLE WARNING MATS SHALL PER THE FDOT APPROVED PRODUCTS LIST (APL), LATEST EDITION.

NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.
 DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.52' TO NAVD ELEVATIONS.



McLeod + McCarthy & Associates, P.A.
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd. Ste. 810
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD: DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 25-013

NO. DATE REVISIONS

PRELIMINARY ENGINEERING PLAN
SALVATION ARMY
CENTER OF WORSHIP & SERVICE: THRIFT STORE
PALM SPRINGS, FLORIDA

SITE PLAN RESUBMITTAL
DATE: 2/2/2026

SHEET
C1.1
OF 4

WUD #25-TBD



**McLeod & McCarthy
& Associates, P.A.**
Civil Engineers

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1655 Palm Beach Lakes Blvd. Ste. 810
West Palm Beach, FL 33401
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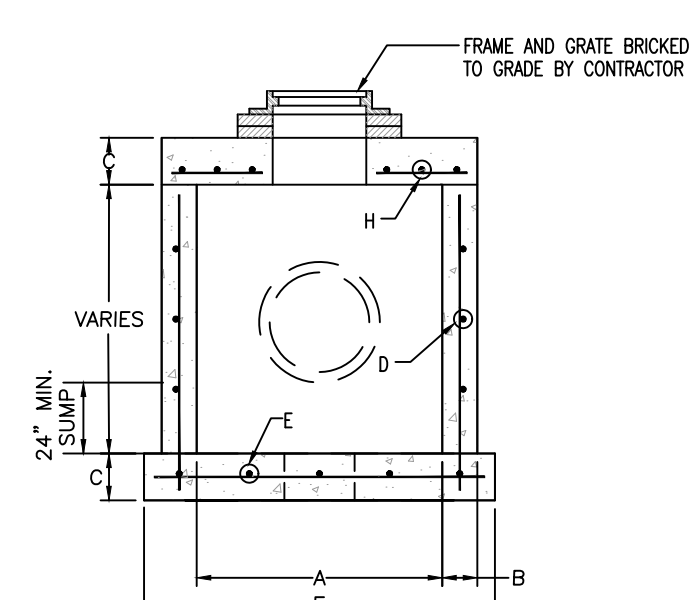
FIELD:
DRAWN: P. Seifold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 25-013

REVISIONS
DATE
NO.

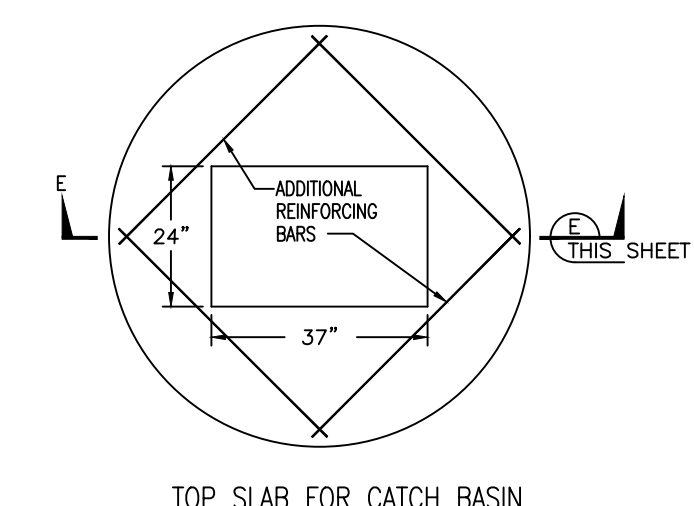
PRELIMINARY ENGINEERING
DETAILS & NOTES
SALVATION ARMY
CENTER OF WORSHIP & SERVICE, THRIFT STORE
PALM SPRINGS, FLORIDA

SITE PLAN RESUBMITTAL
DATE: 2/2/2026

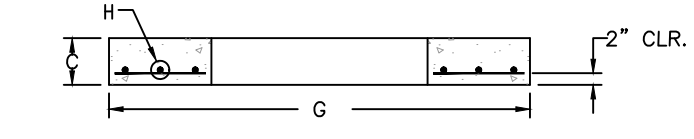
SHEET
C2.1
OF 4



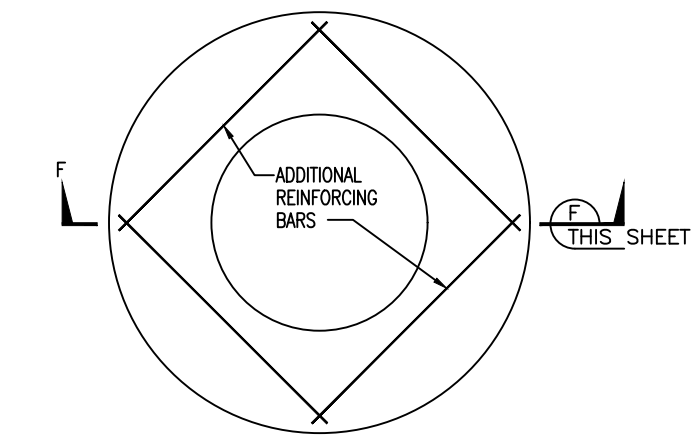
CATCH BASIN
(SEE TABLE FOR DIMENSIONS)



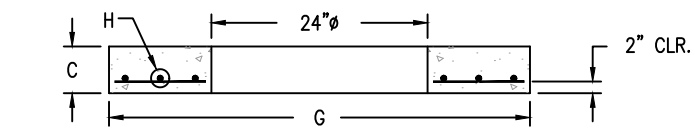
TOP SLAB FOR CATCH BASIN



SECTION F
(SEE TABLE FOR DIMENSIONS) THIS SHEET



TOP SLAB FOR MANHOLE



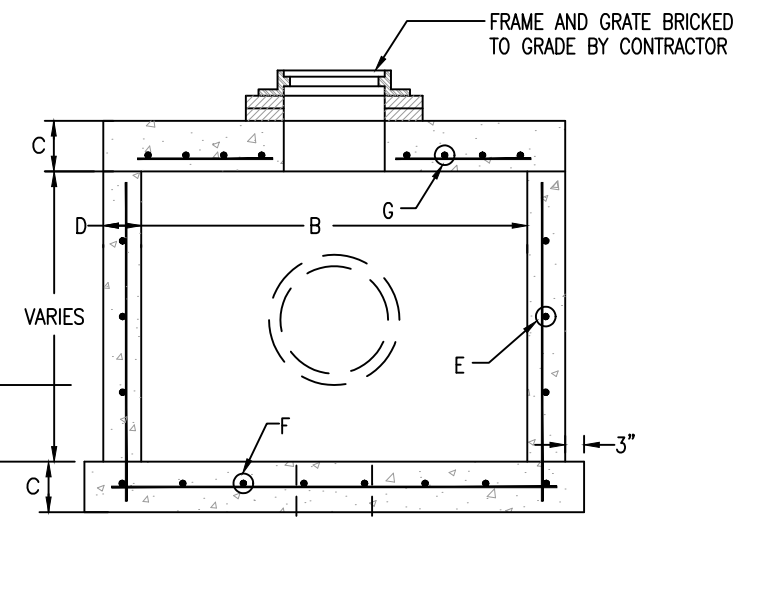
SECTION F
(SEE TABLE FOR DIMENSIONS) THIS SHEET

A	B	C	D	E*	F	G	H*
3'-0"	4"	8"	8"	ASTM C-478 #4 @ 12"	4'-0"	4'-2"	#4 @ 6"
3'-6"	6"	8"	8"	ASTM C-478 #4 @ 12"	5'-0"	4'-6"	#4 @ 6"
4'-0"	6"	8"	8"	ASTM C-478 #4 @ 12"	6'-0"	5'-0"	#4 @ 6"
4'-6"	8"	8"	8"	ASTM C-478 #4 @ 12"	6'-6"	5'-4"	#4 @ 6"
5'-0"	8"	8"	8"	ASTM C-478 #5 @ 12"	7'-0"	6'-4"	#5 @ 6"
6'-0"	8"	8"	8"	ASTM C-478 #5 @ 12"	8'-0"	7'-0"	#5 @ 6"
6'-6"	8"	8"	8"	ASTM C-478 #5 @ 12"	8'-6"	7'-4"	#5 @ 6"
7'-0"	8"	8"	8"	ASTM C-478 #5 @ 12"	9'-0"	8'-4"	#5 @ 6"
8'-0"	10"	10"	10"	ASTM C-478 #5 @ 6"	10'-0"	9'-8"	#6 @ 6"
10'-0"	12"	12"	12"	ASTM C-478 #5 @ 6"	12'-0"	12'-0"	#6 @ 6"

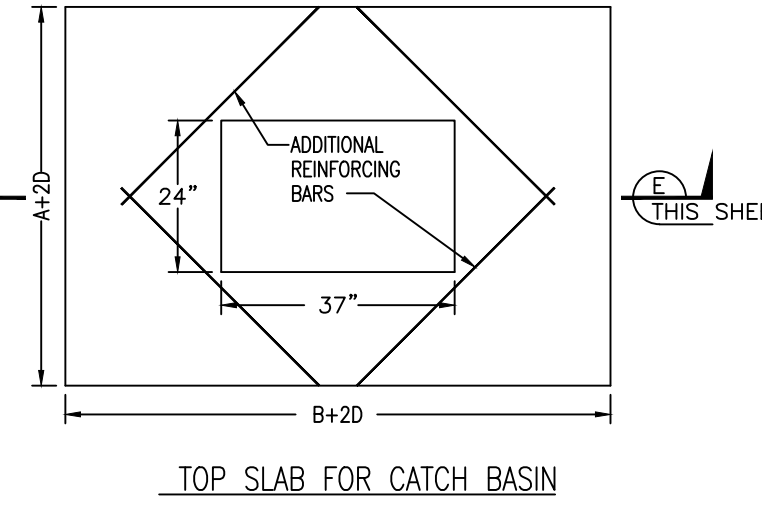
INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS.
MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

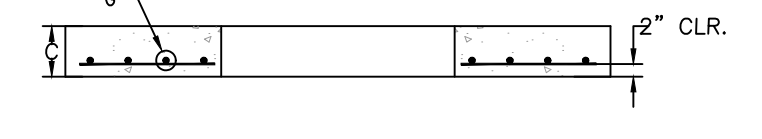
CIRCULAR CATCH BASIN (ON-SITE)



CATCH BASIN
(SEE TABLE FOR DIMENSIONS)



TOP SLAB FOR CATCH BASIN



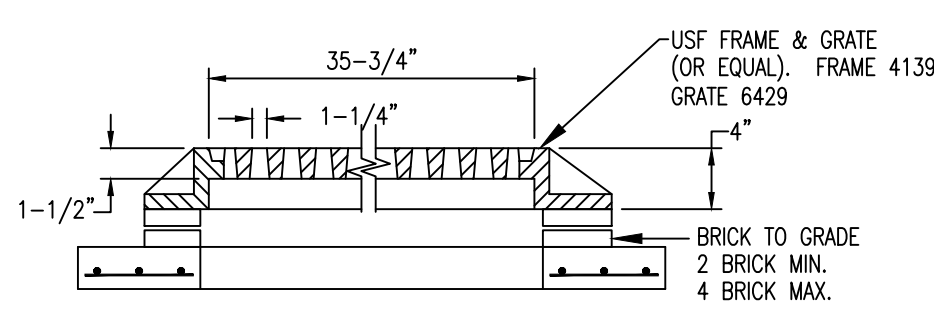
SECTION F
(SEE TABLE FOR DIMENSIONS) THIS SHEET

A	B	C	D	E*	F*	G*
3'-0"	3'-6"	8"	8"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-0"	4'-0"	8"	8"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-10"	5'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
6'-0"	6'-0"	8"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"
8'-0"	8'-0"	10"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"
10'-0"	10'-0"	10"	8"	#4 @ 6"	#6 @ 6"	#7 @ 6"
3'-0"	4'-6"	8"	8"	#4 @ 12"	#4 @ 12"	#4 @ 6"
3'-6"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
4'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
4'-6"	8'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
3'-6"	8'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
4'-0"	8'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
5'-0"	7'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
6'-0"	8'-0"	8"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"
6'-0"	12'-0"	8"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"

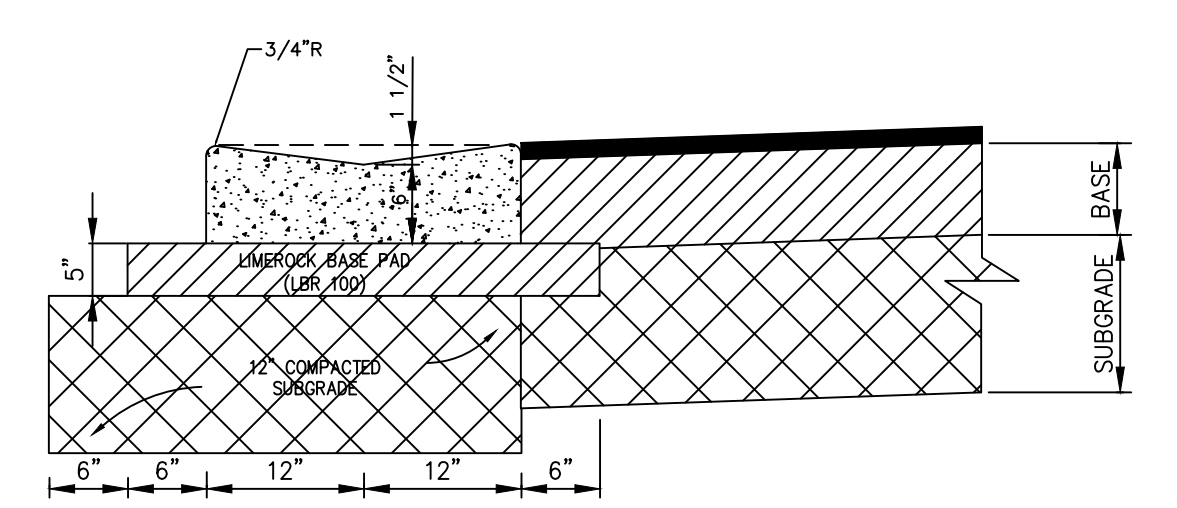
INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
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MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

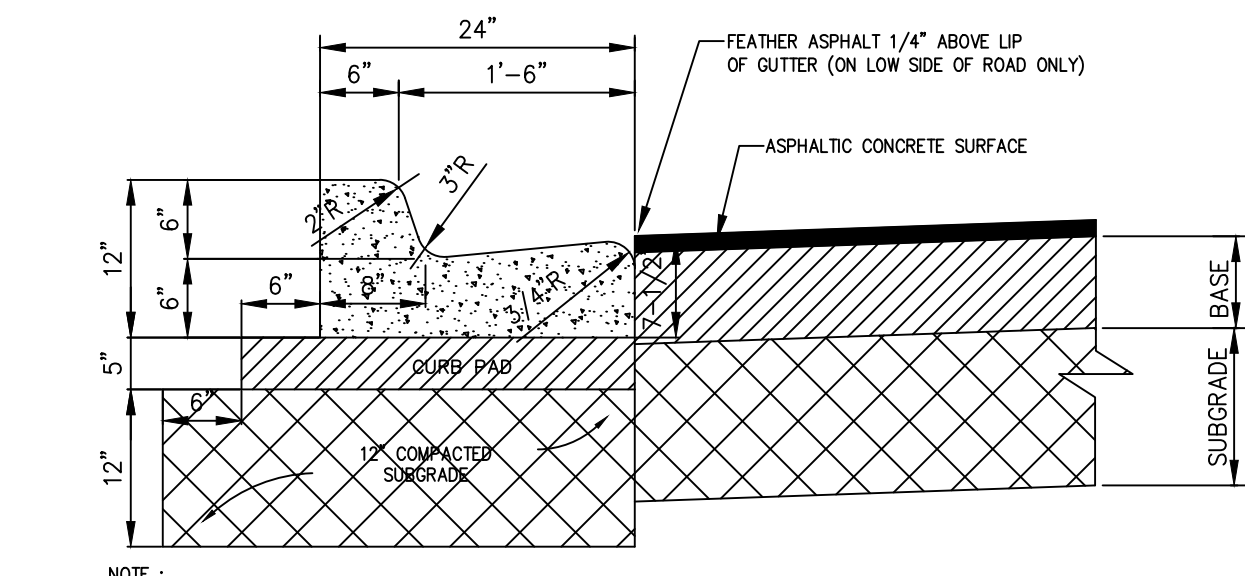
RECTANGULAR CATCH BASIN (ON-SITE)



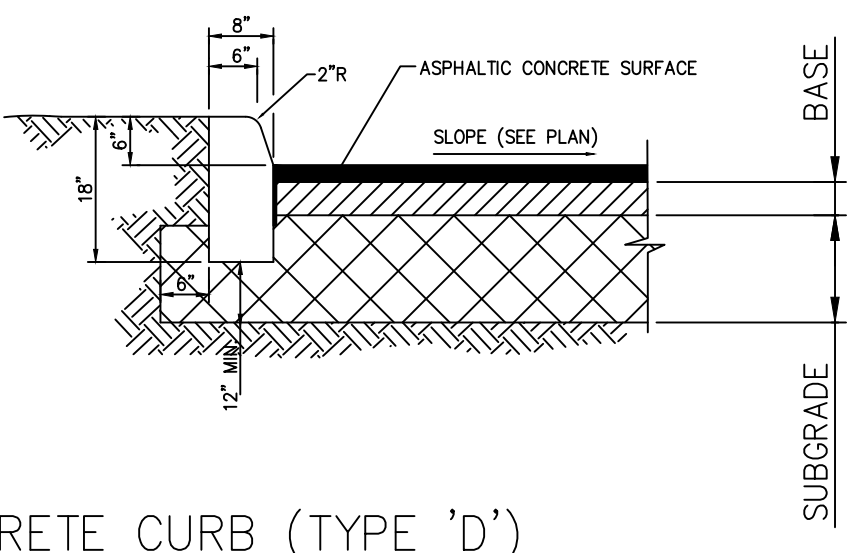
ON-SITE INLET FRAME & GRATE
(TYPE "C-D" INLET)



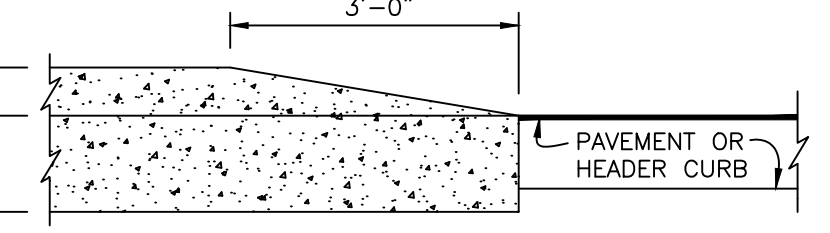
VALLEY GUTTER
REFER TO FDOT INDEX 300 FOR NOTES AND DETAILS
SCALE: NONE



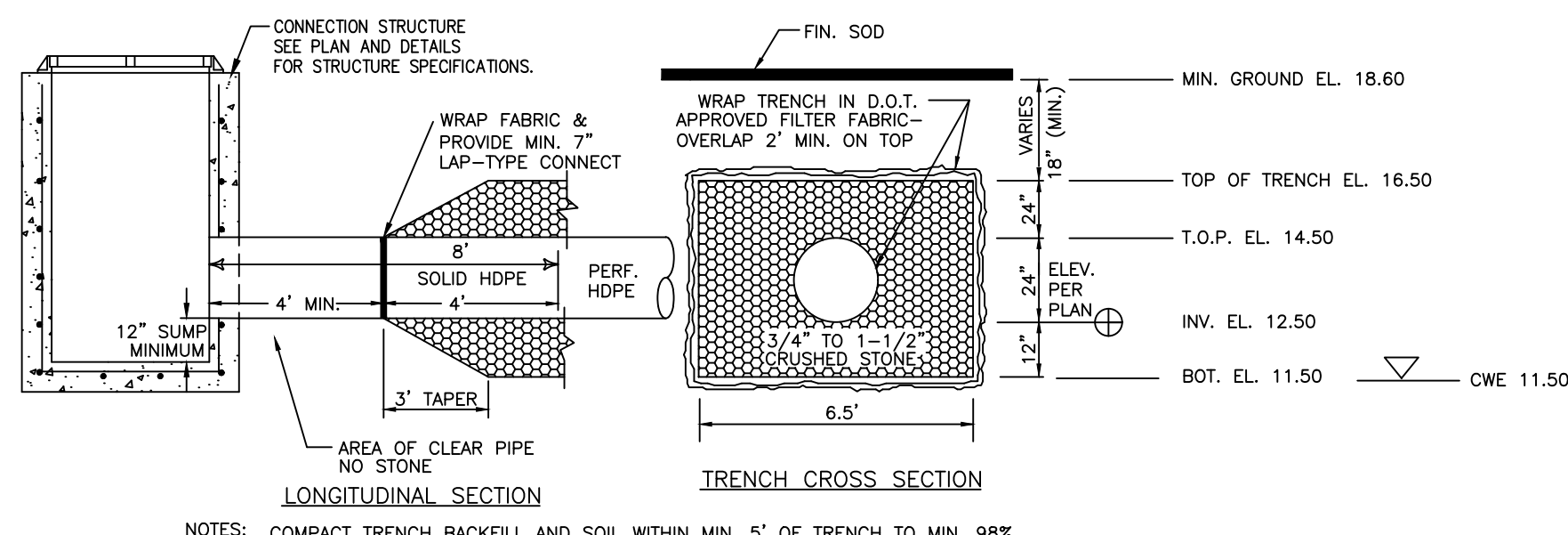
TYPE "F" CURB & GUTTER
SCALE: NONE



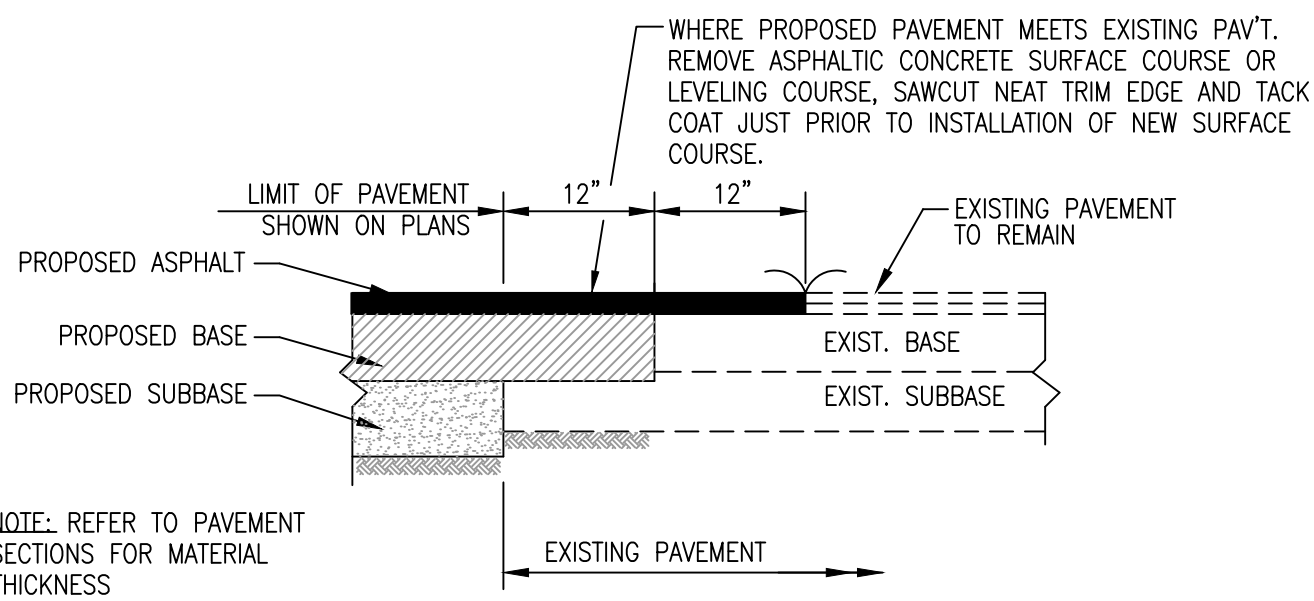
CONCRETE CURB (TYPE 'D')
SCALE: NONE



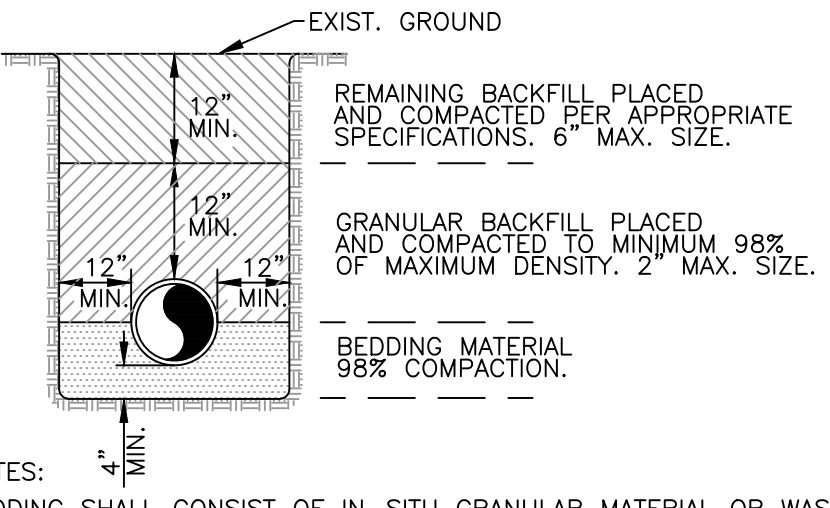
TRANSITION CURB TAPER DETAIL
NOTE: WHEN CURB TRANSITIONS ARE ADJACENT TO SIDEWALK THE TRANSITION MUST BE 12:1.
N.T.S.



ON-SITE INFILTRATION TRENCH DETAIL
N.T.S.



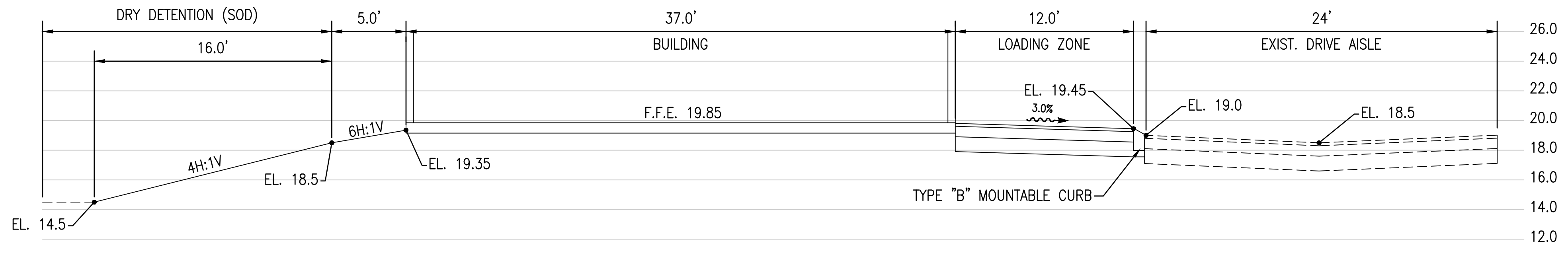
PAVEMENT MATCHING DETAIL
N.T.S.



- NOTE:
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCK SHALL BE REMOVED.
 - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
 - THE PIPE SHALL BE PLACED IN A DRY TRENCH.
 - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIALS SUCH AS LARGER ROCK, MUCK AND DEBRIS.
 - SEE GENERAL NOTES FOR PIPE BACKFILL BENEATH PROPOSED PAVEMENT.

TRENCH DETAIL
N.T.S.

TYPE	PAVEMENT SECTION REQUIREMENTS		
	WEARING SURFACE	BASE	SUB-GRADE
CONCRETE PAVEMENT	6" THICK (4,000 PSI) WITH JOINTING PER ACI 330. JOINTING PLAN TO BE SUBMITTED PRIOR TO POURING CONCRETE	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 40)
ASPHALT PAVEMENT (ON-SITE)	2" THICK SP-9.5 A.C.S.C. (2-LIFTS)	8" THICK LIMEROCK BASE (LBR 100) COMPACTED TO 98% AASHTO T-180 DENSITY & PLACED IN 4" MAX. LIFTS.	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 40)
SIDEWALKS (ONSITE)	SIDEWALK: 4" THICK CONCRETE (3,000 PSI). CONCRETE TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE. CONTROL JOINTS TO BE SPACED 5' ON CENTER. ISOLATION JOINTS REQUIRED WHERE SIDEWALK ABUTS BUILDING, EXISTING PAVEMENT, OR OTHER STRUCTURES.		



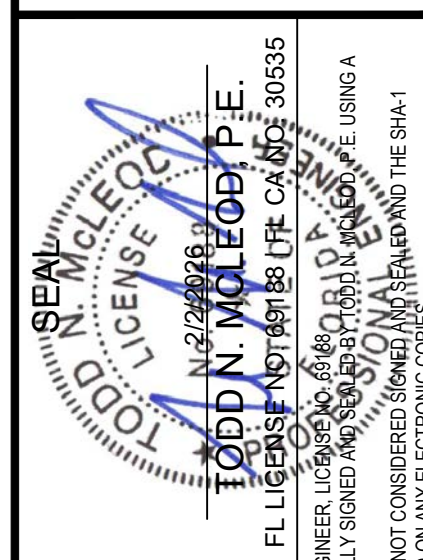
SECTION A
(SEE SHEET C1.1) NTS

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DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.52 TO NAVD ELEVATIONS.
WUD #25-TBD



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FIELD:
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APPROVED: TMM
PROJECT #: 25-013
TODD M. McLEOD, P.E. PROFESSIONAL ENGINEER LICENSE NO. 12422
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PAVING, GRADING, AND DRAINAGE NOTES:

- REFERENCES.** WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND FDOT ROADWAY TRAFFIC DESIGN STANDARDS, LATEST EDITION. ALL FDOT INDICES ARE INCORPORATED AS PLAN REFERENCES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF THE LATEST EDITION OF THE FDOT INDICES.
- SITE FAMILIARIZATION.** PRIOR TO BID PREPARATION, THE CONTRACTOR MUST BECOME FAMILIAR WITH THE OVERALL SITE CONDITIONS AND PERFORM ADDITIONAL INVESTIGATIONS AS DETERMINED NECESSARY TO UNDERSTAND THE LIMIT AND DEPTH OF EXPECTED ORGANIC MATERIAL, ADEQUACY OF EXISTING MATERIALS AS FILL, DEWATERING REQUIREMENTS, CLEAN FILL REQUIRED FROM OFFSITE AND MATERIALS TO BE DISPOSED OF OFFSITE. ANY DELAY, INCONVENIENCE OR EXPENSE CAUSED TO THE CONTRACTOR DUE TO INADEQUATE INVESTIGATION OF EXISTING CONDITIONS SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED. THE MATERIALS ANTICIPATED TO BE ENCOUNTERED DURING CONSTRUCTION MAY REQUIRE DRYING PRIOR TO USE AS BACKFILL AND THE CONTRACTOR MAY HAVE TO IMPORT MATERIALS, AT NO EXTRA COST, FROM OFFSITE TO MEET THE REQUIREMENTS FOR COMPACTION AND PROPER FILL.
- SITE FILL BALANCE.** IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SITE CONDITIONS OF SOIL DURING THE BID PREPARATION TO DETERMINE IF ANY OFF SITE MATERIALS WILL NEED TO BE IMPORTED TO ACHIEVE THE GRADES SPECIFIED ON THE PLANS.
- RESTORATION.** ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER AS DETERMINED BY THE ENGINEER, OWNER AND RESPECTIVE JURISDICTIONAL AUTHORITY.
- HORIZONTAL CONTROL AND LAYOUT.** CONTRACTOR/OWNER SHALL COORDINATE WITH A REGISTERED SURVEYOR TO LAY OUT LINES, GRADES, STRUCTURES, LOT CORNERS, ETC. AS NECESSARY TO CONSTRUCT THE PROPOSED FACILITIES IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. BENCH MARKS SHALL BE ESTABLISHED BY A REGISTERED SURVEYOR. BENCH MARKS SHALL BE PERMANENT AND EASILY ACCESSIBLE AND MAINTAINED AND REPLACED IF DISTURBED OR DESTROYED. HORIZONTAL CONTROL SHALL SIMILARLY BE ESTABLISHED AND MAINTAINED.
- CLEARING, GRADING AND DISPOSAL.** CLEARING AND GRADING SHALL CONFORM TO SECTION 110 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. CLEARING SHALL BE CONTAINED TO THE CONSTRUCTION AREA AND/OR AS DIRECTED BY THE OWNER AND/OR HIS REPRESENTATIVE. ALL ROOTS, STUMPS, OR OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 18" BELOW NATURAL GRADE OR DESIGN GRADE WHICHEVER IS LOWER. ALL DEBRIS SHALL BE REMOVED FROM THE AREA AND BE DISPOSED OF LEGALLY.
- EXCAVATION AND EMBANKMENT.** ALL EXCAVATION AND EMBANKMENT SHALL CONFORM TO THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- EARTHWORK.** NO SEPARATE PAYMENT SHALL BE PROVIDED TO THE CONTRACTOR FOR EARTHWORK ASSOCIATED WITH THIS CONTRACT. ALL COSTS ASSOCIATED WITH SITE PREPARATION NECESSARY TO EXECUTE THE WORK SET FORTH IN THE CONTRACT SHALL BE INCLUDED IN THE BID.
- EXCESS MATERIAL.** ANY EXCESS MATERIAL REMAINING UPON COMPLETION OF CONSTRUCTION SHALL BE REMOVED TO AN ACCEPTABLE LOCATION AT THE EXPENSE OF THE CONTRACTOR. AT THE OWNER'S OPTION, A LOCATION MAY BE IDENTIFIED FOR MATERIAL STOCK PILING OR THE OWNER MAY INSTRUCT THE CONTRACTOR TO REMOVE THE EXCESS MATERIAL IN WHICH CASE THE CONTRACTOR IS TO LEGALLY DISPOSE OF ALL MATERIALS OFFSITE.
- FINISHED SITE GRADING.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING OF THE SITE TO WITHIN ±0.1 FOOT OF ALL THE PROPOSED FINISHED GRADE ELEVATIONS THROUGHOUT THE PROJECT SITE AS DEPICTED ON THE PLANS. ELEVATIONS OF CONSTRUCTED FACILITIES, I.E. ROADWAYS, DRAINAGE, ETC. ARE TO BE AS INDICATED ON THE PLANS UNLESS APPROVED DIFFERENTLY IN WRITING.
- BUILDING AREAS.** ALL ORGANIC AND OTHER UNSUITABLE MATERIAL IN BUILDING OR PAVEMENT AREAS SHALL BE REMOVED AND REPLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS AND SOUND CONSTRUCTION PRACTICES.
- LANDSCAPE AREAS.** ALL LANDSCAPE ISLANDS SHALL CONTAIN SUITABLE LANDSCAPE MATERIAL FOR LANDSCAPE INSTALLATION. ALL LANDSCAPE AREAS SHALL BE SUITABLY SLOPED TO PROVIDE POSITIVE DRAINAGE.
- SOD AREAS.** ELEVATIONS OF GRASSED AREAS ARE GIVEN AT FINISHED SOD/SEED GRADE. CONTRACTOR TO GRADE AREAS RECEIVING SOD LOWER TO ACCOMMODATE SOD THICKNESS.
- UNSUITABLE MATERIALS.** WHERE ENCOUNTERED, UNSUITABLE MATERIAL SHALL BE REMOVED TO A DEPTH AND AREA DETERMINED BY THE ENGINEER. BACKFILLING SHALL BE IN LAYERS NOT GREATER THAN 8" THICKNESS AND COMPACTED TO 98 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. ANY UNSUITABLE SOIL AND/OR SOIL CONTAINING ORGANIC MATERIAL ENCOUNTERED DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO MUCK, SILT, SLUDGE, AND MARL SHALL BE REMOVED AND SHALL BE REPLACED BY MATERIAL ACCEPTABLE TO THE ENGINEER. IF ANY ROCK, HARDPAN, ETC. IS ENCOUNTERED DURING CONSTRUCTION OF ANY ITEMS, THE REMOVAL AND BACKFILL REQUIRED SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OF THAT ITEM AND NO SEPARATE PAYMENT WILL BE MADE.
- GRADING.** GRADING FROM PROPOSED TO EXISTING CONDITIONS SHALL NOT BE STEEPER THAN 3H:1V NOR FLATTER THAN 20H:1V. ALL SWALES AND SLOPES SHALL BE SODDED AFTER GRADING.
- ELEVATIONS.** ELEVATIONS GIVEN ADJACENT TO CURB OR FRONT OF SIDEWALK ARE CONSIDERED EDGE OF PAVEMENT GRADES UNLESS OTHERWISE NOTED.
- POSITIVE DRAINAGE.** CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENT TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION CAN BE MADE.
- ADA AREAS.** PAVEMENT GRADES AT HANDICAP PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED A 12H:1V SLOPE. SIDEWALK RAMPS SHALL BE TEXTURED IN CONFORMANCE WITH FDOT STANDARDS EXCEPT WHERE LOCAL CODES DICTATE OTHERWISE OR IF INDICATED OTHERWISE ON THE PLANS. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND THE JURISDICTIONAL AUTHORITY FOR FORM BOARD AND PRE-POUR INSPECTIONS PRIOR TO ANY CONCRETE INSTALLATION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL ADA AND BUILDING CODE STANDARDS.
- ROADWAY CONSTRUCTION.** ALL ROADWAY CONSTRUCTION AND MATERIAL SHALL CONFORM TO THE APPLICABLE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. ALL SUBBASE, BASE COURSE, PRIME COAT, TACK COAT AND ASPHALT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS (LATEST EDITION).
- DRAINAGE STRUCTURES.** ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED AS PER THE PLANS AND IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). ALL GRATES SHALL BE SECURED TO THE DRAINAGE STRUCTURE WITH A CHAIN AND EYEBOLT.
- PIPE LENGTHS.** PIPE LENGTHS SHOWN ON THE PLANS REPRESENT SCALED DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURES AND FROM INVERTS OF ENDWALLS AND/OR MITERED END SECTIONS.
- PIPE INSTALLATION.** PIPE TRENCH SHALL BE DRY WHILE PIPE IS BEING LAID AND TO BE BEDDED PER DETAIL AND IN CONFORMANCE WITH THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). ALL CORRUGATED PIPES SHALL BE INSTALLED WITH MAXIMUM LENGTHS IN ORDER TO MINIMIZE JOINTS.
- PIPE TRENCHES.** PIPE TRENCHES TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- REINFORCED CONCRETE PIPE (RCP).** IF REINFORCED CONCRETE PIPE (RCP) IS USED, IT SHALL BE PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. INSTALLATION OF RCP SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS (LATEST EDITION).
- CORRUGATED ALUMINUM PIPE (CAP).** CAP SHALL CONFORM WITH THE REQUIREMENTS OF AASHTO M-196 AND WITH THE FDOT SPECIFICATIONS (LATEST EDITION). CAP TO BE HELICAL (SPIRAL FLOW). ALL CONNECTION BANDS, FOR CORRUGATED PIPES, SHALL BE CORRUGATED, LAP-TYPE, IN CONFORMANCE WITH AASHTO M-16, AND TO BE WATERTIGHT BY USING A GASKET AT LEAST SIX (6) INCHES WIDE. ALL JOINTS ON STORM SEWER PIPE SHALL BE MADE UP WITH ONE-HALF INCH NEOPRENE, ALL BANDS SHALL HAVE THE SAME CORRUGATION DESIGN AS THE PIPE. THE WIDTH OF THE BANDS SHALL BE AS FOLLOWS: 12 INCH WIDE UP TO 48 INCH DIAMETER PIPE AND 24 INCH WIDE OVER 48 INCH DIAMETER PIPE. THE REQUIREMENTS OF FDOT DM06036 WILL BE ADHERED TO WITH ANNULAR BANDING OF JOINTS REQUIRED.
- ROOF DRAIN PIPING.** ALL ROOF DRAIN PIPING (OUTSIDE THE BUILDING) TO BE PVC SCHEDULE 40 UNLESS OTHERWISE NOTED. ALL FITTINGS REQUIRED TO MAKE A FULLY OPERATIONAL DRAINAGE SYSTEM MAY NOT BE SHOWN ON THE PLANS. ALL FITTINGS AND MATERIALS REQUIRED TO COMPLETE THE PROJECT ARE TO BE INCLUDED IN THE CONTRACTOR'S BID.
- DRAINAGE CONNECTIONS.** CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF DEBRIS AND SILT WHERE CONNECTIONS TO EXISTING DRAINAGE STRUCTURES OR SWALES ARE TO BE PERFORMED. SWALES, DITCHES, LAKES, ETC. SHALL BE RESTORED TO THEIR ORIGINAL DESIGN SECTION AND

SODDED. SUCH REMOVAL AND RESTORATION SHALL BE TO THE POINT OF LEGAL POSITIVE OUTFALL.

- DRAINAGE JOINT WRAPPING.** ALL DRAINAGE PIPE JOINTS TO BE WRAPPED IN FILTER FABRIC PER FDOT INDEX 280. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A DRAINAGE STRUCTURE SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.
- DRAINAGE LAMPING.** ALL DRAINAGE SYSTEMS SHALL BE PUMPED DOWN BELOW ONE-THIRD OF THE DIAMETER OF THE PIPE (FROM THE INVERT) AND LAMPED AS A REQUIREMENT OF THE FINAL DRAINAGE INSPECTION.
- SUBGRADE.** SUBBASE SHALL BE FREE OF MUCK, STUMPS, ROOTS, UNDERBRUSH, VEGETATIVE MATTER, GARBAGE, TRASH OR ANY MATERIAL THAT WILL NOT PROVIDE A SUITABLE STABLE, CLEAN SUBGRADE. SUBGRADE SHALL BE AS SHOWN ON THE PLANS AND TO BE COMPACTED TO 98 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 UNLESS OTHERWISE NOTED ON THE PLANS.
- UNDER PAVEMENT UTILITIES AND CONDUITS.** THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF ANY KIND, INCLUDING IRRIGATION AND ELECTRICAL CONDUITS, THAT WILL REMAIN UNDER THE PROPOSED PAVEMENT OR WITHIN 10 FEET OF ITS EDGES SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF THE BASE.
- BASE.** BASE SHALL BE AS SHOWN ON SECTION AND SHALL BE COMPACTED TO 98 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 UNLESS OTHERWISE NOTED ON THE PLANS.
- ASPHALT TACK AND PRIME COATS.** PRIME COAT SHALL BE APPLIED AT THE RATE OF 0.15 GALLONS PER SQUARE YARD. WHERE REQUIRED, TACK SHALL BE APPLIED AT THE RATE OF 0.08 GALLONS PER SQUARE YARD.
- UTILITIES BY OTHERS.** AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL PROVIDE ACCESS AND ALLOW FOR COORDINATION SERVICES TO ACCOMMODATE UTILITIES, CONDUIT AND/OR SLEEVE CONSTRUCTION BY OTHERS. ANY UTILITIES, CONDUITS AND/OR SLEEVES INSTALLED BY OTHERS AND DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- CURB TRANSITIONS.** ALL EXPOSED ENDS OF CURB SHALL TRANSITION TO FINISHED GRADE
- CONCRETE.** ALL CONCRETE (CURBS, SIDEWALKS, STRUCTURES, ETC.) SHALL BE 3,000 PSI CONCRETE (MINIMUM 28 DAY COMPRESSIVE STRENGTH) UNLESS OTHERWISE SPECIFIED.
- REINFORCING STEEL.** ALL REINFORCING STEEL SHALL CONFORM TO ASTM A-615 AND HAVE A TENSILE STRENGTH OF 60,000 PSI OR AS OTHERWISE NOTED.
- FIELD REVIEWS.** FIELD REVIEWS OF CONSTRUCTED FACILITIES WILL BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR IS TO NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THE REQUESTED TIME FOR REVIEW OF THE COMPLETED ITEMS. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS NECESSARY TO ACCOMMODATE THE FIELD REVIEW. THESE REVIEWS INCLUDE BUT ARE NOT LIMITED TO:
 - DRAINAGE PIPE AND STRUCTURE REVIEW
 - WATER/SEWER STRUCTURE, PIPE, AND FITTING REVIEW
 - SUBGRADE, BASE, & ASPHALT REVIEW
 - CURB & SIDEWALK REVIEWS
 - PUMP OUT AND LAMPING OF DRAINAGE SYSTEM
 - SEMI-FINAL AND FINAL REVIEWS
- COMPLETENESS FOR REVIEW.** FACILITIES MUST BE COMPLETED PRIOR TO SCHEDULING THE FIELD REVIEW. IF A FIELD REVIEW FAILS TO MEET THE AGENCY REQUIREMENTS AND AN ADDITIONAL REVIEW IS REQUIRED, THE CONTRACTOR WILL BE RESPONSIBLE TO PAY ANY FEES ASSOCIATED WITH THE ADDITIONAL REVIEW.
- TESTING.** TESTING OF CONSTRUCTION MATERIALS AND/OR CONSTRUCTED FACILITIES WILL BE REQUIRED AS OUTLINED IN THE GOVERNING SPECIFICATIONS AS NECESSARY TO MEET THE REQUIREMENTS OF THE JURISDICTIONAL AGENCIES. ALL TESTING IS TO BE DONE BY A FLORIDA LICENSED TESTING LABORATORY. THE CONTRACTOR IS TO SUBMIT ALL REQUIRED TESTS ON UTILITY EMBANKMENT, BACKFILL, SUBGRADE, BASE AND SURFACE COURSE MATERIAL TO THE ENGINEER PRIOR TO ANY REQUEST FOR PAYMENT. IF ANY TESTS FAIL TO MEET THE SPECIFICATIONS, THE CONTRACTOR, AT ITS EXPENSE, SHALL CORRECT ALL DEFICIENT WORK AND SUBMIT TEST RESULTS INDICATING COMPLIANCE WITH THESE SPECIFICATIONS PRIOR TO ANY REQUEST FOR PAYMENT.
- DENSITY TESTING.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY TESTING TO ASSURE THAT THE PROPER COMPACTION HAS BEEN ACHIEVED ON THE SUBGRADE, BASE MATERIAL, PIPE BASE MATERIAL AND ALL OTHER PERTINENT AREAS THAT HAVE BEEN COMPLETED. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH TESTING AND RETESTING THE AREAS AND SHALL PROVIDE THE OWNER AND THE ENGINEER COPIES OF ALL TEST RESULTS. ALL REPORTS ARE TO BE SIGNED AND SEALED BY A REGISTERED GEOTECHNICAL ENGINEER IN THE STATE OF FLORIDA.
- HORIZONTAL DISTRIBUTION OF DENSITY TESTING.** DENSITY TESTING SHALL BE PERFORMED AT THE FOLLOWING MINIMUM LOCATIONS WITH HORIZONTAL SPACING PER THE VERTICAL DISTRIBUTION OF DENSITY TAKING NOTE. MORE SPECIFICALLY:
 - PIPE TRENCHES** – TESTS SHALL BE PERFORMED AT RANDOMLY SELECTED LOCATIONS WITHIN EACH 300 FOOT INTERVAL (MAXIMUM) ALONG THE LENGTH OF A PIPE INSTALLATION, AND BETWEEN EACH SET OF STRUCTURES SEPARATED BY LESS THAN 300 FEET. AT LEAST ONE TEST SHALL BE PERFORMED FOR EVERY 12 INCH BACKFILL LAYER, STARTING WITH THE FIRST TEST PERFORMED AT THE PIPE SPRINGLINE (COVERING THE 12" LAYER BELOW SPRINGLINE ELEVATION).
 - STRUCTURES** – TESTS SHALL BE PERFORMED AT EACH MANHOLE OR DRAINAGE STRUCTURE. AT LEAST ONE TEST SHALL BE PERFORMED FOR EVERY 12 INCH BACKFILL LIFT, STARTING WITH THE FIRST TEST PERFORMED AT THE BASE OF THE STRUCTURE (COVERING THE 12" LAYER BELOW BASE ELEVATION).
 - SUBGRADE** – TESTS SHALL BE PERFORMED AT RANDOMLY SELECTED LOCATIONS WITHIN EACH 300 FOOT INTERVAL (MAXIMUM) ALONG THE LENGTH OF THE ROADWAY, SIDEWALK, OR PATHWAY AND EVERY 6,000 SQUARE FEET OF PARKING AREA.
 - BASE ROCK** – TESTS SHALL BE PERFORMED AT RANDOMLY SELECTED LOCATIONS WITHIN EACH 300 FOOT INTERVAL (MAXIMUM) ALONG THE LENGTH OF THE ROADWAY, SIDEWALK, OR PATHWAY AND EVERY 6,000 SQUARE FEET OF PARKING AREA.
 - ROAD CROSSINGS** – TESTS SHALL BE PERFORMED FOR EACH 12 INCH LIFT WITHIN ANY OPEN CUT ROAD CROSSING LOCATION.
- TACTILE SURFACES** – ALL TACTILE SURFACES SHALL COMPLY WITH ALL APPLICABLE CODES AND REQUIREMENTS INCLUDING BUT NOT LIMITED TO, THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) INDEX 304 AND THE FLORIDA BUILDING CODE (FBC), ACCESSIBILITY.

SITE DEMOLITION AND EROSION CONTROL NOTES:

- SITE ACCESS.** SUITABLE STABILIZED ROADS ARE TO BE PROVIDED DURING CONSTRUCTION FOR FIRE AND PARAMEDICAL ACCESS.
- SITE.** CONTRACTOR ACCEPTS THE SITE AS IS. ANY REPAIRS TO EXISTING SITE ELEMENTS INCLUDING PAVEMENT, SIDEWALKS, CURBING, DRAINAGE, SANITARY SEWER, WATER, SIGNAGE & STRIPING SHALL BE INCLUDED IN THE BID PRICE.
- EROSION CONTROL.** THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION AND TURBIDITY BARRIERS PRIOR TO AND DURING CONSTRUCTION TO PREVENT VIOLATION OF STATE WATER QUALITY STANDARDS FOR OFFSITE DISCHARGES THESE BARRIERS SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED, SOILS ARE STABILIZED, AND VEGETATION HAS BEEN ESTABLISHED. REFERENCE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS INDICES 102, 103 AND 106 FOR TYPICAL INSTALLATION DETAILS.
- FILTER FABRIC.** FILTER FABRIC SHALL BE INSTALLED ON ALL CATCH BASIN GRATES AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- ADJACENT IMPACTS.** CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, WETLANDS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
- SILT FENCES.** SILT FENCES SHALL BE INSTALLED AND MAINTAINED AROUND ALL CLEARING PERIMETERS.
- SITE CLEARING.** CLEAR AREAS INDICATED SHALL BE COMPLETELY CLEAR OF ALL TIMBER, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER DEBRIS AND OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE GROUND. THIS DEBRIS SHALL BE DISPOSED OF IN A LEGAL MANNER. BURNING OF THIS MATERIAL IS NOT PERMITTED UNLESS THE CONTRACTOR OBTAINS SPECIFIC PERMITS ALLOWING SUCH ACTIVITY.

GEOMETRIC, SIGNING, AND STRIPING NOTES:

- REFERENCES.** WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), FDOT TRAFFIC DESIGN STANDARDS (LATEST EDITION), MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) (LATEST EDITION) AND THE PALM BEACH COUNTY TYPICALS FOR PAVEMENT MARKINGS, SIGNING & GEOMETRICS (T-P-13-001). ALL REFERENCES ARE INCORPORATED INTO THE PLAN DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF THE LATEST EDITION OF THE REFERENCES.
- PARKING LOT STRIPING.** ALL PARKING STALL STRIPING SHALL BE TRAFFIC PAINT AND CONFORM TO THE RESPECTIVE JURISDICTIONAL AUTHORITY REQUIREMENTS. ALL OTHER PARKING LOT STRIPING SHALL BE THERMOPLASTIC PER FDOT SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- ROADWAY STRIPING.** ALL ROADWAY STRIPING SHALL BE THERMOPLASTIC IN ACCORDANCE WITH THE RESPECTIVE JURISDICTIONAL AUTHORITY REQUIREMENTS.
- BUILDING TIES AND DIMENSIONS.** BUILDING TIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY WITH ARCHITECTURAL PLANS. BUILDINGS SHOWN ON THESE DRAWINGS MAY NOT REFLECT MINOR ARCHITECTURAL REVISIONS AND SHOULD NOT BE RELIED UPON FOR STAKING OF BUILDINGS. CONTRACTOR SHOULD OBTAIN LATEST ARCHITECTURAL INFORMATION AND ESTABLISH GEOMETRIC DATA FOR STAKING. SHOULD THE CONTRACTOR IDENTIFY A CONFLICT BETWEEN THE ARCHITECTURAL INFORMATION AND THESE DRAWINGS, NOTIFY THE ENGINEER IN WRITING.
- MAINTENANCE OF TRAFFIC.** CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING A PROPER TRAFFIC MAINTENANCE AND CONTROL PLAN IN ACCORDANCE WITH REGULATORY STANDARDS. INCLUDED WILL BE THE LABOR, EQUIPMENT AND MATERIALS REQUIRED TO IMPLEMENT THAT PLAN. ALL WORK MUST BE DONE IN ACCORDANCE WITH AGENCY REQUIREMENTS AND ANY REQUIRED PERMITS OR APPROVALS MUST BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR.

ABBREVIATIONS

NO.	DATE	REVISIONS
		BURIED FIBER OPTIC BFO
		PROPERTY LINE P/L
		EXISTING EXIST. / EX
		FIRE HYDRANT FH
		GATE VALVE GV
		LINEAR FOOT LF
		MANHOLE MH
		RIGHT-OF-WAY R/W
		SANITARY SAN
		STORM STM
		STORM MANHOLE SMH
		UTILITY EASEMENT U.E.
		UNKNOWN UNK
		WATER WTR
		WATERMAIN WM

LEGEND

EXISTING WATER MAIN	— EXWM — EXWM — EXWM —
EXISTING SANITARY SEWER	— EXSS — EXSS — EXSS —
EXISTING FORCE MAIN	— EXFM — EXFM — EXFM —
EXISTING STORM DRAINAGE	— EXDN — EXDN — EXDN —
EXISTING GAS LINE	— GAS — GAS — GAS —
EXISTING OVERHEAD WIRES	— OHW — OHW —
EXISTING EDGE OF PAVEMENT	-----

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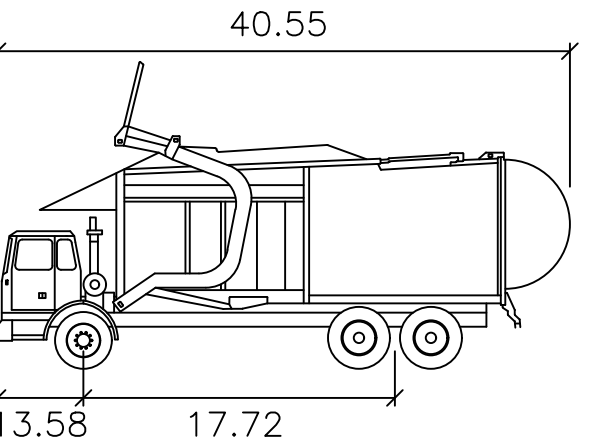
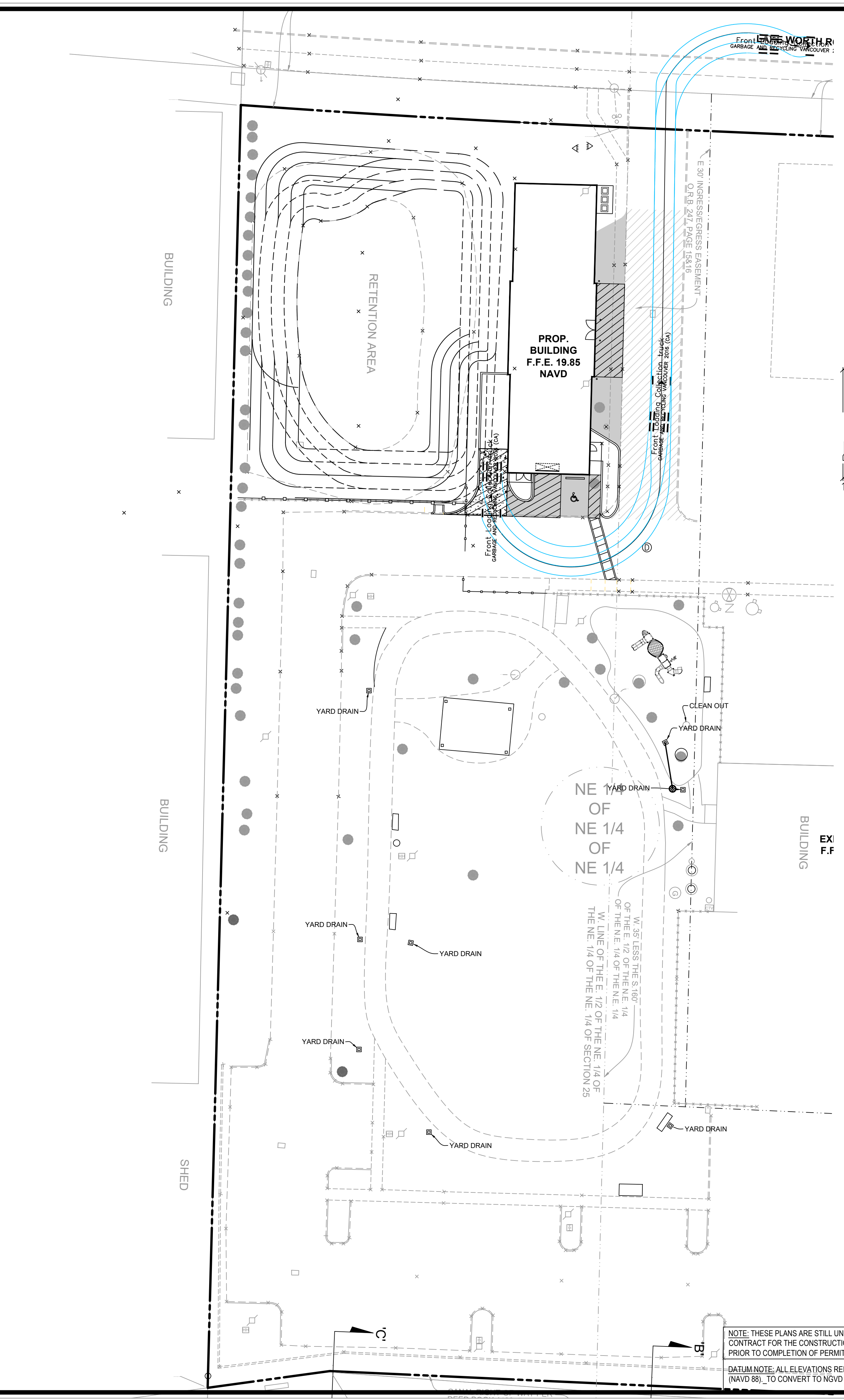
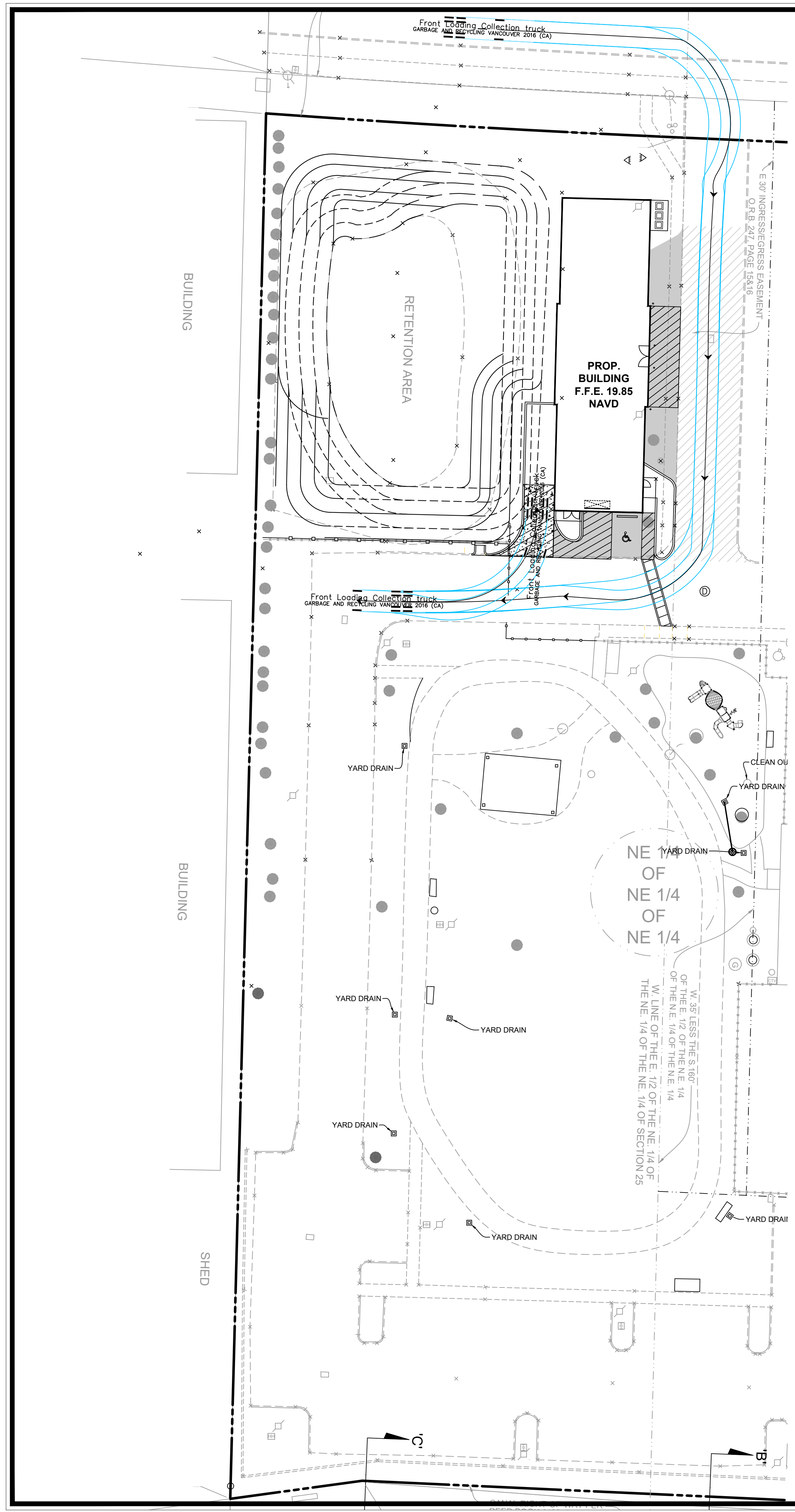
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WUD #25-TBD

GENERAL NOTES & SPECIFICATIONS
SALVATION ARMY
CENTER OF WORSHIP & SERVICE: THRIFT STORE
PALM SPRINGS, FLORIDA

SITE PLAN RESUBMITTAL
DATE: 2/2/2026

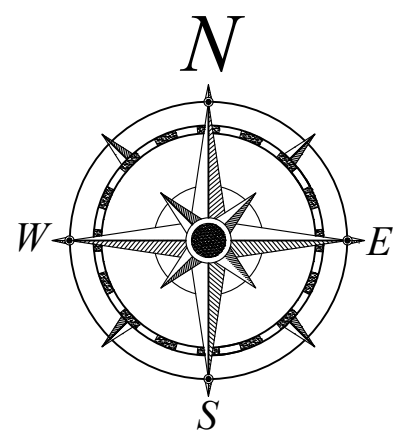
SHEET
C2.2
OF 4



Front Loading Collection truck

feet

Width : 8.53
Track : 8.53
Lock to Lock Time : 6.0
Steering Angle : 27.7



SCALE: 1" = 25'



McLeod • McCarthy & Associates, P.A.
Civil Engineers

The Forum III
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West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD:
DRAWN: P. Seifold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 25-013

NO. DATE REVISIONS

AUTOTURN EXHIBIT: SOLID WASTE
SALVATION ARMY
CENTER OF WORSHIP & SERVICE: THRIFT STORE
PALM SPRINGS, FLORIDA

SITE PLAN RESUBMITTAL
DATE: 2/2/2026

SHEET
EX1
OF 4

NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.52' TO NAVD ELEVATIONS.

WUD #25-TBD

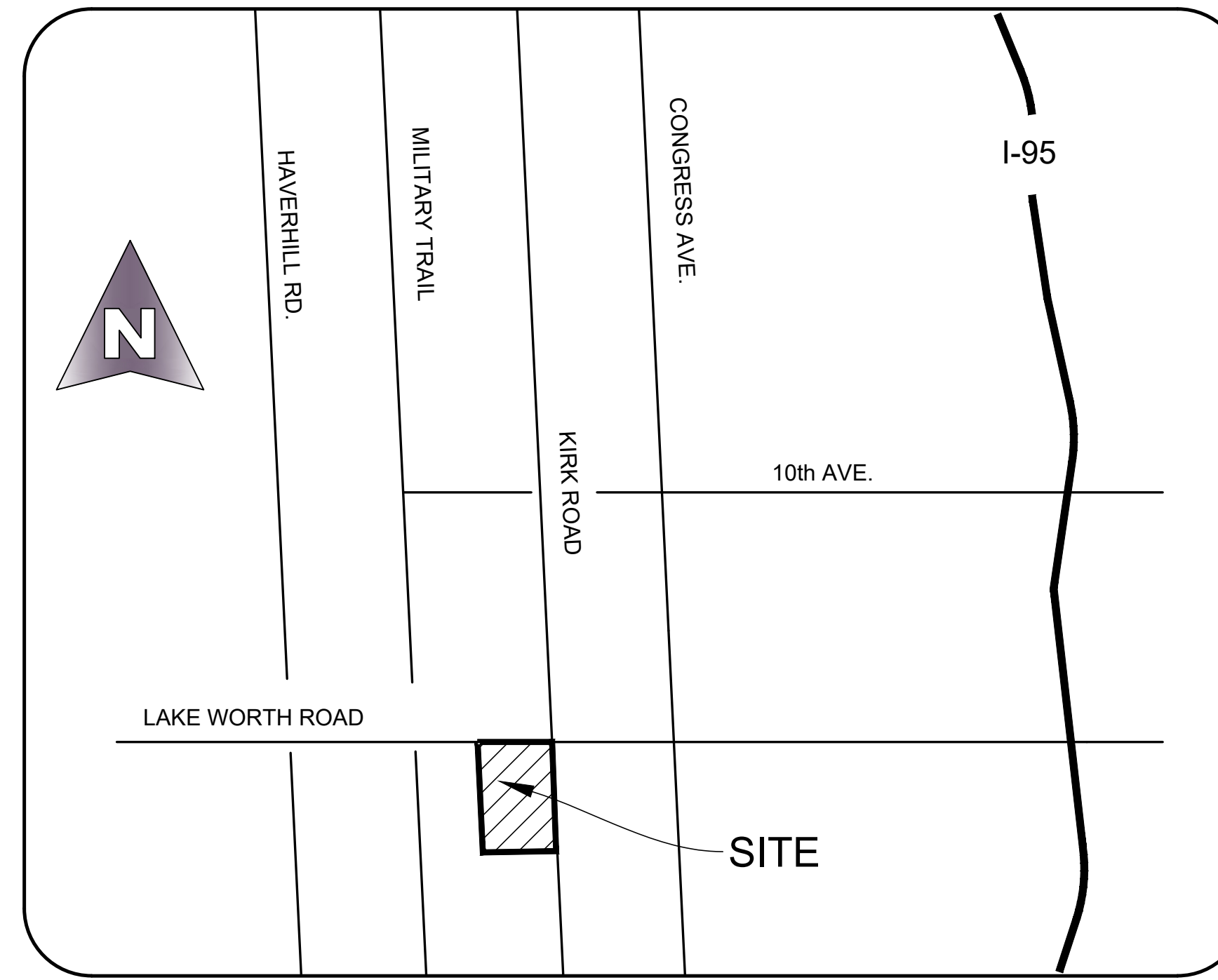
LEGAL DESCRIPTION

THE EAST 1/2 OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 AND THE WEST 35 FEET OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 44 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, LESS THE RIGHT OF WAY FOR STATE ROAD 802 (LAKE WORTH ROAD) AND LESS THE RIGHT-OF-WAY FOR CANAL AS CONVEYED TO THE COUNT OF PALM BEACH BY DEED RECORDED IN DEED BOOK 1139, PAGE 289, ALSO LESS THE SOUTH 160 FEET OF THE WEST 35 FEET OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 25.

AND
THE EAST 1/2 THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 44 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, LESS THE WEST 35 FEET AND THE SOUTH 160 FEET THEREOF, AND LESS THE ROAD AND CANAL RIGHT-OF-WAYS.

AND
THE SOUTH 160 FEET EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 44 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, LESS THE SOUTH 40 FEET THEREOF FOR RIGHT-OF-WAY PURPOSES.

LESS AND EXCEPT THAT PORTION DESCRIBED IN RIGHT OF WAY DEED RECORDED IN O.R. BOOK 7259, PAGE 52, AND WARRANTY DEED RECORDED IN O.R. BOOK 13425, PAGE 147, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.



LOCATION MAP
NOT TO SCALE

SURVEYOR NOTES:

- NO SEARCH OF THE PUBLIC RECORDS WAS DONE BY THIS OFFICE.
- LEGAL DESCRIPTION ARE PER EXHIBIT A OF THE TITLE COMMITMENT.
- BEARINGS AS SHOWN HEREON ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 44 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, HAVING A GRID BEARING OF SOUTH 87°28'34" EAST, WHICH IS RELATIVE TO THE NORTH AMERICAN DATUM (N.A.D.) 83, 1990 ADJUSTMENT.
- NO SURFACE OR SUBSURFACE IMPROVEMENTS, UTILITIES OR FOUNDATIONS ON OR ADJACENT TO SUBJECT PROPERTY LOCATED PER CLIENT'S REQUEST.
- THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X" BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 12099C0776F, EFFECTIVE DATE: 10/5/2017 (THE VILLAGE OF PALM SPRINGS, FLORIDA)
- THIS SURVEY WAS PERFORMED WITH A COMBINATION OF RTK GPS METHODS AND CONVENTIONAL OPTICAL SURVEY METHODS.
- THE POSITIONAL TOLERANCE OF THE CORNER MONUMENTS SHOWN HEREON ARE EXPECTED TO BE LESS THAN, OR EQUAL TO 0.07'.
- ALL BOUNDARY DIMENSIONS ARE CALCULATED AND MEASURED UNLESS OTHERWISE SHOWN.
- THIS SURVEY FALLS WITHIN THE COMMERCIAL HIGH RISK CATEGORY AS CLASSIFIED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE. ALL FIELD MEASURED CONTROL MEASUREMENTS EXCEEDED THE ACCURACY REQUIREMENTS FOR THIS CLASSIFICATION. (1' IN 10,000' ACCURACY)
- ELEVATIONS SHOWN HEREON ARE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88). BENCHMARK ORIGIN: FOUND "X" CUT MARK IN NORTH END OF ISLAND AT THE INTERSECTION OF CONGRESS AVE. AND 2ND AVENUE NORTH PALM BEACH COUNTY CONTROL STATION "S 104" REFERENCE ELEVATION = 14.074 NAVD 88.
- PROPERTY ADDRESS: 4051 LAKE WORTH ROAD, LAKE WORTH, FLORIDA 33461.
- THE SUBJECT PROPERTY CONTAINS 5.438 ACRES OR 238849.45 SQUARE FEET, MORE OR LESS.
- THE PROPERTY CONTROL NUMBER (PCN) IS 70-42-44-25-00-000-1380.

COORDINATES NOTE:
STATE PLANE COORDINATES SHOWN ARE GRID
DATUM = NAD 83, 1990 ADJUSTMENT
ZONE = FLORIDA EAST
LINEAR UNITS = US SURVEY FOOT
COORDINATE SYSTEM 1983 STATE PLANE TRANSVERSE MERCATOR PROJECTION
ALL DISTANCES ARE GROUND
PROJECT SCALE FACTOR = 1.00000391
GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE
BEARINGS AS SHOWN HEREON ARE GRID DATUM, NAD 83 1990 ADJUSTMENT, FLORIDA EAST ZONE.

TITLE REVIEW NOTATIONS:

- UPON REVIEW OF THE AMERICAN LAND TITLE ASSOCIATION COMMITMENT (WITH FLORIDA MODIFICATIONS) SCHEDULE B-II, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER 1382996 (ISSUING OFFICE FILE NUMBER: SALVATION.02), COMMITMENT DATE: MARCH 21, 2023, @ 11:00 P.M., IT IS THE OPINION OF THIS OFFICE TO THE BEST OF OUR KNOWLEDGE AND BELIEF THAT ALL DELINEABLE EASEMENTS, RIGHTS-OF-WAY, RESERVATIONS AND OTHER ENCUMBRANCES ARE SHOWN HEREON. NON-DELINEABLE RESERVATIONS OR OTHER ENCUMBRANCES MAY BE APPLICABLE TO THE SUBJECT PARCEL.
- TITLE EXCEPTIONS 1 - 5 AND 19 ARE STANDARD EXCEPTIONS THAT MAY BE APPLICABLE HOWEVER THEY DO NOT PROVIDE ANY DEED RELATED INFORMATION OR PLOTTABLE ELEMENTS.
- ALL MATTERS CONTAINED ON THE ROAD PLAT RECORDED IN RP BOOK 5, PAGE 125, PUBLIC RECORDS OF PALM BEACH COUNTY. **APPLICABLE AND PLOTTED.**
 - ALL MATTERS CONTAINED ON THE ROAD PLAT RECORDED IN RP BOOK 12, PAGE 151, PUBLIC RECORDS OF PALM BEACH COUNTY. **APPLICABLE AND PLOTTED.**
 - EASEMENT FOR INGRESS/EGRESS, CONTAINED IN DEEDS RECORDED IN O.R. BOOK 2457, PAGE 15; O.R. BOOK 2457, PAGE 16, PUBLIC RECORDS OF PALM BEACH COUNTY. **APPLICABLE AND PLOTTED.**
 - TERMS AND CONDITIONS OF THE EASEMENT RECORDED IN O.R. BOOK 6851, PAGE 982, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE AND PLOTTED.**
 - TERMS AND CONDITIONS OF THE EASEMENT RECORDED IN O.R. BOOK 14230, PAGE 517, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE AND PLOTTED.**
 - TERMS AND CONDITIONS OF THE EASEMENT RECORDED IN O.R. BOOK 14542, PAGE 1388, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE AND PLOTTED.**
 - TERMS AND CONDITIONS OF THE EASEMENT RECORDED IN O.R. BOOK 16043, PAGE 458, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE AND PLOTTED.**
 - ACCESS EASEMENT RECORDED MARCH 3, 2010, UNDER O.R. BOOK 23721, PAGE 382, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE, BLANKET IN NATURE.**
 - TERMS AND CONDITIONS OF THE EASEMENT RECORDED IN O.R. BOOK 26854, PAGE 268, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE AND NOT PLOTTABLE.**
 - TERMS AND CONDITIONS OF THE UNITY OF TITLE RECORDED IN O.R. BOOK 6826, PAGE 486, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE, BLANKET IN NATURE.**
 - TERMS AND CONDITIONS OF THE NOTICE OF INTENT TO WITHHOLD DEVELOPMENT PERMITS RECORDED IN O.R. BOOK 12018, PAGE 200, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE, BLANKET IN NATURE.**
 - STANDARD POTABLE WATER AND WASTEWATER DEVELOPMENT AGREEMENT RECORDED IN O.R. BOOK 9941, PAGE 1425, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE, BLANKET IN NATURE.**
 - DECLARATION OF MAINTENANCE COVENANTS RECORDED IN O.R. BOOK 13027, PAGE 750, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. **APPLICABLE, BLANKET IN NATURE.**
 - FOR INFORMATION PURPOSES ONLY, COMMITMENT EXCEPTION #3 IS HEREBY DELETED IN ITS ENTIRETY.

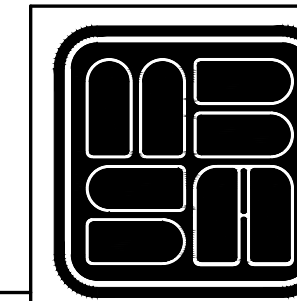
LEGEND

ABBREVIATIONS	SYMBOLS
P.O.C. = POINT OF COMMENCEMENT	☉ = CENTERLINE
P.O.B. = POINT OF BEGINNING	ℙ = PROPERTY LINE
P.R.M. = PERMANENT REFERENCE MONUMENT	⊙ = SANITARY SEWER MANHOLE
P.C.P. = PERMANENT CONTROL POINT	⊙ = STORM MANHOLE
C.M. = CONCRETE MONUMENT	⊙ = GAS SERVICE
R/W = RIGHT-OF-WAY	⊙ = GREASE TRAP MANHOLE
P.B. = PLAT BOOK	CTV = CABLE RISER
O.R.B. = OFFICIAL RECORD BOOK	○ = FOUND BOUNDARY CORNER AS SHOWN
D.B. = DEED BOOK	● = SET 1/2" I.R. & C. STAMPED MBSA LB2438
R.P.B. = ROAD PLAT BOOK	⊙ = FOUND NAIL OR NAIL AND DISK AS SHOWN
PG.(S) = PAGE(S)	⊙ = SOUTHERN BELL MANHOLE
P.B.C.R. = PALM BEACH COUNTY RECORDS	⊙ = CATCH BASIN
R = RADIUS	⊙ = FIRE HYDRANT
Δ = CURVE CENTRAL ANGLE	⊙ = GUY ANCHOR
L = ARC LENGTH	⊙ = CONCRETE LIGHT POLE
(G.) = GRID	⊙ = WOOD POWER POLE
P. = PLAT	⊙ = LIGHT POLE
D. = DESCRIPTION	⊙ = GROUND LIGHT
C. = CALCULATED	⊙ = WATER METER
M. = MEASURED	⊙ = FENCE AS SHOWN
C. & M. = CALCULATED AND MEASURED	—GR— = GUARD RAIL
P. & M. = PLAT AND MEASURED	—OH— = OVERHEAD POWER LINE
EL. = ELEVATION	⊙ = CHAIN LINK FENCE
TRANS. = TRANSFORMER	⊙ = HANDICAP PARKING
LP = LIGHT POLE	⊙ = ATT RISER
FH = FIRE HYDRANT	⊙ = ELECTRIC SERVICE BOX
W.M. = WATER METER	⊙ = EXISTING ELEVATION
C.B. = CATCH BASIN	⊙ = HAND HOLE
S.MH. = STORM MANHOLE	
FPL = FLORIDA POWER AND LIGHT COMPANY	
P.B.C. = PALM BEACH COUNTY	
L.A.E. = LIMITED ACCESS EASEMENT	
U.E. = UTILITY EASEMENT	
CONC. = CONCRETE	
ASPH. = ASPHALT	
FD. = FOUND	
I.R. & C. = IRON ROD & CAP	
I.R. = IRON ROD (NO NUMBER)	
I.P. = IRON PIPE (NO NUMBER)	
PROP. = PROPOSED	
U.E. = UTILITY EASEMENT	
D.E. = DRAINAGE EASEMENT	
E.P. = EDGE OF PAVING	
L.A.E. = LIMITED ACCESS EASEMENT	
M.E. = MAINTENANCE EASEMENT	
T.O.B. = TOP OF BANK	
E.O.W. = EDGE OF WATER	
O/S = OFFSET	
F.F.E.L. = FINISHED FLOOR ELEVATION	
(OA) = OVERALL	
HH = HAND HOLE	
C & G = CONC. CURB AND GUTTER	
VG = VALLEY GUTTER	
OPF = OLD FENCE POST	
A.E. = ACCESS EASEMENT	
I.E.E. = INGRESS/EGRESS EASEMENT	

THE SPECIFIC PURPOSE SURVEY PROVIDED HEREON MEETS THE REQUIREMENTS AS ESTABLISHED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PER CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE AND THE STANDARDS OF PRACTICE PURSUANT TO CHAPTER 472 FLORIDA STATUTES.

UNLESS THIS DOCUMENT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

DATE OF SIGNATURE: 8-21-25 DAN CHRISTIAN
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 4227
DATE OF LAST FIELD WORK: 8-11-25



MICHAEL B. SCHORAH & ASSOCIATES, INC.
1850 Forest Hill Boulevard, Suite 206
West Palm Beach, Florida 33406
Phone (561) 968-0080 Fax: (561) 642-9726

FIELD J.G.	FIELD BOOK	SCALE	SHEET NO. 1
CHECKED D.J.C.	PAGE	1" = 30'	
DRAWN M.A.M.	CADD FILE	DATE	
	1987 80Y SALVATION ARMY UPDATE DWG.	AUGUST 2025	OF 2

**SPECIFIC PURPOSE SURVEY FOR
THE SALVATION ARMY**

LB # 2438
FILE NO. 1867

NO.	BY	DATE	REVISIONS
5			
4			
3			
2	CAD	8-29-2025	ADDED PROPERTY CONTROL NUMBER (NOTE #13) PER VILLAGE OF PALM SPRINGS
1	CAD	8-21-2025	UPDATE PER CLIENT

STORM WATER MANAGEMENT CALCULATIONS
FOR
SALVATION ARMY: LAKE WORTH
Thrift Building

Palm Springs, Florida
MMA #25-013

August 29, 2025
Revised:
February 2, 2026

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McLEOD • McCARTHY
& Associates, P.A.
CIVIL ENGINEERS

TODD N. MCLEOD, P.E.

Florida License No. 69188

2/2/2026

Date

STORM WATER MANAGEMENT CALCULATIONS

Project Name: SALVATION ARMY: LAKE WORTH
 Project #: MMA #25-013

Engineer: TNM
 Date: 08/29/25
 Revised: 02/02/26

LAND USE BREAKDOWN

EXISTING

Site Area = **5.59 ac**
 Basin Area = **5.59 ac**

	Acres	%	Grading	
			From	To
Impervious Area				
Exist Building	0.51 ac	(9%)	20.00	
Pavement & Walks	1.77 ac	(32%)	18.10	19.75
Pathway & Rec Areas	0.16 ac	(3%)	18.20	19.50
Pervious Area				
Green Space	2.83 ac	(51%)	17.85	19.75
Detention Bottom	0.17 ac	(3%)	14.50	
Detention Slopes	0.15 ac	(3%)	14.50	18.50
Subtotal Impervious Areas	2.44 ac	(44%)		
Subtotal Pervious Areas	3.15 ac	(56%)		

Find Curve Number:

Avg. Pervious Ground El. = 18.46
 Control Elevation = **11.50** (SFWMD ERP)
 Depth to Water Table = **6.96**
 Soil Type = Flatwoods

Soil Storage Table

(SFWMD's Vol. IV, Basis of Review, page E-2)

Depth to W.T. (ft)	Coastal Storage (in)	Flatwoods Storage (in)	Depression Storage (in)
1.0	0.6	0.6	0.6
2.0	2.5	2.5	2.1
3.0	6.6	5.4	4.4
4.0	10.9	9.0	6.8

Pervious Area = 2.83 ac (Less Dry Detention)
 Storage from Table = 6.75 in (w/ 25% compaction)
 Available Soil Storage = 1.59 af
 Soil Moisture Storage (S) = 3.42 in
 Curve Number = **75**

STORM WATER MANAGEMENT CALCULATIONS

Project Name: SALVATION ARMY: LAKE WORTH
 Project #: MMA #25-013

Engineer: TNM
 Date: 08/29/25
 Revised: 02/02/26

LAND USE BREAKDOWN

PROPOSED

Site Area = **5.59 ac**
 Basin Area = **5.59 ac**

	Acres	%	Grading	
			From	To
Impervious Area				
Building	0.60 ac	(11%)		
Pavement & Walks	1.83 ac	(33%)	18.10	19.75
Pathway & Rec Areas	0.16 ac	(3%)	18.20	19.50
Pervious Area				
Green Space	2.64 ac	(47%)	17.85	19.75
Detention Bottom	0.18 ac	(3%)	14.50	
Detention Banks	0.18 ac	(3%)	14.50	18.50
Subtotal Impervious Areas	2.59 ac	(46%)		
Subtotal Pervious Areas	3.00 ac	(54%)		

Find Curve Number:

Avg. Pervious Ground El. = 18.40
 Control EL. = **11.50** (SFWMD ERP)
 Depth to Water Table = **6.90**
 Soil Type = Flatwoods

Soil Storage Table

(SFWMD's Vol. IV, Basis of Review, page E-2)

Depth to W.T. (ft)	Coastal Storage (in)	Flatwoods Storage (in)	Depression Storage (in)
1.0	0.6	0.6	0.6
2.0	2.5	2.5	2.1
3.0	6.6	5.4	4.4
4.0	10.9	9.0	6.8

Pervious Area = 2.64 ac (Less Dry Detention)
 Storage from Table = 6.75 in (w/ 25% compaction)
 Avail Soil Storage = 1.49 af
 Soil Moisture Storage (S) = 3.19 in
 Curve Number = **76**

STORM WATER MANAGEMENT CALCULATIONS

Project Name: SALVATION ARMY: LAKE WORTH
 Project #: MMA #25-013

Engineer: TNM
 Date: 08/29/25
 Revised: 02/02/26

LAND USE BREAKDOWN: AFFECTED AREA FOR WQ

EXISTING

Site Area = 5.59 ac
 Unaffected Area = 4.69 ac
 Basin Area = 0.90 ac

	Acres	%	Grading	
			From	To
Impervious Area				
Exist Building	0.00 ac	(%)	20.00	
Pavement & Walks	0.25 ac	(28%)	18.10	19.75
Pervious Area				
Green Space	0.33 ac	(37%)	17.85	19.75
Detention Bottom	0.17 ac	(19%)	14.50	
Detention Slopes	0.15 ac	(17%)	14.50	18.50
Subtotal Impervious Areas	0.25 ac	(28%)		
Subtotal Pervious Areas	0.65 ac	(72%)		

Find Curve Number:

Avg. Pervious Ground El. = 17.14
 Control Elevation = 11.50 (SFWMD ERP)
 Depth to Water Table = 5.64
 Soil Type = Flatwoods

Soil Storage Table

(SFWMD's Vol. IV, Basis of Review, page E-2)

Depth to W.T. (ft)	Coastal Storage (in)	Flatwoods Storage (in)	Depression Storage (in)
1.0	0.6	0.6	0.6
2.0	2.5	2.5	2.1
3.0	6.6	5.4	4.4
4.0	10.9	9.0	6.8

Pervious Area = 0.33 ac (Less Dry Detention)
 Storage from Table = 6.75 in (w/ 25% compaction)
 Available Soil Storage = 0.19 af
 Soil Moisture Storage (S) = 2.48 in
 Curve Number = 80

STORM WATER MANAGEMENT CALCULATIONS

Project Name: SALVATION ARMY: LAKE WORTH
 Project #: MMA #25-013

Engineer: TNM
 Date: 08/29/25
 Revised: 02/02/26

LAND USE BREAKDOWN: AFFECTED AREA FOR WQ

PROPOSED

Site Area = 5.59 ac
 Unaffected Area = 4.69 ac
 Basin Area = 0.90 ac

	Acres	%	Grading	
			From	To
Impervious Area				
Building	0.09 ac	(10%)		
Pavement & Walks	0.31 ac	(34%)	18.10	19.75
Pervious Area				
Green Space	0.14 ac	(16%)	17.85	19.75
Detention Bottom	0.18 ac	(20%)	14.50	
Detention Banks	0.18 ac	(20%)	14.50	18.50
Subtotal Impervious Areas	0.40 ac	(44%)		
Subtotal Pervious Areas	0.50 ac	(56%)		

Find Curve Number:

Avg. Pervious Ground El. = 16.42
 Control EL. = 11.50 (SFWMD ERP)
 Depth to Water Table = 4.92
 Soil Type = Flatwoods

Soil Storage Table

(SFWMD's Vol. IV, Basis of Review, page E-2)

Depth to W.T. (ft)	Coastal Storage (in)	Flatwoods Storage (in)	Depression Storage (in)
1.0	0.6	0.6	0.6
2.0	2.5	2.5	2.1
3.0	6.6	5.4	4.4
4.0	10.9	9.0	6.8

Pervious Area = 0.14 ac (Less Dry Detention)
 Storage from Table = 6.75 in (w/ 25% compaction)
 Avail Soil Storage = 0.08 af
 Soil Moisture Storage (S) = 1.05 in
 Curve Number = **90**

STORM WATER MANAGEMENT CALCULATIONS

Project Name: SALVATION ARMY: LAKE WORTH

Project #: MMA #25-013

Engineer: TNM

Date: 08/29/25

Revised: 02/02/26

STAGE -STORAGE CALCULATIONS

PROPOSED

Starting Stage	14.50
Ending Stage	20.50
Stage Increment	1.00

Name	Pavement & Walks	Green Space	Detention Bottom	Detention Banks	Trench	
Area	1.83	2.64	0.18	0.18	0.07 (AF)	
Start Elev	18.10	17.85	14.50	14.50	11.50	
End Elev	19.75	19.75	0.00	18.50	16.50	
Stage	Linear	Linear	Vert	Linear	Linear	Total
Feet	Storage	Storage	Storage	Storage	Storage	Storage
NAVD	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft
14.50	0.00	0.00	0.00	0.00	0.04	0.04
15.50	0.00	0.00	0.18	0.02	0.06	0.26
16.50	0.00	0.00	0.36	0.09	0.07	0.52
17.50	0.00	0.00	0.54	0.20	0.07	0.81
18.50	0.09	0.29	0.72	0.36	0.07	1.54
19.50	1.09	1.89	0.90	0.54	0.07	4.59
20.50	2.92	4.53	1.08	0.72	0.07	9.58

STORM WATER MANAGEMENT CALCULATIONS

Project Name: **SALVATION ARMY: LAKE WORTH**

Project #: **MMA #25-013**

Engineer: **TNM**

Date: **08/29/25**

Revised: **02/02/26**

RUNOFF (ZERO DISCHARGE) CALCULATIONS

Soil Moisture Storage (S_{exist}) 3.42 in

Soil Moisture Storage (S_{prop}) 3.19 in

3 Year, 1 Day Rainfall Amount (P): 6.0 in Figure C-2

25 Year, 3 Day Rainfall Amount (P): 13.0 in Figure C-8

100 Year, 3 Day Rainfall Amount (P): 16.5 in Figure C-9

PARKING LOT: 3-YEAR, 1-DAY RUNOFF CALCULATIONS (PER SFWMD):

$$Q = (P - (0.2XS))^2 / (P + (0.8*S))$$

$$= 3.4 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1/12"$$

$$= 3.4 \text{ in} \times 5.59 \text{ X} \times 1/12" = 1.57 \text{ AF}$$

PRE/POST ANALYSIS: 25-YEAR, 3-DAY RUNOFF CALCULATIONS:

Existing:

$$Q = (P - (0.2XS))^2 / (P + (0.8*S))$$

$$= 9.6 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1/12"$$

$$= 9.6 \text{ in} \times 5.59 \text{ X} \times 1/12" = 4.49 \text{ AF}$$

Proposed:

$$Q = (P - (0.2XS))^2 / (P + (0.8*S))$$

$$= 9.8 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1/12"$$

$$= 9.8 \text{ in} \times 5.59 \text{ X} \times 1/12" = 4.58 \text{ AF}$$

Pre- vs. Post- = 0.09 AF of add'l storage required
Additional 0.13 AF Provided at Elev. 18.5 Ft NAVD

FINISHED FLOORS: 100-YEAR, 3-DAY RUNOFF CALCULATIONS:

Proposed:

$$Q = (P - (0.2XS))^2 / (P + (0.8*S))$$

$$= 13.2 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1/12"$$

$$= 13.2 \text{ in} \times 5.59 \text{ X} \times 1/12" = 6.15 \text{ AF}$$

RAINFALL/ ROUTING SUMMARY (See attached Cascade routings)

ALLOWABLE DISCHARGE:

SFWMD Drainage Basin:	C-16	
Allowable Runoff (CSM):	62.6	Figure 41-8 (40E-41)
Allowable Discharge (cfs):	1.20	(Existing Pre-Development Discharge, SFWMD ERP)
Proposed Peak Discharge (cfs):	1.20	(Based on modified drainage system)

Storm Event	Rainfall (in)	Peak Stage (ft-NAVD)	Peak Discharge (cfs)	Design Criteria	Prop Stage (ft-NAVD)
3-yr, 1-day =	6.0	17.66	1.01	Edge of Pavement	18.10
25-yr, 3-day =	13.0	18.87	1.20	Allowable Discharge	18.90
100-yr, 3-day =	16.5	19.81	n/a	Finished Floors	19.85

STORM WATER MANAGEMENT CALCULATIONS

Project Name: SALVATION ARMY: LAKE WORTH

Project #: MMA #25-013

Engineer: TNM

Date: 08/29/25

Revised: 02/02/26

WATER QUALITY CALCULATIONS

1-inch Over the Project Area

$$\begin{array}{rcll} \text{(Treated Volume)} & 1\text{-inch} & * & 1\text{-ft}/12\text{-in} & * & \frac{5.59}{\text{PROJECT AREA (AC)}} & = & \boxed{0.47} & \text{ac-ft} \\ & & & & & & & \text{TREATED VOLUME} & \end{array}$$

2.5-inches Times the Percent Impervious

$$\begin{array}{rcll} \text{(Site Area)} & \frac{5.59}{\text{PROJECT AREA (AC)}} & - & \left(\frac{0.00}{\text{LAKES (AC)}} + \frac{0.60}{\text{ROOFS (AC)}} \right) & = & \frac{4.99}{\text{SITE AREA}} & \text{ac} \\ \text{(Impervious Area)} & \frac{4.99}{\text{SITE AREA (AC)}} & - & \frac{3.00}{\text{PERVIOUS AREA (AC)}} & = & \frac{1.99}{\text{IMPERVIOUS AREA}} & \text{ac} \\ \text{(% Impervious)} & & & \frac{\text{IMPERVIOUS AREA} * 100\%}{\text{SITE AREA (AC)}} & = & 39.88\% & \\ \text{(2.5-in * \% Imp.)} & & & \frac{2.5\text{-inches} * 39.88\%}{\text{PERCENT IMPERVIOUS}} & = & \frac{1.00}{\text{INCHES TO BE TREATED}} & \text{in} \\ \text{(Treated Volume)} & \frac{1.00}{\text{TREATED (IN)}} & * & 1\text{-ft}/12\text{-in} & * & \frac{5.59}{\text{PROJECT AREA - LAKES (AC)}} & = & \boxed{0.47} & \text{ac-ft} \\ & & & & & & & \text{TREATED VOLUME} & \end{array}$$

THEREFORE 2.5-INCHES X %IMP GOVERNS

$$\begin{array}{rcll} \text{Required WQ Treatment} & = & \boxed{0.47} & \text{ac-ft} \\ \text{Required Dry Detention (25\% credit)} & = & \boxed{0.35} & \text{ac-ft} \\ \text{Provided WQ Treatment (Via Dry Detention @ EL. 18.5)} & = & \boxed{1.08} & \text{ac-ft} \end{array}$$

STORM WATER MANAGEMENT CALCULATIONS

Project Name: **SALVATION ARMY: LAKE WORTH**
 Project #: **MMA #25-013**

Engineer: **TNM**
 Date: **08/29/25**
 Revised: **02/02/26**

EXFILTRATION TRENCH DESIGN

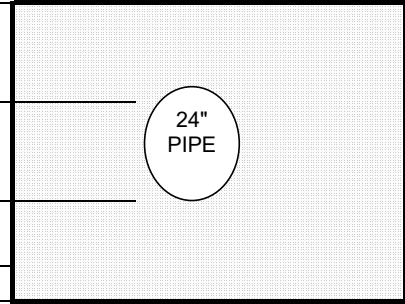
(All elevations shown in NAVD 1988 datum)

Minimum Ground Elevation = **18.60**
 Weir Elevation = **16.65**
 Trench Top Elevation = **16.50**

Pipe Overt Elevation = **14.50**

Pipe Invert Elevation = **12.50**

▽ CWE (Per Soils Report) = **11.50**
 Trench Bottom Elevation = **11.50**



Standard Formula

$$V = L \cdot (K(H_2 \cdot W + 2 \cdot H_2 \cdot D_u - D_u^2 + 2 \cdot H_2 \cdot D_s) + (1.39 \cdot 10^{-4}) \cdot W \cdot D_u)$$

<=== INPUT ONLY IN GRAY CELLS

L	Length of Trench Provided	65
W	Trench Width (feet)	6.5
K	Hydraulic Conductivity (cfs/ft ² -ft.head)	3.50E-04
H ₂	Depth to Water Table (feet)	5.15
D _u	Non Saturated Trench Depth (feet)	5
D _s	Saturated Trench Depth (feet)	0

V Volume Treated (acre-in) 1.66
Volume Treated (acre-ft) 0.14
Volume Attenuated (acre-ft) 0.07 (FS = 2.0)

POST-DEVELOPMENT CASCADE ROUTINGS

Project Name: Salvation Army: Thrift Bldg

Reviewer: T. McLeod

Project Number: #25-013

Period Begin: Jan 01, 2000;0000 hr End: Jan 02, 2000;0000 hr Duration: 24 hr

Time Step: 0.05 hr, Iterations: 200

Basin 1: Salvation Army

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 24 hr

Design Frequency: 3 year

1 Day Rainfall: 6 inches

Area: 5.59 acres

Ground Storage: 3.19 inches

Time of Concentration: 0.1 hours

Initial Stage: 11.5 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
14.50	0.00
15.50	0.26
16.50	0.52
17.50	0.81
18.50	1.54
19.50	4.59
20.50	9.58

Offsite Receiving Body: Offsitel

Time (hr)	Stage (ft NGVD)
0.00	11.50
72.00	13.50
90.00	11.50

Structure: 1

From Basin: Salvation Army

To Basin: Offsitel

Structure Type: Gravity

Weir: Sharp Crested, Crest Elev = 18.9 ft NGVD, Length = 4 ft

Bleeder: Inv-Tri, Invert Elev = 14.5 ft NGVD, Height = 0.5 ft

Width = 0.5 ft

Default Coefs: Weir Coef = 2.5, Orifice Coef = 0.6

Pipe: None

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	11.50	11.50
1.00	0.06	0.00	0.00	0.00	14.50	11.53
2.00	0.12	0.00	0.00	0.00	14.50	11.56
3.00	0.19	0.00	0.00	0.00	14.50	11.58
4.00	0.27	0.00	0.00	0.00	14.50	11.61
5.00	0.37	0.00	0.00	0.00	14.50	11.64
6.00	0.50	0.00	0.00	0.00	14.50	11.67
7.00	0.65	0.00	0.00	0.00	14.50	11.69
8.00	0.82	0.10	0.00	0.00	14.51	11.72
9.00	1.03	0.24	0.00	0.00	14.57	11.75
10.00	1.28	0.44	0.02	0.00	14.68	11.78
11.00	1.61	0.87	0.10	0.00	14.86	11.81
12.00	3.94	16.31	0.84	0.04	16.80	11.83
13.00	4.60	2.06	1.00	0.12	17.61	11.86
14.00	4.91	1.27	1.01	0.20	17.66	11.89
15.00	5.10	0.84	1.01	0.28	17.65	11.92
16.00	5.28	0.85	1.01	0.37	17.64	11.94
17.00	5.39	0.51	1.00	0.45	17.58	11.97

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
18.00	5.50	0.51	0.99	0.53	17.53	12.00
19.00	5.60	0.52	0.97	0.61	17.44	12.03
20.00	5.71	0.52	0.95	0.69	17.31	12.06
21.00	5.78	0.35	0.92	0.77	17.15	12.08
22.00	5.86	0.35	0.88	0.84	16.99	12.11
23.00	5.93	0.35	0.85	0.92	16.84	12.14
24.00	6.00	0.35	0.82	0.99	16.70	12.17

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	1.01	14.15	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
Salvation Army	17.66	14.15	11.50	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
Salvation Army	1.56	0.00	0.98	0.00	0.58	0.00

Project Name: Salvation Army: Thrift Bldg

Reviewer: T. McLeod

Project Number: #25-013

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.05 hr, Iterations: 200

Basin 1: Salvation Army

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 25 year

3 Day Rainfall: 13 inches

Area: 5.59 acres

Ground Storage: 3.19 inches

Time of Concentration: 0.1 hours

Initial Stage: 11.5 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
14.50	0.00
15.50	0.26
16.50	0.52
17.50	0.81
18.50	1.54
19.50	4.59
20.50	9.58

Offsite Receiving Body: Offsitel

Time (hr)	Stage (ft NGVD)
0.00	11.50
72.00	13.50
90.00	11.50

Structure: 1

From Basin: Salvation Army

To Basin: Offsitel

Structure Type: Gravity

Weir: Sharp Crested, Crest Elev = 18.9 ft NGVD, Length = 4 ft

Bleeder: Inv-Tri, Invert Elev = 14.5 ft NGVD, Height = 0.5 ft

Width = 0.5 ft

Default Coefs: Weir Coef = 2.5, Orifice Coef = 0.6

Pipe: None

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	11.50	11.50
1.00	0.06	0.00	0.00	0.00	14.50	11.53
2.00	0.12	0.00	0.00	0.00	14.50	11.56
3.00	0.17	0.00	0.00	0.00	14.50	11.58
4.00	0.23	0.00	0.00	0.00	14.50	11.61
5.00	0.29	0.00	0.00	0.00	14.50	11.64
6.00	0.35	0.00	0.00	0.00	14.50	11.67
7.00	0.41	0.00	0.00	0.00	14.50	11.69
8.00	0.47	0.00	0.00	0.00	14.50	11.72
9.00	0.52	0.00	0.00	0.00	14.50	11.75
10.00	0.58	0.00	0.00	0.00	14.50	11.78
11.00	0.64	0.00	0.00	0.00	14.50	11.81
12.00	0.70	0.01	0.00	0.00	14.50	11.83
13.00	0.76	0.02	0.00	0.00	14.51	11.86
14.00	0.81	0.03	0.00	0.00	14.52	11.89
15.00	0.87	0.04	0.00	0.00	14.53	11.92
16.00	0.93	0.05	0.00	0.00	14.54	11.94
17.00	0.99	0.06	0.00	0.00	14.56	11.97

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
18.00	1.05	0.07	0.00	0.00	14.58	12.00
19.00	1.11	0.08	0.00	0.00	14.60	12.03
20.00	1.16	0.09	0.01	0.00	14.63	12.06
21.00	1.22	0.09	0.01	0.00	14.65	12.08
22.00	1.28	0.10	0.02	0.00	14.68	12.11
23.00	1.34	0.11	0.02	0.00	14.70	12.14
24.00	1.40	0.11	0.03	0.01	14.73	12.17
25.00	1.48	0.18	0.05	0.01	14.77	12.19
26.00	1.57	0.19	0.07	0.01	14.81	12.22
27.00	1.65	0.20	0.09	0.02	14.85	12.25
28.00	1.74	0.21	0.11	0.03	14.88	12.28
29.00	1.82	0.22	0.14	0.04	14.91	12.31
30.00	1.91	0.23	0.16	0.05	14.94	12.33
31.00	1.99	0.24	0.18	0.07	14.96	12.36
32.00	2.08	0.25	0.20	0.08	14.98	12.39
33.00	2.16	0.26	0.21	0.10	14.99	12.42
34.00	2.25	0.27	0.25	0.12	15.00	12.44
35.00	2.33	0.27	0.25	0.14	15.01	12.47
36.00	2.42	0.28	0.26	0.16	15.02	12.50
37.00	2.50	0.29	0.26	0.18	15.02	12.53
38.00	2.59	0.29	0.27	0.20	15.03	12.56
39.00	2.67	0.30	0.27	0.23	15.04	12.58
40.00	2.75	0.30	0.28	0.25	15.05	12.61
41.00	2.84	0.31	0.28	0.27	15.06	12.64
42.00	2.92	0.32	0.29	0.30	15.07	12.67
43.00	3.01	0.32	0.29	0.32	15.07	12.69
44.00	3.09	0.33	0.30	0.34	15.08	12.72
45.00	3.18	0.33	0.30	0.37	15.09	12.75
46.00	3.26	0.33	0.31	0.39	15.10	12.78
47.00	3.35	0.34	0.31	0.42	15.11	12.81
48.00	3.43	0.34	0.32	0.45	15.11	12.83
49.00	3.53	0.39	0.33	0.47	15.13	12.86
50.00	3.63	0.39	0.34	0.50	15.15	12.89
51.00	3.74	0.48	0.36	0.53	15.19	12.92
52.00	3.86	0.57	0.38	0.56	15.24	12.94
53.00	4.03	0.74	0.42	0.59	15.32	12.97
54.00	4.23	0.92	0.47	0.63	15.45	13.00
55.00	4.47	1.11	0.54	0.67	15.63	13.03
56.00	4.74	1.30	0.60	0.72	15.84	13.06
57.00	5.07	1.60	0.68	0.77	16.10	13.08
58.00	5.47	1.99	0.77	0.83	16.46	13.11
59.00	6.01	2.96	0.87	0.90	16.93	13.14
60.00	9.71	33.38	1.17	0.98	18.61	13.17
61.00	10.77	3.88	1.20	1.08	18.81	13.19
62.00	11.26	2.35	1.21	1.18	18.85	13.22
63.00	11.57	1.54	1.21	1.28	18.86	13.25
64.00	11.85	1.54	1.21	1.38	18.87	13.28
65.00	12.02	0.92	1.21	1.48	18.87	13.31
66.00	12.20	0.92	1.21	1.58	18.86	13.33
67.00	12.37	0.93	1.21	1.68	18.85	13.36
68.00	12.54	0.93	1.20	1.78	18.84	13.39
69.00	12.66	0.62	1.20	1.88	18.83	13.42
70.00	12.77	0.62	1.20	1.98	18.81	13.44
71.00	12.89	0.62	1.20	2.08	18.80	13.47
72.00	13.00	0.62	1.20	2.18	18.78	13.50

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	1.20	64.10	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
Salvation Army	18.87	64.10	11.50	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
Salvation Army	4.57	0.00	2.17	0.00	2.40	0.00

Project Name: Salvation Army: Thrift Bldg
 Reviewer: T. McLeod
 Project Number: #25-013
 Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr
 Time Step: 0.05 hr, Iterations: 200

Basin 1: Salvation Army

Method: Santa Barbara Unit Hydrograph
 Rainfall Distribution: SFWMD - 3day
 Design Frequency: 100 year
 3 Day Rainfall: 16.5 inches
 Area: 5.59 acres
 Ground Storage: 3.19 inches
 Time of Concentration: 0.1 hours
 Initial Stage: 11.5 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
14.50	0.00
15.50	0.26
16.50	0.52
17.50	0.81
18.50	1.54
19.50	4.59
20.50	9.58

Offsite Receiving Body: Offsitel

Time (hr)	Stage (ft NGVD)
0.00	11.50
72.00	13.50
90.00	11.50

Structure: 1

From Basin: Salvation Army
 To Basin: Offsitel
 Structure Type: Gravity
 Weir: None
 Bleeder: None
 Pipe: None

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	11.50	11.50
1.00	0.07	0.00	0.00	0.00	14.50	11.53
2.00	0.15	0.00	0.00	0.00	14.50	11.56
3.00	0.22	0.00	0.00	0.00	14.50	11.58
4.00	0.30	0.00	0.00	0.00	14.50	11.61
5.00	0.37	0.00	0.00	0.00	14.50	11.64
6.00	0.44	0.00	0.00	0.00	14.50	11.67
7.00	0.52	0.00	0.00	0.00	14.50	11.69
8.00	0.59	0.00	0.00	0.00	14.50	11.72
9.00	0.66	0.01	0.00	0.00	14.50	11.75
10.00	0.74	0.02	0.00	0.00	14.50	11.78
11.00	0.81	0.04	0.00	0.00	14.51	11.81
12.00	0.89	0.06	0.00	0.00	14.53	11.83
13.00	0.96	0.07	0.00	0.00	14.55	11.86
14.00	1.03	0.09	0.00	0.00	14.58	11.89
15.00	1.11	0.10	0.00	0.00	14.60	11.92
16.00	1.18	0.11	0.00	0.00	14.64	11.94
17.00	1.26	0.12	0.00	0.00	14.68	11.97
18.00	1.33	0.13	0.00	0.00	14.72	12.00
19.00	1.40	0.14	0.00	0.00	14.76	12.03

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
20.00	1.48	0.15	0.00	0.00	14.81	12.06
21.00	1.55	0.16	0.00	0.00	14.86	12.08
22.00	1.62	0.17	0.00	0.00	14.91	12.11
23.00	1.70	0.18	0.00	0.00	14.97	12.14
24.00	1.77	0.19	0.00	0.00	15.03	12.17
25.00	1.88	0.29	0.00	0.00	15.11	12.19
26.00	1.99	0.31	0.00	0.00	15.21	12.22
27.00	2.10	0.32	0.00	0.00	15.31	12.25
28.00	2.20	0.33	0.00	0.00	15.41	12.28
29.00	2.31	0.34	0.00	0.00	15.52	12.31
30.00	2.42	0.36	0.00	0.00	15.63	12.33
31.00	2.53	0.37	0.00	0.00	15.75	12.36
32.00	2.63	0.38	0.00	0.00	15.86	12.39
33.00	2.74	0.39	0.00	0.00	15.99	12.42
34.00	2.85	0.39	0.00	0.00	16.11	12.44
35.00	2.96	0.40	0.00	0.00	16.24	12.47
36.00	3.07	0.41	0.00	0.00	16.37	12.50
37.00	3.17	0.42	0.00	0.00	16.50	12.53
38.00	3.28	0.42	0.00	0.00	16.62	12.56
39.00	3.39	0.43	0.00	0.00	16.74	12.58
40.00	3.50	0.44	0.00	0.00	16.86	12.61
41.00	3.60	0.44	0.00	0.00	16.99	12.64
42.00	3.71	0.45	0.00	0.00	17.12	12.67
43.00	3.82	0.45	0.00	0.00	17.25	12.69
44.00	3.93	0.46	0.00	0.00	17.38	12.72
45.00	4.04	0.46	0.00	0.00	17.50	12.75
46.00	4.14	0.47	0.00	0.00	17.56	12.78
47.00	4.25	0.47	0.00	0.00	17.61	12.81
48.00	4.36	0.48	0.00	0.00	17.66	12.83
49.00	4.48	0.54	0.00	0.00	17.72	12.86
50.00	4.60	0.55	0.00	0.00	17.79	12.89
51.00	4.75	0.66	0.00	0.00	17.86	12.92
52.00	4.91	0.78	0.00	0.00	17.94	12.94
53.00	5.11	1.02	0.00	0.00	18.04	12.97
54.00	5.37	1.26	0.00	0.00	18.18	13.00
55.00	5.67	1.51	0.00	0.00	18.34	13.03
56.00	6.02	1.77	0.00	0.00	18.51	13.06
57.00	6.43	2.15	0.00	0.00	18.56	13.08
58.00	6.94	2.66	0.00	0.00	18.63	13.11
59.00	7.62	3.93	0.00	0.00	18.72	13.14
60.00	12.32	43.46	0.00	0.00	19.28	13.17
61.00	13.67	5.03	0.00	0.00	19.55	13.19
62.00	14.29	3.04	0.00	0.00	19.61	13.22
63.00	14.68	1.98	0.00	0.00	19.64	13.25
64.00	15.04	1.98	0.00	0.00	19.68	13.28
65.00	15.26	1.19	0.00	0.00	19.70	13.31
66.00	15.48	1.19	0.00	0.00	19.72	13.33
67.00	15.70	1.19	0.00	0.00	19.74	13.36
68.00	15.92	1.19	0.00	0.00	19.76	13.39
69.00	16.06	0.80	0.00	0.00	19.77	13.42
70.00	16.21	0.80	0.00	0.00	19.78	13.44
71.00	16.35	0.80	0.00	0.00	19.80	13.47
72.00	16.50	0.80	0.00	0.00	19.81	13.50

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.00	0.00	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
Salvation Army	19.81	72.00	11.50	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
Salvation Army	6.14	0.00	0.00	0.00	6.14	0.00

BMP TRAINS NUTRIENT ANALYSIS

Summary Treatment Report Version: 4.3.5

Project: Salvation Army Thrift
Bldg

Date:2/2/2026

Analysis Type: Net Improvement

BMP Types:

Catchment 1 - (Salvation Army
Thrift) Retention

Based on % removal values to the
nearest percent

Total nitrogen target removal met? **Yes**

Total phosphorus target removal met? **Yes**

Routing Summary

Catchment 1 Routed to Outlet

Summary Report

Nitrogen

Surface Water Discharge

Total N pre load	5.07 kg/yr	
Total N post load	5.07 kg/yr	
Target N load reduction	%	
Target N discharge load	5.07 kg/yr	
Percent N load reduction	80 %	
Provided N discharge load	1.01 kg/yr	2.22 lb/yr
Provided N load removed	4.06 kg/yr	8.95 lb/yr

Phosphorus

Surface Water Discharge

Total P pre load	.843 kg/yr	
Total P post load	.843 kg/yr	
Target P load reduction	%	
Target P discharge load	.843 kg/yr	
Percent P load reduction	80 %	
Provided P discharge load	.168 kg/yr	.37 lb/yr
Provided P load removed	.675 kg/yr	1.489 lb/yr

Summary Treatment Report Version: 4.3.5

Project: Salvation Army Thrift
Bldg

Analysis Type: Specified Removal
Efficiency

Date:2/2/2026

BMP Types:

Catchment 1 - (Salvation Army
Thrift) Retention

Based on % removal values to the
nearest percent

Total nitrogen target removal met? **Yes**

Total phosphorus target removal met? **Yes**

Routing Summary

Catchment 1 Routed to Outlet

Summary Report

Nitrogen

Surface Water Discharge

Total N pre load	5.07 kg/yr	
Total N post load	5.07 kg/yr	
Target N load reduction	55 %	
Target N discharge load	2.28 kg/yr	
Percent N load reduction	80 %	
Provided N discharge load	1.01 kg/yr	2.22 lb/yr
Provided N load removed	4.06 kg/yr	8.95 lb/yr

Phosphorus

Surface Water Discharge

Total P pre load	.843 kg/yr	
Total P post load	.843 kg/yr	
Target P load reduction	80 %	
Target P discharge load	.169 kg/yr	
Percent P load reduction	80 %	
Provided P discharge load	.168 kg/yr	.37 lb/yr
Provided P load removed	.675 kg/yr	1.489 lb/yr

Complete Report (not including cost) Ver 4.3.5

Project: Salvation Army Thrift Bldg

Date: 2/2/2026 2:33:15 PM

Site and Catchment Information

Analysis: Net Improvement

Catchment Name	Salvation Army Thrift
Rainfall Zone	Florida Zone 5
Annual Mean Rainfall	60.00

Pre-Condition Landuse Information

Landuse	Low-Intensity Commercial: TN=1.13 TP=0.188
Area (acres)	0.90
Rational Coefficient (0-1)	0.81
Non DCIA Curve Number	80.00
DCIA Percent (0-100)	100.00
Nitrogen EMC (mg/l)	1.130
Phosphorus EMC (mg/l)	0.188
Runoff Volume (ac-ft/yr)	3.636
Groundwater N (kg/yr)	0.000
Groundwater P (kg/yr)	0.000
Nitrogen Loading (kg/yr)	5.066
Phosphorus Loading (kg/yr)	0.843

Post-Condition Landuse Information

Landuse	Low-Intensity Commercial: TN=1.13 TP=0.188
Area (acres)	0.90
Rational Coefficient (0-1)	0.81
Non DCIA Curve Number	90.00
DCIA Percent (0-100)	100.00
Wet Pond Area (ac)	0.00
Nitrogen EMC (mg/l)	1.130
Phosphorus EMC (mg/l)	0.188
Runoff Volume (ac-ft/yr)	3.636
Groundwater N (kg/yr)	0.000

Groundwater P (kg/yr)	0.000
Nitrogen Loading (kg/yr)	5.066
Phosphorus Loading (kg/yr)	0.843

Catchment Number: 1 Name: Salvation Army Thrift

Project: Salvation Army Thrift Bldg

Date: 2/2/2026

Retention Design

Retention Depth (in)	1.800
Retention Volume (ac-ft)	0.135

Watershed Characteristics

Catchment Area (acres)	0.90
Contributing Area (acres)	0.900
Non-DCIA Curve Number	90.00
DCIA Percent	100.00
Rainfall Zone	Florida Zone 5
Rainfall (in)	60.00

Surface Water Discharge

Required TN Treatment Efficiency (%)	
Provided TN Treatment Efficiency (%)	80
Required TP Treatment Efficiency (%)	
Provided TP Treatment Efficiency (%)	80

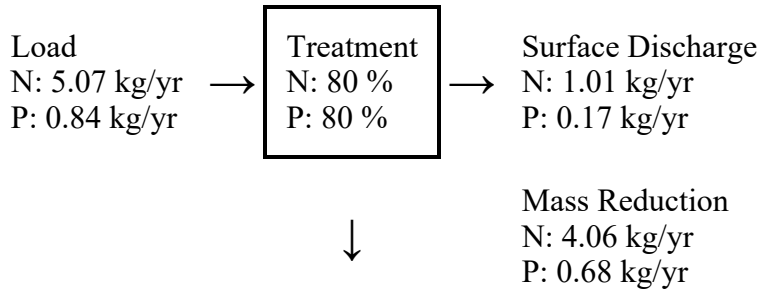
Media Mix Information

Type of Media Mix	Not Specified
Media N Reduction (%)	
Media P Reduction (%)	

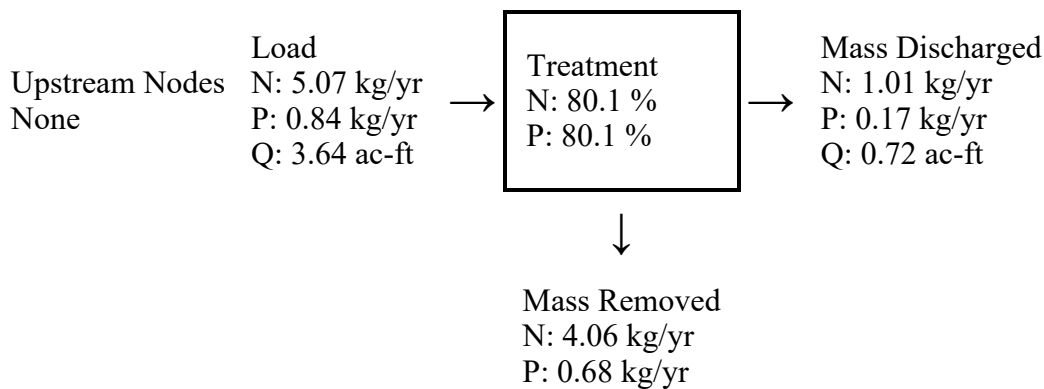
Groundwater Discharge (Stand-Alone)

Treatment Rate (MG/yr)	4.941
TN Mass Load (kg/yr)	4.058
TN Concentration (mg/L)	2.320
TP Mass Load (kg/yr)	0.675
TP Concentration (mg/L)	0.520

Load Diagram for Retention (stand-alone)



Load Diagram for Retention (As Used In Routing)



Summary Treatment Report Version: 4.3.5

Project: Salvation Army Thrift
Bldg

Date:2/2/2026

Analysis Type: Net Improvement

BMP Types:

Catchment 1 - (Salvation Army Thrift) Retention

Based on % removal values to the nearest percent

Total nitrogen target removal met? **Yes**

Total phosphorus target removal met? **Yes**

Routing Summary

Catchment 1 Routed to Outlet

Summary Report

Nitrogen

Surface Water Discharge

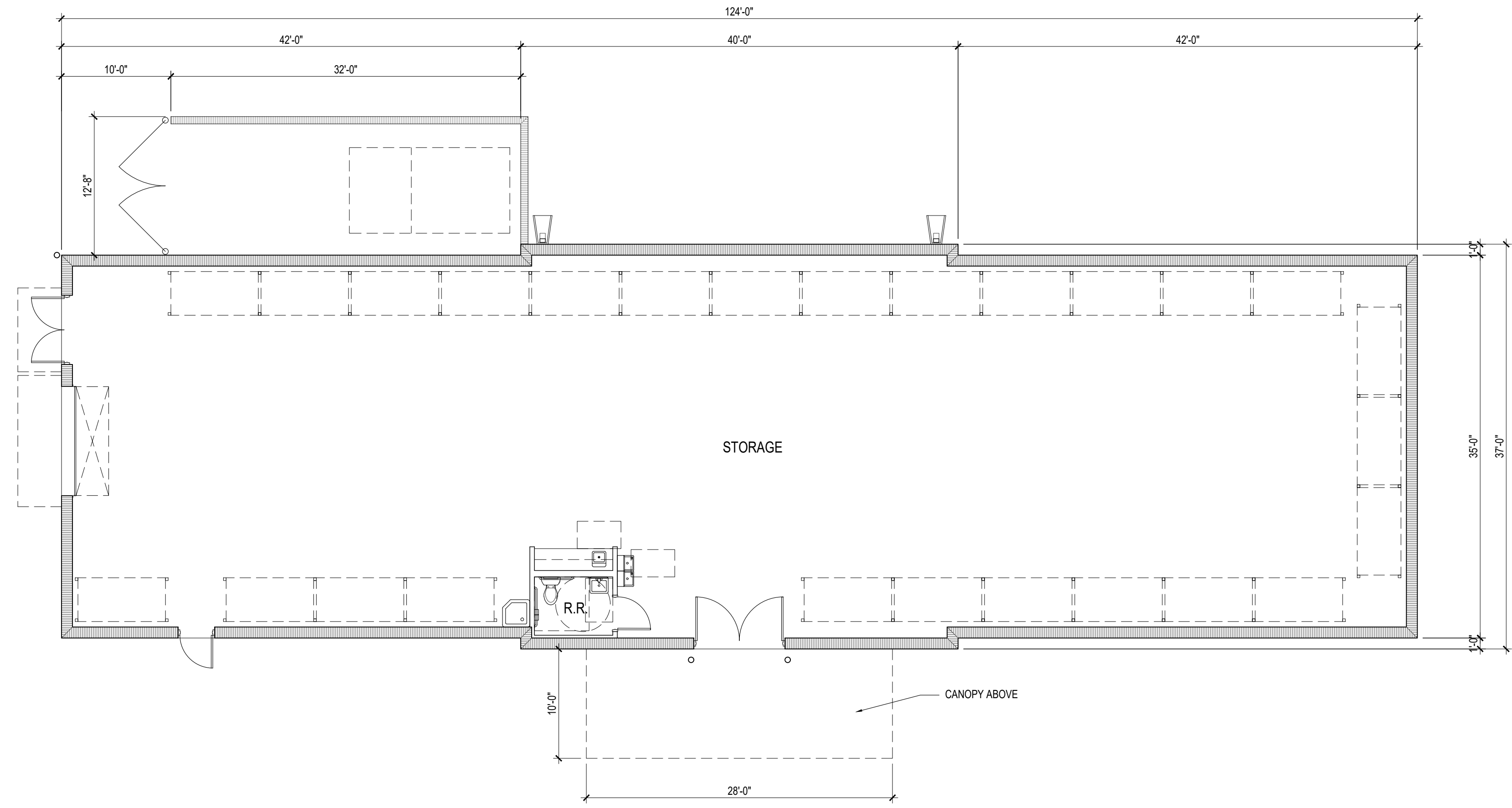
Total N pre load 5.07 kg/yr

Total N post load	5.07 kg/yr	
Target N load reduction	%	
Target N discharge load	5.07 kg/yr	
Percent N load reduction	80 %	
Provided N discharge load	1.01 kg/yr	2.22 lb/yr
Provided N load removed	4.06 kg/yr	8.95 lb/yr

Phosphorus

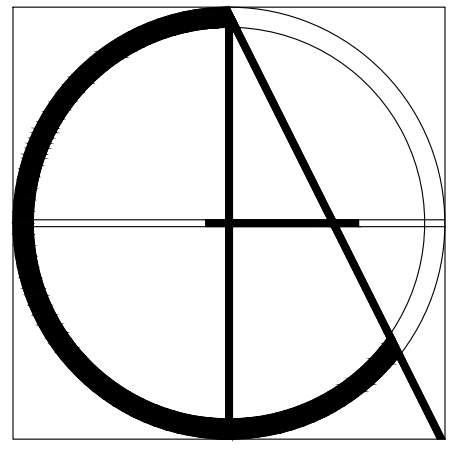
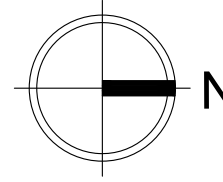
Surface Water Discharge

Total P pre load	.843 kg/yr	
Total P post load	.843 kg/yr	
Target P load reduction	%	
Target P discharge load	.843 kg/yr	
Percent P load reduction	80 %	
Provided P discharge load	.168 kg/yr	.37 lb/yr
Provided P load removed	.675 kg/yr	1.489 lb/yr



01

FLOOR PLAN
SCALE: 1/8" = 1'-0"

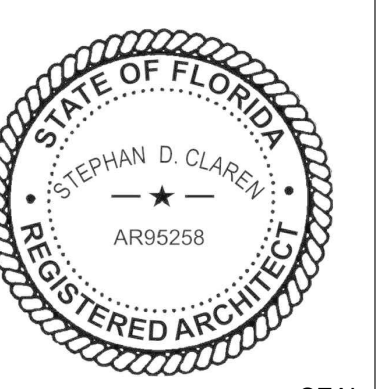


Claren Architecture + Design, Inc.

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BOCA RATON, FL 33487
561.961.4884
www.clarenarchitecture.com

New Building for:
Salvation Army

4051 Kirk Road
Palm Springs, Florida 33461



SEAL

PRELIMINARY - NOT FOR CONSTRUCTION

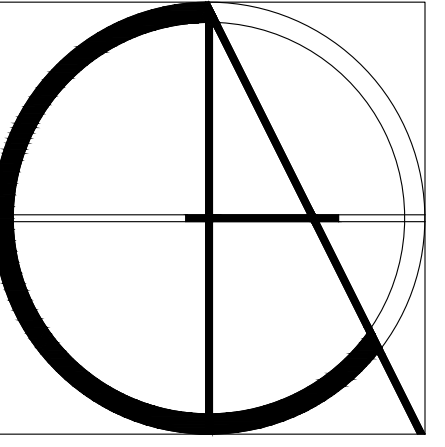
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DATE	09-25-25
REV #	DATE
3	2-2-2026
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SHEET #

A-1.1

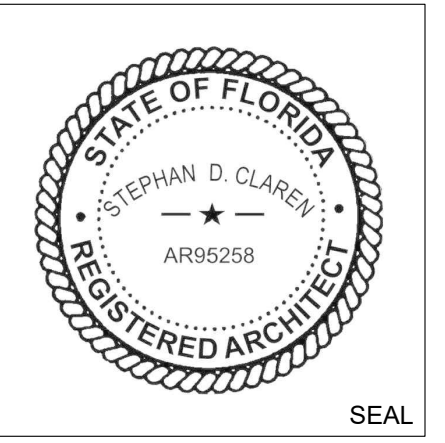
COPYRIGHT 2025

COLOR LEGEND		MATERIAL LEGEND	
	COLOR #1: SW 6147 - PANDA WHITE (MATCH EXISTING)		1 IMPACT RATED METAL DOOR
	COLOR #2: SW 7690 - TOWNHALL TAN (MATCH EXISTING)		2 IMPACT RATED ROLL-UP DOOR
	COLOR #3: SW CUSTOM COLOR - "DRAGONFLY" (MATCH EXISTING)		3 IMPACT RATED WINDOW SYSTEM
	COLOR #4: WHITE STOREFRONT FRAMES (MATCH EXISTING)		4 SMOOTH STUCCO FINISH
			5 1/2" STUCCO REVEAL, TYP.
			6 PRE-FINISHED ALUMINUM COPING CAP
			7 PRE-FINISHED ALUMINUM CANOPY
			8 PRE-FINISHED ALUMINUM COLLECTOR BOX AND DOWNSPOUT
			9 PRE-FINISHED OVERFLOW SCUPPER
			10 RAISED STUCCO BAND



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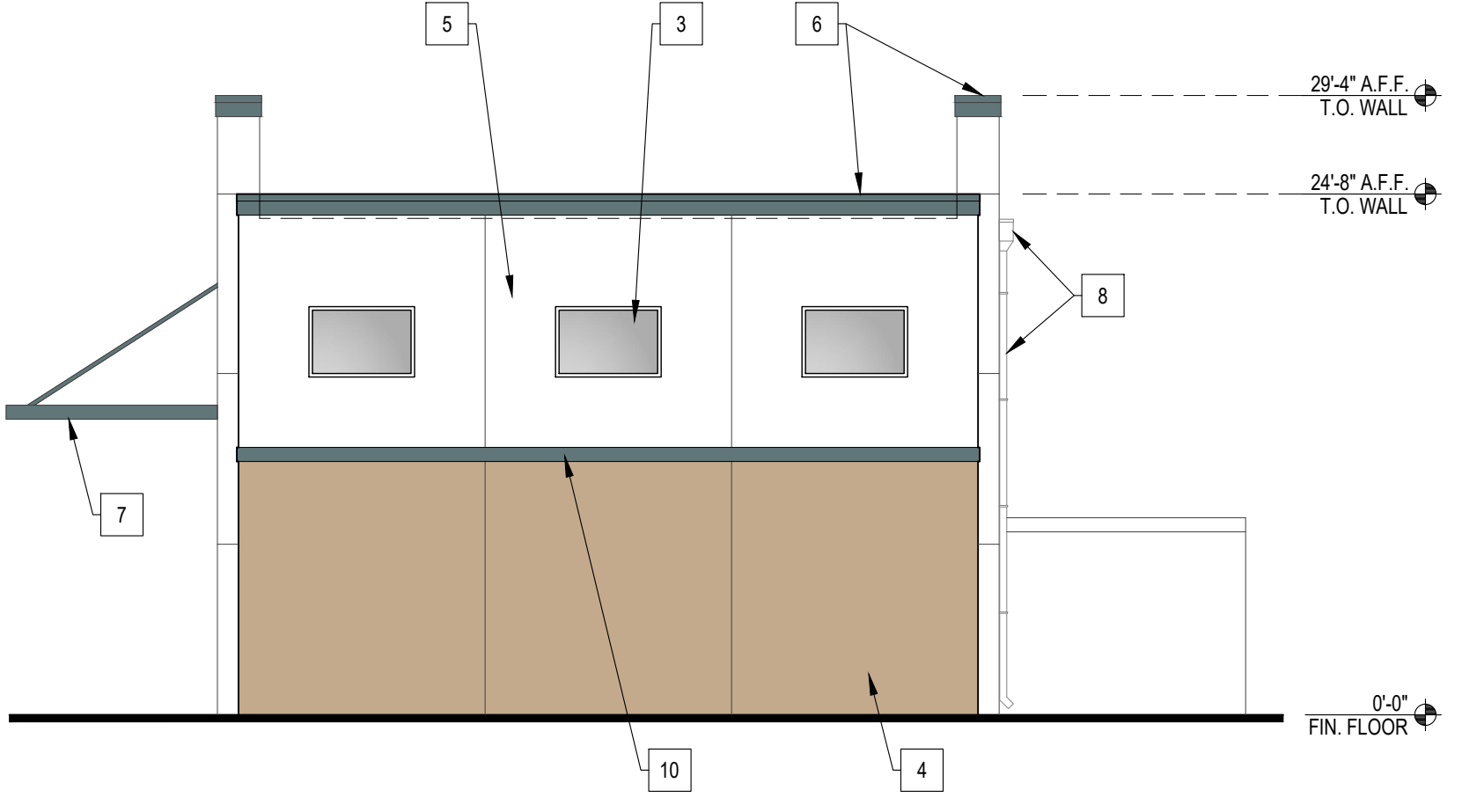
New Building for:
Salvation Army
 4051 Kirk Road
 Palm Springs, Florida 33461



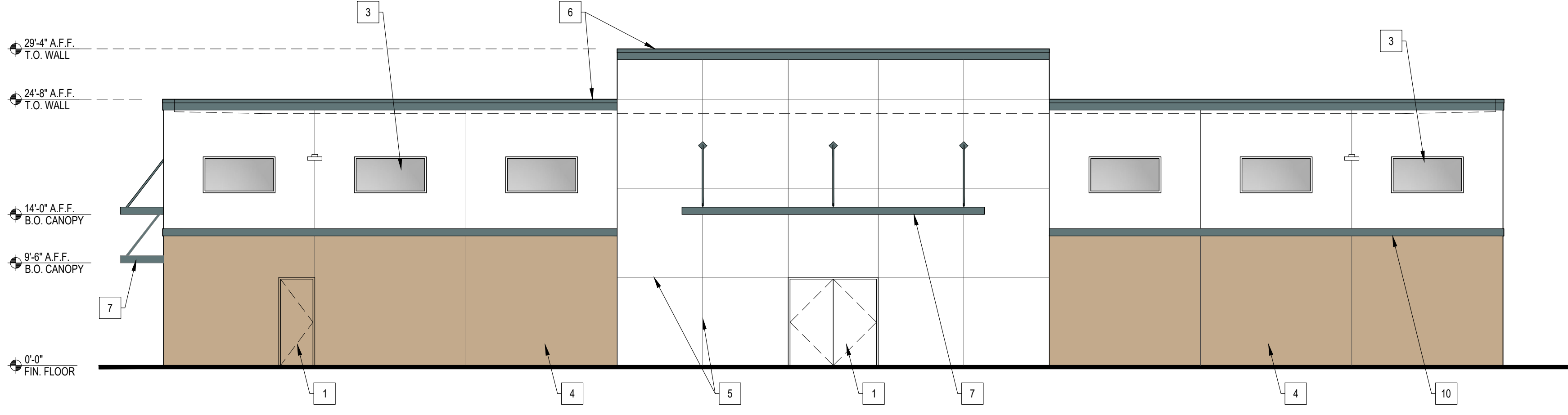
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REV #	DATE
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3	2-2-2026
SHEET #	

A-3.1
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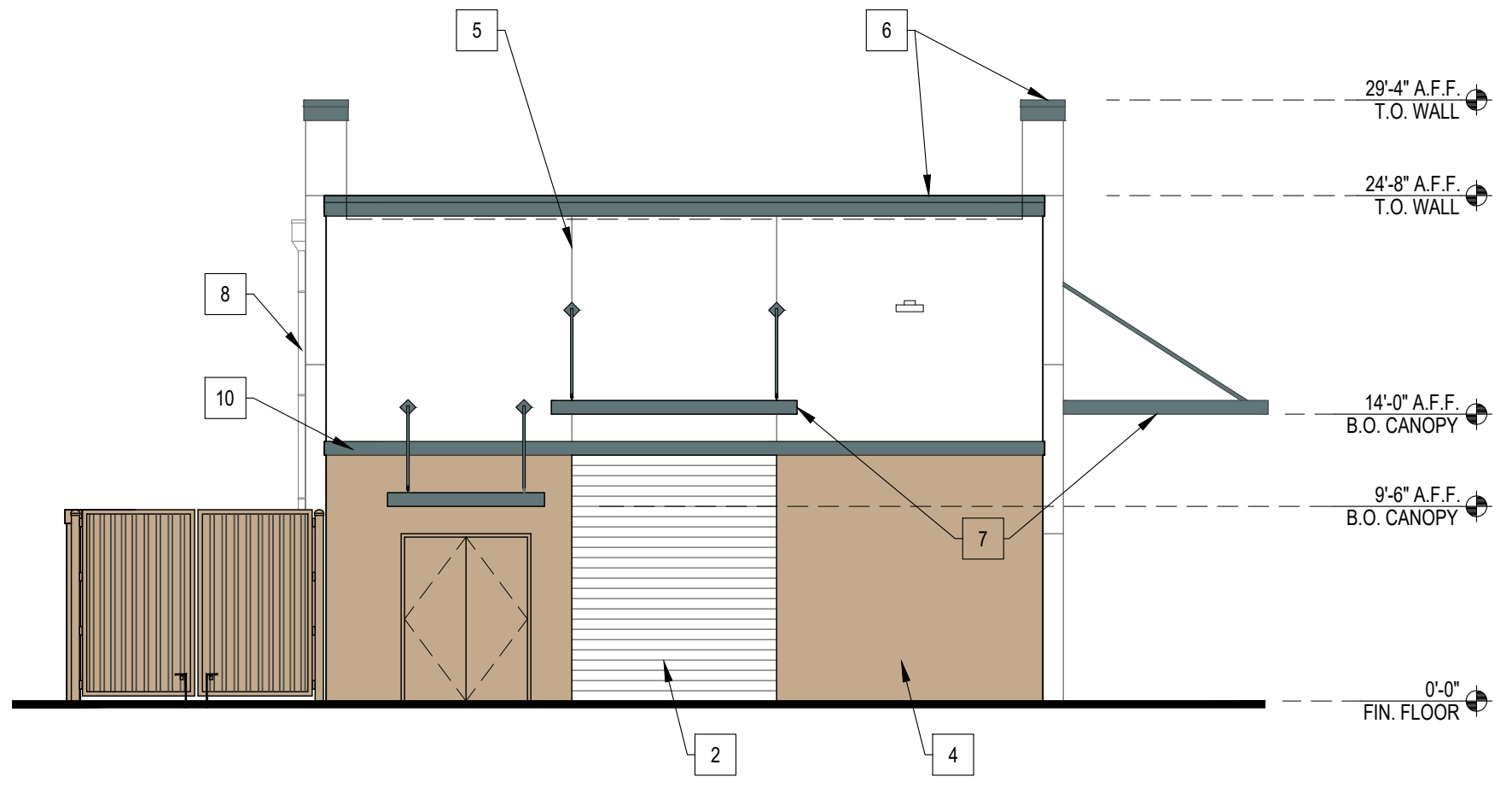
PRELIMINARY - NOT FOR CONSTRUCTION



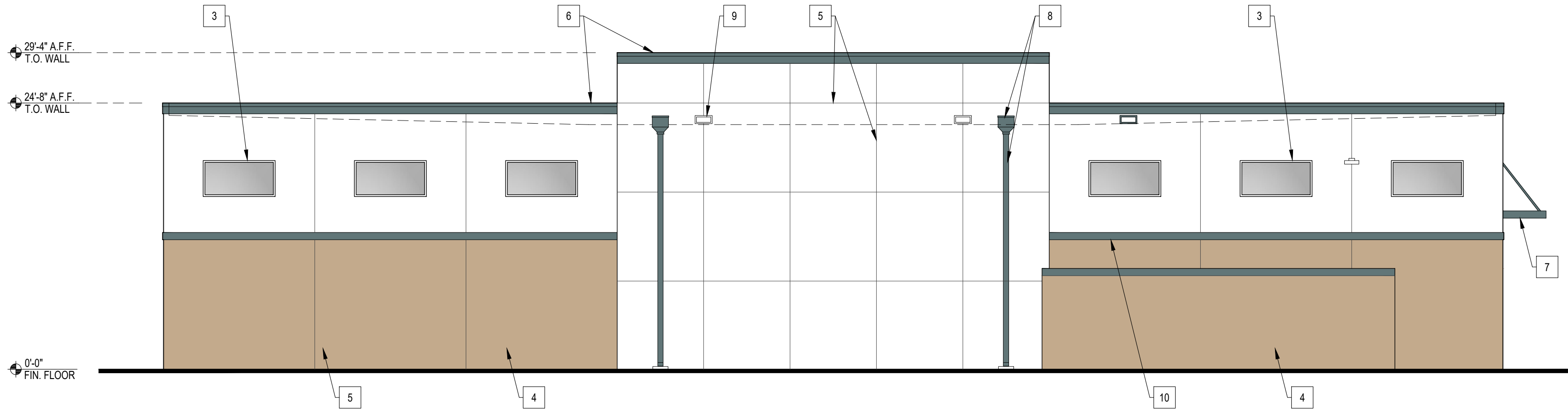
03 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



01 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



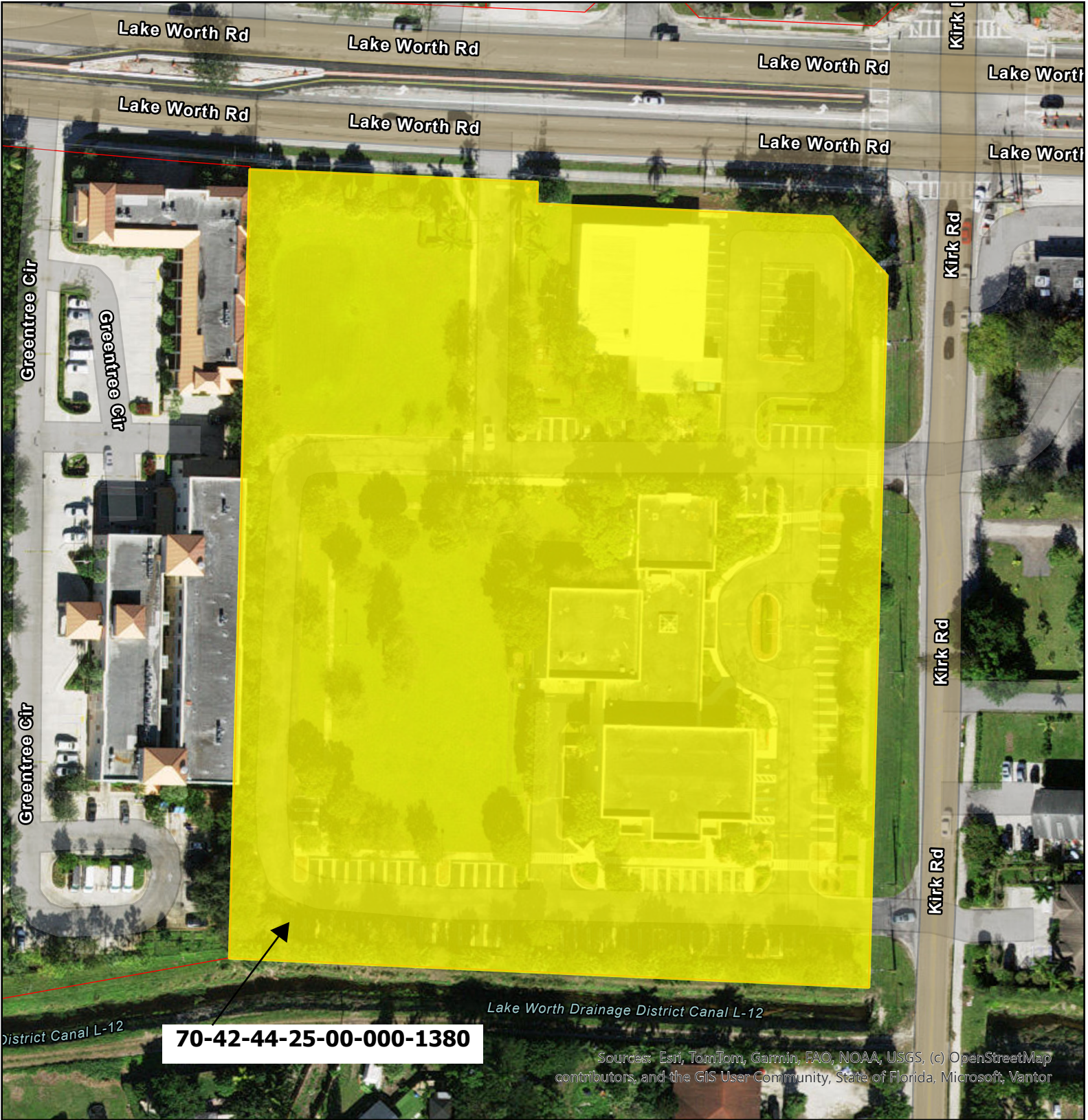
04 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



02 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



Village of Palm Springs Salvation Army



District Canal L-12

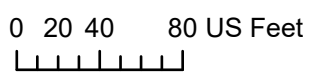
Lake Worth Drainage District Canal L-12

70-42-44-25-00-000-1380

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, State of Florida, Microsoft, Vantor

-  Parcel
-  Proposel Parcel

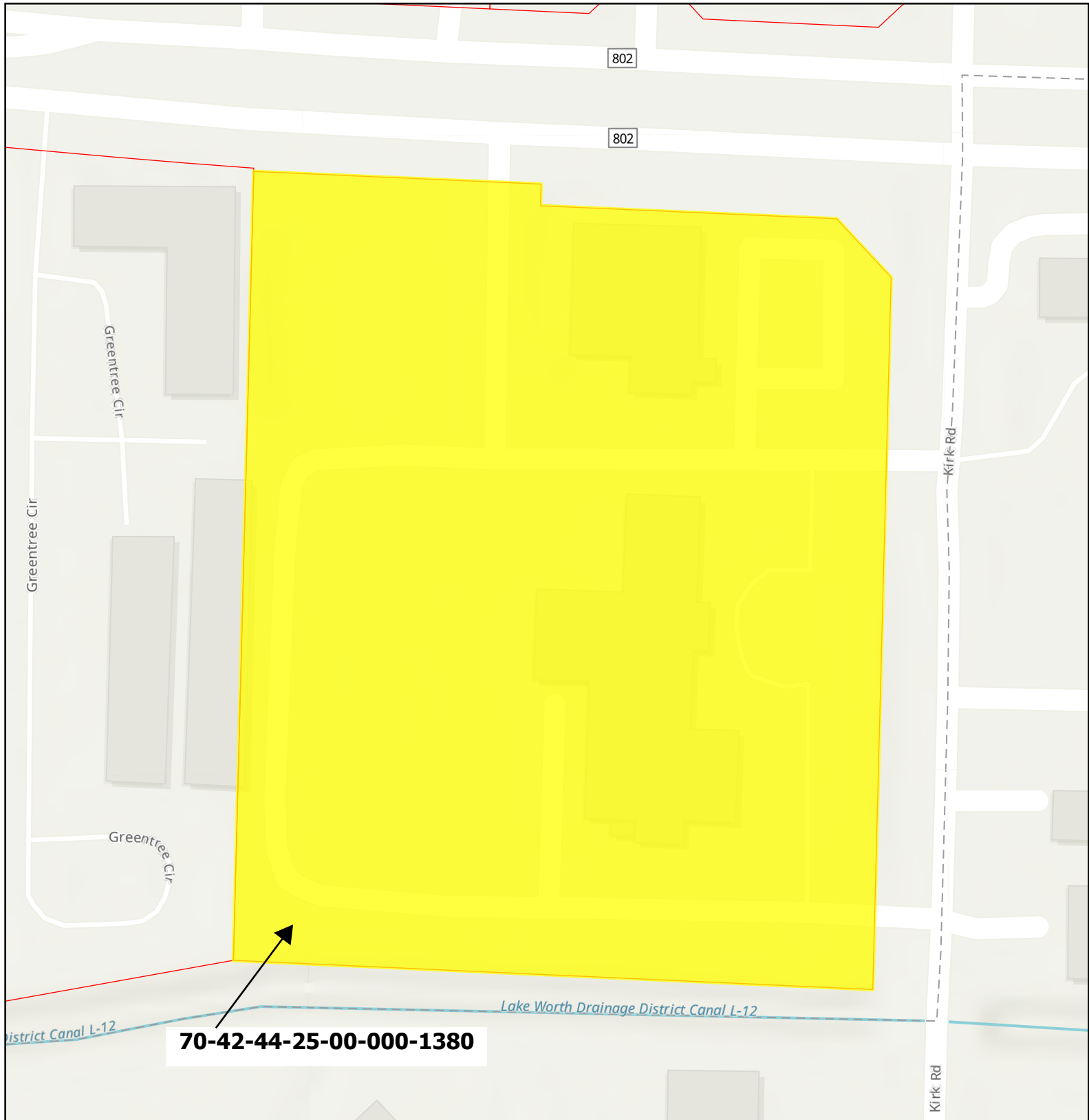
Date: 1/7/2026





Village of Palm Springs

Salvation Army



-  Parcel
-  Proposal Parcel

Date: 1/7/2026

0 20 40 80 US Feet
