



**AGENDA  
VILLAGE COUNCIL MEETING  
VILLAGE HALL COUNCIL CHAMBERS  
226 CYPRESS LANE ■ PALM SPRINGS, FL 33461  
JUNE 11, 2026  
6:30 PM**

**COUNCIL**

- Mayor Bev Smith
- Vice Mayor Patti Waller
- Mayor Pro Tem Johnnie Tieche
- Council Member Gary Ready
- Council Member Kim Schmitz

**ADMINISTRATION**

- Village Manager Michael Bornstein
- Village Attorney Christy Goddeau
- Village Clerk Kimberly Wynn

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*If an individual wishes to challenge any decision made by the Council regarding any matter under consideration, they must have a copy of the proceedings. To do so, they may need to ensure that a complete and accurate record of the proceedings is available. This recording should include all testimonies and evidence that will form the basis of the appeal.*

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**CALL TO ORDER**

**ROLL CALL**

**INVOCATION**

**PLEDGE OF ALLEGIANCE**

**ADDITIONS, DELETIONS OR MODIFICATIONS, AND APPROVAL OF AGENDA**

Motion	Second	Vote
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**CONSENT AGENDA**

(Public Comment on Consent Agenda Items is permissible prior to voting)

1. **Approve May 14, 2026, Village Council Regular Meeting Minutes:** Motion for

the approval of the May 14, 2026, Village Council Regular Meeting Minutes.  
Staff:

End of Consent Agenda....

Motion	Second	Vote
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**PRESENTATIONS**

**REGULAR AGENDA**

2. **Approve Amendment No.1 to the Construction Manager at Risk (CMAR) Agreement with Kaufman Lynn Construction – Establishment of Guaranteed Maximum Price (GMP) - Utilities Operations Building Project (Task Order No. 331)**: Motion for the approval of Amendment No. 1 to the CMAR Agreement with Kaufman Lynn Construction to establish the Guaranteed Maximum Price (GMP) and authorize the transition from pre-construction services into the construction phase of the project for the Utilities Operation Building Project. Funding is available from the Utilites Fund.

Staff: Jimmie Johnson, Utilities Director

Motion	Second	Vote
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3. **Provide Direction Regarding the Village's Strategic Plan**

Staff: Kimberly Glas-Castro, Assistant Village Manager

Motion	Second	Vote
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**PUBLIC COMMENT** (Three-minute limit)

**PUBLIC HEARINGS**

4. **(Second Reading) Proposed Ordinance No. 2026-01 — Add 5 Year DROP General Employee Pension Plan**: Motion to approve proposed Ordinance No. 2026-01 to amend Ordinance No. 2017-26, Section 46, providing for the creation of a Deferred Retirement Option Program to the General Employee Pension Plan. ***(STAFF REQUEST THIS ITEM BE POSTPONED TO THE JULY 7, 2026, COUNCIL MEETING TO ALLOW ADDITIONAL TIME FOR REVIEW)***

Staff: Mara Frederiksen, Finance Director

Motion	Second	Vote
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5. **(Second Reading) Proposed Ordinance No. 2026-03 - Compensation for the Mayor and Members of the Village Council:** Motion to approve Proposed Ordinance No. 2026-03, authorizing an annual compensation increase for the Mayor and Village Council.

Staff: Mara Frederiksen, Finance Director

Motion	Second	Vote
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6. **Proposed Resolution No. 2026-15 - Preliminary Garbage Non Ad-Valorem Assessment Rates - FY 2027:** Motion for the approval of Resolution No. 2026-15; adopting the preliminary non-ad valorem assessment roll for Fiscal Year 2026-2027 to provide a uniform method for collecting the non-ad valorem assessment for garbage, trash and recyclables collection services and related services on the Palm Beach County Tax Notices.

Staff: Felipe Lofaso, Public Works Director

Motion	Second	Vote
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7. **Proposed Resolution No. 2026-16 - Preliminary Stormwater Non Ad-Valorem Assessment Rates — FY 2027:** Motion for the approval of Resolution No. 2026-16, setting the Preliminary Stormwater Non Ad-Valorem assessment rates for FY27 for stormwater management assessments for each parcel within the area benefited, other than the non-assessed property.

Staff: Felipe Lofaso, Public Works Director

Motion	Second	Vote
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8. **(Quasi-Judicial Hearing) Proposed Resolution No. 2026-14 - Site Plan Amendment (SPR26-05) and Special Exception Use (PSSE26-05) — 4210 Lake Worth Road — Ministerio Internacional Jesus El Salvador Lake Worth:** Motion to approve an application submitted by Walfren Paredes, agent for Ministerio Internacional Jesus El Salvador Lake Worth “Tenant and Applicant,” requesting a Site Plan Amendment (SPR26-05) and Special Exception Use (PSSE26-05) to allow a 5,500 square feet place of worship within a tenant bay in the existing Commercial General shopping center property located at 4210 Lake Worth Road.

Staff: Iramis Cabrera, PZB Director

Motion	Second	Vote
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9. **(Quasi-Judicial Hearing) Proposed Resolution No. 2026-12 - Sign Variance (PSV26-12 and PSV26-13) — Squeeky's Car Wash — 3263 Lake Worth Road:** Motion to approve Sign Variance Applications PSV26-12 and PSV26-13 for Squeeky's Car Wash, located at 3263 Lake Worth Road, to allow an electronic changeable monument sign with multiple colors and varying static messages, subject to conditions of approval. ***(THE APPLICANT REQUESTED THAT THIS BE WITHDRAWN)***

Staff: Iramis Cabrera, PZB Director

Motion	Second	Vote
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10. **Proposed Resolution No. 2026-13 - Special Exception Use Amendment (PSSE26-03) with a Waiver — Court Club - 1591 Kirk Road:** Motion to approve an application submitted by Schmidt Nichols, acting as the agent for John Lewis, MGR, representing 1591 Kirk Road Partners LLC (“Applicant”). The application seeks approval, with a waiver, from the Village Council to allow the restaurant with the bar, as an ancillary use within the approved recreational facility located at 1591 Kirk Road.

Staff: Iramis Cabrera, PZB Director

Motion	Second	Vote
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11. **(First Reading/ Quasi-Judicial Hearing) Proposed Ordinance No. 2026-04 - Small Scale Land Use Amendment and Rezoning — Banyan Palm Beach (f/k/a The Retreat) — 4020 Lake Worth Road:** Motion to recommend approval to the Village Council for an application submitted by Mr. Jeffrey C. Lynne, agent for the applicants, property owner, BCP Florida Holdings, LLC, and its tenant, Boca RI, LLC d/b/a Banyan Palm Beach (doing business nationally as “Banyan Treatment Centers”), (collectively the “Applicants”). The applicants are requesting a small-scale land use amendment and rezoning on 3.17 acres to facilitate the use of the property as a special residential facility.

Staff: Iramis Cabrera, PZB Director

Motion	Second	Vote
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**ACTIONS AND REPORTS**

**VILLAGE MANAGER COMMENTS**

**VILLAGE COUNCIL COMMENTS**

**ADJOURNMENT**

**NEXT MEETING**  
**TUESDAY, JULY 7, 2026, AT 6:30 (IMMEDIATELY FOLLOWING THE CRA SPECIAL**  
**MEETING)**

# Village of Palm Springs

## Title VI/Nondiscrimination Policy

### I. Policy Statement:

The Village of Palm Springs values diversity and welcomes input from all interested parties, regardless of cultural identity, background, or income level. Moreover, the Village believes the best programs and services result from careful consideration of the needs of all its communities and when those communities are involved in the decision-making process. The Village does not tolerate discrimination in any of its programs, services, or activities. Pursuant to Title VI of the Civil Rights Act of 1964 and other federal and state authorities, the Village will not exclude from participation in, deny the benefits of, or subject to discrimination anyone on the grounds of race, color, national origin, sex, age, disability, religion, or family status.

### II. Persons with Disabilities:

Section 504 of the Rehabilitation Act of 1973, the Americans with Disabilities Act of 1990 (ADA) and related federal and state laws and regulations forbid discrimination against those who have disabilities. These laws require federal-aid recipients and other government entities to take affirmative steps to reasonably accommodate those with disabilities and ensure that their needs are equitably represented.

The Village will make every effort to ensure that its facilities, programs, services, and activities are accessible to those with disabilities. The Village will also make every effort to ensure that its advisory committees, public involvement activities and all other programs, services and activities include representation by communities with disabilities and disability service groups.

The Village encourages the public to report any facility, program, service, or activity that appears inaccessible to those who are disabled. Also, the Village will provide reasonable accommodation to individuals with disabilities who wish to participate in public involvement events or who require special assistance to access facilities, programs, services, or activities. Because providing reasonable accommodation may require outside assistance, the Village asks that requests be made at least three (3) business days prior to the need for accommodation. Questions, concerns, comments, or requests for accommodation should be made to the Village ADA Officer:

Name: Ashley Saingilus, Human Resources Director  
Address: 226 Cypress Lane, Palm Springs, FL 33461  
Email: [asaingilus@vpsfl.org](mailto:asaingilus@vpsfl.org)  
Phone: (561) 584-8200 Ext. 8421

### III. Complaint Procedures:

The Village has established a discrimination complaint procedure and will take prompt and reasonable action to investigate and eliminate discrimination when found. Any person who believes that he or she has been subjected to discrimination based upon race, color, national origin, sex, religion, age, disability or family status in any Village program, service or activity may file a complaint with the Village Title VI/Nondiscrimination Coordinator:

Name: Janette Piedra, Human Resources Manager  
Address: 226 Cypress Lane, Palm Springs, FL 33461  
Email: [jpiedra@vpsfl.org](mailto:jpiedra@vpsfl.org)  
Phone: (561) 584-8200 Ext. 8422



# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Village Clerk

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**ITEM #1:**

**FISCAL IMPACT:**

**ATTACHMENTS:**

1. 2026-05-14 Village Council Regular Meeting Minutes



**MINUTES, COUNCIL CHAMBERS  
226 CYPRESS LANE, PALM SPRINGS, FLORIDA  
MAY 14, 2026, AT 6:30 PM**

**CALL TO ORDER**

Vice Mayor Patti Waller called the Village Council Regular Meeting to order at 6:17 PM (*Immediately following the CRA Meeting*)

**ROLL CALL**

Present: Vice Mayor Patti Waller, Mayor Pro Tem Johnnie Tieche, Council Member Kim Schmitz, and Council Member Gary M. Ready

Absent: Mayor Bev Smith

Also present were Village Manager Michael Bornstein, Village Attorney Christy Goddeau, Village Clerk Kimberly M. Wynn, Assistant Village Manager Kim Glas-Castro, Police Chief Rolando Silva, as Sergeant-In-Arms, Utilities Director Jimmie Johnson, Assistant Utilities Director Paul Ward, Public Works Director Felipe Lofaso, Assistant Public Works Director Timothy Crespo, Assistant Parks & Recreation Director Parks and Recreation Lauren Bennett, Administrative Assistant (Library Services) Claudia Ruiz, and Utilities Project Manager Andrew Klausner.

**INVOCATION**

The Village Manager, Michael Bornstein, led the invocation.

**PLEDGE OF ALLEGIANCE**

The Village Council led the Pledge of Allegiance.

**ADDITIONS, DELETIONS, OR MODIFICATIONS, AND APPROVAL OF AGENDA**

There were no additions, deletions, or modifications to the agenda.

Council Member Ready motioned for the approval of the agenda as presented, and Council Member Schmitz seconded. The motion passed unanimously.

**CONSENT AGENDA**

1. **Approve April 9, 2026, Village Council Regular Meeting Minutes: Motion to approve April 9, 2026, Village Council Regular Meeting Minutes.**  
Staff: Kimberly Wynn, Village Clerk

2. **Approve Change Order No. 1 — Contract Time Extension and Final Reconciliation — Reconstruction of Surficial Aquifer Well No. 14 and Emergency Backup Generator for Wells 13 and 14 (Task Order Nos. 316 & 323) - Utilities Department - All Webbs Enterprises Inc:** Approve Change Order No. 1 with All Webbs Enterprises, Inc. for a contract time extension of forty-eight (48) days and a contract price reduction of \$103,442.80, resulting in a revised contract amount of \$1,638,671.20. The adjustment is due to a change in drilling methods during the well development phase, which improved project outcomes but impacted on the project timeline.

Staff: Jimmy Johnson, Utilities Director

**SUMMARY:** The Utilities Department requests approval for a final reconciliation and change order with All Webbs Enterprises, Inc. to account for a contract time extension and a contract price reduction.

During the well development phase of construction, the original drilling methods did not produce the desired results. Consequently, the Village's Consultant Engineer and project management team implemented an alternative open-hole well-construction method, which yielded better-than-expected outcomes.

This change extended the project completion date by forty-eight (48) days and reduced the contract price by \$103,442.80.

**Proposed Adjustments**

- Contract price decreased from **\$1,742,114.00 to \$1,638,671.20 (a reduction of \$103,442.80)**
- Contract time extended by forty-eight (48) days, moving the completion date from February 18, 2026, to April 7, 2026

Copies of the original contract documents are available at the Village Clerk's Office.

**Fiscal Impact:** Contract price: Decrease from \$1,742,114.00 to \$1,638,671.20 (\$103,442.80 reduction)

3. **Approval to Purchase Additional Software Licenses for Comprehensive Video and Digital Evidence Management System — Police Department (FY 2026 Budget Funded) Axon Enterprise, Inc.:** Approve the purchase of seven (7) additional software licenses from Axon Enterprise, Inc. under Sourcewell Cooperative Purchasing Contract No. 101223-AXN for the Police Department's video and digital evidence management system. The additional licenses will provide access to non-sworn personnel, including Records, IT, and Command Staff, who require system access but are not issued body-worn cameras.

Staff: Rolando Silva, Police Chief

**SUMMARY:** On November 13, 2025, the Village Council approved a ten-year agreement with Axon Enterprise, Inc. to upgrade the Police Department's camera systems and implement digital evidence management. The contract, executed under Sourcewell Cooperative Purchasing Contract No. 101223-AXN (valid through December 15, 2027), included fifty-one software licenses for Axon's cloud-based system.

Staff requests Village Council approval for an additional ten-year agreement with Axon to acquire seven (7) additional software licenses. The original fifty-one (51) licenses are assigned to sworn personnel issued body-worn cameras. The seven (7) new licenses will provide access for non-sworn personnel — such as Records, IT staff, and Command Staff, who require access to the system but are not issued body-worn cameras.

Staff recommend the Village Council approve this purchase under Sourcewell Contract #101223-AXN, valid through December 15, 2027, as allowed by Section 58-7 of the Purchasing Code.

**Fiscal Impact:** The proposed contract addition is for a ten-year term. Funds to support year one (1) of the proposed purchase are available within the FY2026 Budget – Other Contractual \$1,449.76.

**Allocated/Estimated Funding:** Amount FY 2027 Approved Budget – Other Contractual \$1,449.81 Amount FY 2028 Approved Budget – Other Contractual \$1,449.81 Amount FY 2029 Approved Budget – Other Contractual \$1,449.81 Amount FY 2030 Approved Budget – Other Contractual \$1,449.81 Amount FY 2031 Approved Budget – Other Contractual \$1,449.81 Amount FY 2032 Approved Budget – Other Contractual \$1,449.81 Amount FY 2033 Approved Budget – Other Contractual \$1,449.81 Amount FY 2034 Approved Budget – Other Contractual \$1,449.81 Amount FY 2035 Approved Budget – Other Contractual \$1,449.81

The total cost will be \$14,498.05 for seven (7) software licenses. The Village will not expend more than the amount in the approved budget, as it may be adopted/amended each year for these goods and services over the term of this contract.

4. **Approval of Proposed Work Authorization No. 04 with Keshavarz and Associates for Final Engineering Design and Permitting Services for the 10th Avenue North and Davis Road Intersection Improvements Project (Task Order No. 387): Approve Work Authorization No. 04 with Keshavarz and Associates for final engineering design, permitting, and bid phase services for the 10th Avenue North and Davis Road Intersection Improvements Project in an amount not to exceed \$127,495.62.**

Staff: Felipe Lofaso, Public Works Director

**SUMMARY:** The Village is actively designing enhancements for the intersection

of 10th Avenue North and Davis Road to improve the streetscape, safety, and beautification. The project will deliver considerable safety and availability upgrades for pedestrians, bicyclists, and motorists. Planned features include broader sidewalks, improved ADA accessibility, decorative crosswalks, attractive landscaping, and new flashing signage. These enhancements are consistent with the Village's Vision Zero Action Plan and Mobility Plan.

In FY 2025, Council approved the initial design phase with Keshavarz and Associates to study the corridor, conduct survey work, and coordinate with Palm Beach County Roadway and Engineering staff, since 10th Avenue North is owned by the County. This preliminary design phase established a clear direction for the proposed improvements, which will now move forward under this Work Authorization.

Work Authorization No. 04 with Keshavarz and Associates covers Phase 2 of the project, including final design, permitting, and bid-phase services. The authorization amount is not to exceed \$127,495.62 and will be funded under Task Order No. 387, Account No. 01441-56300.

**Fiscal Impact:** Work Authorization No. 04 with Keshavarz and Associates is being funded under Task Order No. 387, Account No. 01441-56300 at an amount not to exceed \$127,495.62. The original FY26 budget amount for this project is \$750,000, which is inclusive of design and future construction.

5. **Approval to Purchase Submersible Pumps — Utilities Department (FY 2026 Budget Funded - Water & Sewer Enterprise Fund) - PSI Technologies, Inc.:** Approve a purchase agreement from PSI Technologies, Inc. for sixteen (16) submersible pumps totaling \$164,400.00. The current contract term is expiring June 8, 2027. Funding is available for the proposed purchase from the Water & Sewer Enterprise Fund.

Staff: Jimmy Johnson, Director of Utilities

**SUMMARY:** The Utilities Department must replace sixteen (16) aging wastewater pumps at lift stations throughout the Village's utility service area with submersible pumps. Pump failures and inefficiencies were observed, prompting replacement. It's anticipated that the Village will save money by upgrading the pumps to newer, more reliable, and more efficient submersible pumps, thereby reducing electricity use and staff maintenance costs. Our utility customers will benefit from improved operational efficiency.

**Note:** To ensure the lowest possible price and to standardize the types of pumps, accessories, and repair services utilized within our utility processes, the Village issued an Invitation to Bid (ITB) and awarded contracts to three (3) qualified vendors — PSI Technologies, Inc. (WILO), Hudson Pump & Equipment (Barnes), and Wastewater Solutions, LLC (Boesch) on June 9, 2022. This selection by the Village of Palm Springs was completed through a competitive selection process – Submersible Wastewater Pumps, Accessories, and Service (ITB No. 2022B-010 - March 31, 2022).

The Village agreed to each of the three vendors' terms, conditions, and pricing. Each contract expires on June 8, 2027, with no additional renewal options.

Through the existing agreement with PSI Technologies, the staff was able to obtain the following proposed cost for the purchase of sixteen (16) submersible wastewater pumps:

<b>Item</b>	<b>Amount</b>
Lakewood Liftstation (2 Pumps)	\$40,800.00
Lake Clarke Estates Liftstation (2 Pumps)	\$19,200.00
Clinton Liftstation (2 Pumps)	\$18,200.00
2400 Kirk Liftstation (2 Pumps)	\$18,200.00
Lake Arbor Liftstation (2 Pumps)	\$17,500.00
Mediterranean Liftstation (2 Pumps)	\$17,000.00
Lakeside Village Liftstation (2 Pumps)	\$16,750.00
Monica Liftstation (2 Pumps)	\$16,750.00
<b>Total</b>	<b>164,400.00</b>

The approved FY 2026 Budget — Water & Sewer Fund included \$165,000 for the purchase of replacement lift station pumps.

The proposed quotes were prepared by PSI Technologies and reviewed by the Utilities Supervisor, Utilities Director, Assistant Utilities Director, and Finance Director.

The Village has worked with the proposed vendors previously, and they have provided excellent service and quality products.

**Fiscal Impact:** Funds to support the proposed purchase are available within the FY 2026 Budget - Water & Sewer Enterprise Fund. The Village will not expend more than the amount within the approved budget, as it may be adopted/amended each year for these goods and services over the term of this contract.

6. **Professional Services Agreement — Owner's Representative/Project Manager for Utilities Operations Building Project (Task Order No. 331) - Kaziah Construction Management, LLC.: Approve a Professional Services Agreement to retain Kaziah Construction Management as the Owner's Representative to coordinate with the Construction Manager at Risk and Design Professionals for the Utilities Operation Building Project (Task Order 331).**

Staff: Jimmy Johnson, Utilities Director

**SUMMARY:** The Utilities Department recommends retaining an Owner's Representative to serve as project manager for the Utilities Operations Building

Project (Task Order No. 331). The Owner's Representative will protect the Village's interests and coordinate with the Construction Manager at Risk (Kaufman Lynn) and Design Professionals (Currie Sowers Aguila Architects and CHA Consulting, Inc.). The current Owner's Representative, Greg Siefker, has announced his retirement. To ensure project continuity, Village staff recommended Kaziah Construction Management, LLC, with Matt Kaziah as the new Owner's Representative. Matt Kaziah has over 20 years of construction management experience, including leading projects such as the South Florida Water Management District Environmental Services Laboratory, Zimmer Biomet Medical Device Manufacturing Facility, and the Trauma Hawk Helicopter Hangar at Palm Beach International Airport. His experience will provide technical oversight, coordination, and project control beyond what Village staff can provide. The scope of services provided as the Village's Owner's Representative includes:

**Pre-Construction Services:**

1. Assist in completing the design with the Engineer/Architect and CMAR.
2. Look for value engineering opportunities.
3. Provide professional review of contract documents with supporting vendors.
4. Review of permit and scope documents to support pricing.
5. Review of the Guaranteed Maximum Price (GMP) Proposal from the CM at risk.

**Construction Services:**

1. Participate in telephone and electronic communications with the client and project team to coordinate the project, discuss Project strategy, and provide periodic updates.
2. OAC meetings are anticipated weekly, with separate meetings scheduled as needed for utilities management.
3. Review proposed contract changes to validate changes or scope deficiencies and confirm that proposed material and labor rates are in line.
4. Review the validation of Contractors' monthly pay applications and vendors' invoices. Manage all Notices to Owner and log monthly partial releases associated with the contractor's payment applications.
5. Coordinate with the Village of Palm Springs Building Department staff to develop a punch list of items needed to obtain a certificate of completion for each project component.
6. Support the warranty process and compilation of manufacturers' warranties.
7. Support Project closeout with a review of final lien releases and Final Affidavit by the General Contractor.

Kaziah Construction Management LLC will provide services at an hourly rate of \$215. The estimated average is 15–20 hours during pre-construction and 15–20 hours per week during construction, depending on the phase. The total consulting

fee will not exceed \$292,400, which is about 1.5% of the anticipated project budget, below the industry range of 3–10% for similar project management services. Note: Greg Siefker, the current Owner's Representative, has recommended Kaziah Construction Management, LLC. Village staff supports this recommendation. Kaziah Construction Management, LLC has agreed to the Professional Services Agreement prepared by the Village Attorney.

**Fiscal Impact:** The cost of these services will be included in the Utilities Operations Building construction project and funded by account 56200 in the Water and Sewer Enterprise Fund, with a total amount that does not exceed Two Hundred Ninety-Two Thousand Four Hundred Dollars (\$292,400.00).

7. **Police Benevolent Association (PBA) Tentative Agreement (TA) - Three (3) Year Contract:** Approve a TA with the PBA for a new three-year term from October 1, 2025, to September 30, 2028. Contingent upon approval, the PBA Collective Bargaining Agreement is effective as of October 1, 2025. The impacts related to the proposed salary increases have been included within the approved FY 2026 Budget - General Fund.

Staff: Ashley Saingilus, Human Resources Director

**SUMMARY:** The Village and the Police Benevolent Association (PBA) have reached a tentative three-year agreement, effective from October 1, 2025, to September 30, 2028.

Key articles with significant changes include:

#### **Article 9 — Comp Time**

- Compensatory time at the rate of time and a half (in quarter-hour [0.25] hour increments) cannot exceed one hundred (120) hours of accumulation (previously 100 hours). Prior to the end of each Fiscal Year (September 30th) any earned compensatory time is more than one hundred (100) hours (previously 80 hours).

#### **Article 24 — Language Incentive**

- New - Beginning Year 2 (2026/2027) of this contract: Language Proficiency Incentive Members who are proficient/fluent in speaking, reading, writing, and understanding oral communications in the languages of Creole, Spanish, and/or Sign Language and who have successfully passed a language proficiency test through a vendor approved by the Village are eligible to receive a Language Proficiency Incentive of fifty cents (\$0.50) per hour. There will be no additional incentive for speaking multiple languages.

- New - Beginning Year 2 (2026/2027) of this contract: A bargaining unit member who is regularly assigned to Road Patrol and works night shift shall receive a night differential of \$1.00 per hour.
  - A) Shift differentials will only be paid for hours worked.
  - B) All leave on holidays that are not worked will be paid at the basic hourly rate. and will not include shift differential.
  - C) When overtime is worked, the shift differential will be paid for hours. Employees worked and will be used in computing the time and a half rate.

**Article 34 — Boot Allowance**

- The Village agrees to provide a uniform cleaning and clothing allowance for bargaining unit employees as follows: \$350.00 per year uniform cleaning/ clothing stipend, payable for the first full pay period of the fiscal year (previously reimbursed).
- The Village agrees to provide a \$150.00 (previously \$125) per year shoe stipend for all bargaining unit employees, payable for the first full pay period of the fiscal year.
- Bargaining unit members assigned to the Criminal Investigations Unit shall be entitled to an additional \$100.00 per year for a clothing/cleaning stipend payable for the first full pay period of the year.

**Article 41 — Salary/ Biweekly Pay**

*For Fiscal Year 2025/2026:*

- As of October 1, 2025, all existing Bargaining Unit Members will receive a three percent (3%) Across the Board increase to be paid for the first full pay period of fiscal year 2025/2026, which begins Wednesday, October 1, through Tuesday, October 7. For Year 1 of the contract, the minimum and maximum of the pay range shall be adjusted by the across-the-board (3%).
- 2% merit increase for eligible bargaining members. Employees who are “topped out” will not be eligible for a merit increase.
- “Topped out” bargaining unit members will be provided a lump sum payout for the “Across the Board” increase only.
- The Village will implement a bi-weekly payroll period for all bargaining unit members effective May 2026.

*For Fiscal Year 2026/2027:*

- As of October 1, 2026, all bargaining unit members will receive a three-and-a-half percent (3.5%) across-the-board increase, payable in the

first full pay period of fiscal year 2026/2027. For Year 2 of the contract, the minimum and maximum of the pay range shall be adjusted by the Across the Board (3.5%).

- 3% Merit for eligible bargaining members. Employees who are “topped out” will not be eligible for a merit increase.

For Fiscal Year 2027/2028:

- A compensation study will be completed to ensure starting pay for Police Officers is comparable in the market.

#### **Article 43 — Law Enforcement Take-Home Vehicles**

- New — Beginning Year 2 (2026/2027) of this contract bargaining unit, members assigned to a specialty unit will be provided with a take-home vehicle at no additional cost to the member if the member remains in the specialty unit.

#### **Appendix "C" - Topped Out Appendix D - Salaries**

The PBA ratified the tentative agreement on Thursday, April 16th and 17th, 2026. If the Council grants final approval, the contract will take effect on October 1, 2025.

**Fiscal Impact:** The impacts related to the proposed salary increases have been included within the approved FY 2026 Budget — General Fund.

8. **Approval of Joseph L. Fallon Scholarship Awards: Motion for approval to award three (3) student scholarship checks for \$1,000 each for the Joseph L. Fallon Scholarship Award. Funding for the proposed awards is available within the FY2026 Budget—General Fund.** Staff: Claudia Ruiz, Administrative Assistant

**SUMMARY:** Each year, the Village of Palm Springs awards scholarships to selected high school seniors. Applicants are evaluated based on financial need, grades, experience and personal appraisal by a committee representing the Village. In 1996, the annual Village scholarship was named in memoriam for Palm Springs resident and library volunteer Joseph Fallon, who passed away suddenly during his senior year at John I. Leonard High School.

This year, the Village Council is expected to approve the committee-selected scholarship to three high school students, each with a \$1,000 scholarship for the 2026 Joseph L. Fallon Scholarship Award.

The recommended 2026 Fallon Scholarship winners are:

- Akira D. Coleman
- Amayrani Olvera Resendiz
- Zachary B. Rieth

**Fiscal Impact:** Funding for the proposed awards is available within the FY2026 Budget—General Fund.

9. **Proclamation: Recognizing Police Week May 11-16, 2026, and Peace Officer Memorial Day — May 15, 2026.**

Staff: Rolando Silva, Police Chief

10. **Proclamation: Recognizing Drinking Water Week — May 3–9, 2026.**

Staff: Jimmy Johnson, Utilities Director

11. **Proclamation: Recognizing Building Safety Month— May 2026**

Staff: Iramis Cabrera, PZB Director

12. **Proclamation: Recognizing Public Works Week — May 15–21, 2026.**

Staff: Felipe Lofaso, Public Works Director

**End of Consent Agenda....**

Vice-Mayor Waller acknowledged Police Week, Drinking Water Week, Building Safety Month, and Public Works Week. She announced that the Council would take pictures with staff at the end of the meeting. Staff thanked the Council for their recognition.

The meeting was opened for Public Comment. There were no public comments.

Mayor Pro Tem Tieche motioned for the approval of the Consent Agenda, and Council Member Schmitz seconded. The motion passed unanimously.

**PRESENTATIONS**

13. **Presentation - Mr. and Mrs. Fallon will present the Joseph L. Fallon Scholarship Awards to three (3) high school students.**

Staff: Claudia Ruiz, Administrative Assistant

**SUMMARY:** This year, the Village Council will present three (3) Joseph L. Fallon Scholarship awards to applicants selected based on financial need, academic achievement, extracurricular involvement, and personal recommendations. The recommended 2026 Fallon Scholarship recipients are:

- **Akira D. Coleman:** A home-schooled student who plans to attend Florida Atlantic University in Boca Raton, FL, majoring in Mathematics.
- Amayrani Olvera Resendiz: A student at Royal Palm Beach High School who plans to attend Palm Beach State College in Lake Worth Beach, FL, majoring in Public Health.
- Zachary B. Rieth: A Suncoast High School student who plans to attend the University of South Florida in Tampa, FL, majoring in Health Sciences.

The Fallon Scholarship Committee met on April 2, 2026, and recommended awarding three (3) scholarships to local high school students to support their post-secondary education.

The Village Council is expected to approve this recommendation on May 14, 2026. If approved, each scholarship recipient will receive a check during May 14, 2026, Village Council Meeting.

Mrs. Bennett presented the Joseph L. Fallon Scholarship. Mr. and Mrs. Fallon gave comments and wished the students well. The students were presented with their awards and checks, and pictures were taken with Mr. and Mrs. Fallon, the Council, the Fallon Scholarship Committee, and the Village Manager.

**Fiscal Impact:** Funding to support the proposed awards is available within the FY2026 Budget — General Fund.

14. **PBCFR Annual Report: Palm Beach County Battalion Fire Chief Ronald Martinez will present the Palm Beach County Annual Report.**

Staff: Kimberly Wynn, Village Clerk

Palm Beach County Fire Rescue Battalion Fire Chief Ronald Martinez presented the FY 2025 Annual Report for the Village of Palm Springs, highlighting emergency response operations, community outreach efforts, and specialized public safety programs. The report outlined the Palm Springs service area, primary fire rescue resources assigned to the Village, and additional regional resources available to support emergency response operations.

The presentation reported a 100% overall patient satisfaction rating, with residents expressing high satisfaction with emergency response services, dispatcher interactions, firefighter and paramedic professionalism, and patient care provided during emergencies. The department responded to 4,297 total incidents during FY 2025, of which 3,278 were medical calls. Other incidents included vehicle accidents, alarms, fires, hazardous situations, and medical intervention-related calls. Average response times remained consistent with prior years.

The report also highlighted EMS operational statistics, including 2,455 patient

transports, 44 trauma alerts, 40 stroke alerts, 37 sepsis alerts, and 11 STEMI alerts. Palm Beach County Fire Rescue also discussed several advanced emergency response initiatives, including the Applied Information Glance® Traffic Preemption Pilot Program, designed to improve emergency vehicle travel times and safety through GPS-based traffic signal communication technology. Portions of Palm Springs are included within the pilot program area. Additionally, the Blood Product Transfusion Program continues to expand lifesaving pre-hospital care capabilities by administering whole blood, plasma, and emergency trauma medications in the field.

The presentation further summarized regional specialized response capabilities, including the Urban Search and Rescue (USAR) Team and Type 1 Swiftwater Rescue Team, both of which provide advanced emergency rescue services throughout the region. Palm Beach County Fire Rescue also provided an overview of countywide staffing and apparatus resources, including ALS rescues, engines, aerial units, special operations units, and command personnel that support emergency operations and mutual aid coverage.

Lastly, the Community Risk Reduction Division reported significant public outreach and prevention activities during FY 2025, including 1,254 inspection activities, 310 construction inspections, 298 plan reviews, and 154 community education events reaching approximately 3,890 participants. The division continues to focus on inspections, investigations, plan review, community education, and drowning prevention initiatives to improve public safety throughout the Village and surrounding communities.

Vice Mayor Waller offered the Council and the public an opportunity to comment or ask questions. Council member Ready asked Chief Martinez if he could present the lithium presentation that he saw at a recent Palm Beach County League of Cities' Meeting. He also discussed doing a presentation on the different types of fire extinguishers. Vice Mayor Waller asked if this could be presented at a future Travel Club Meeting. There was discussion about several other programs, including the implementation of the new light-changing system for emergency vehicles and the use of universal blood when blood transfusions are needed in the field during emergencies.

**15. Special Presentation: There will be a special presentation to the Village Council.**

Staff: Kimberly Wynn, Village Clerk

Kaufman Lynn presented the Council and Chief Silva with a commemorative hand-carved wooden flag in honor of their new Police Department expansion building. Chief Silva thanked Kaufman Lynn for the presentation.

## 16. Presentation of Annual Comprehensive Financial Report

Staff: Mara Frederiksen, Finance Director

**SUMMARY:** Mr. Elias Rodriguez, a Senior Manager, and Mr. Moises Ariza, a Managing Director at Marcum, LLP, the auditing firm for the Village, will present the Annual Comprehensive Financial Report (ACFR) for the fiscal year that ended on September 30, 2025. The presentation will include the audit report on the financial statements.

Mr. Elias Rodriguez, a Senior Manager at Marcum LLP, presented the CAFR report to the Council. The Village Council received and accepted the Village of Palm Springs Annual Comprehensive Financial Report (ACFR) for the fiscal year ending September 30, 2025. The report, prepared by the Finance Department and independently audited by CBIZ CPAs P.C., received an unmodified clean audit opinion and was prepared in accordance with generally accepted accounting principles and Florida law.

The report highlighted the Village's continued financial stability and growth, including an increase in taxable property values to approximately \$2.07 billion and a population increase to an estimated 27,928 residents. The General Fund ended the fiscal year with a total fund balance of approximately \$28.2 million, including an unassigned fund balance equal to 31% of the General Fund budget. The Village continues to maintain strong fiscal reserves while planning for future capital improvements, infrastructure needs, public safety expansion, and technology upgrades. Departmental accomplishments during FY2025 were also highlighted throughout the report.

Major initiatives included continued redevelopment efforts through the Community Redevelopment Agency (CRA), modernization of Village operations through new digital platforms and public records software, major stormwater and roadway infrastructure improvements, cybersecurity enhancements, police department construction upgrades, expanded parks and recreation programming, library literacy outreach initiatives, and utility system improvements. The report also noted the Village's continued commitment to transparency, operational efficiency, community engagement, and long-term infrastructure planning.

The report further recognized the Village's receipt of the Government Finance Officers Association (GFOA) Certificate of Achievement for Excellence in Financial Reporting for the thirty-seventh consecutive year, demonstrating the Village's ongoing commitment to high standards in governmental financial reporting and accountability.

Vice Mayor Waller offered the public and Council an opportunity to comment. There were no comments.

## REGULAR

17. **Request for a New Community Policing Sergeant Position — Police Department:** Consider approval for the addition of one sworn supervisory position, the Community Policing/Traffic Sergeant, within the Palm Springs Police Department. This position will provide dedicated supervision for the Community Policing and Traffic Units, enhancing operational effectiveness and supporting the Village’s public safety objectives.

Staff: Rolando Silva, Police Chief

**SUMMARY:** The Palm Springs Police Department requests Council approval for a new supervisory position, Community Policing/Traffic Sergeant. This role will directly oversee the Community Policing and Traffic Units, which include five officers and a Community Service Aid. Establishing this position will improve supervision, increase effectiveness, and support the Village’s priorities.

**Unit Workload and Operational Demands**

The Traffic Unit has expanded its mission to include traffic-homicide investigations, requiring extensive coordination and specialized training. The Community Policing Unit manages special events and community outreach, to advance long-term engagement goals. The Training Sergeant has, among other duties, critical responsibility for firearms qualifications, asset management, and FDLE Officer certification.

**Justification for Establishing the Position**

Creating a dedicated Community Policing and Traffic Sergeant will improve oversight, accountability, coordination, and deployment. It will expand community-engagement initiatives, enhance traffic enforcement strategies, and create balanced supervisory spans of control. The new Sergeant will be tasked with providing innovative training to road patrol using best practices to foster meaningful, daily engagement with the public in a non-enforcement capacity. Moreover, this position will be instrumental in integrating the department’s Road Patrol operations into a true Community Policing & Neighborhood-Centric form of policing, shifting our culture to meet the desires of the community.

**Importance of Maintaining a Dedicated Training Sergeant**

Training responsibilities—including firearms instruction, weapons maintenance, certification tracking, and compliance—are essential to the Department’s professionalism and readiness. A dedicated Training Sergeant ensures quality, reduces liability, and supports officer development.

**Conclusion and Recommendation**

Staff recommend approval of the Community Policing / Traffic Sergeant position. This role will strengthen supervisory capacity, expand community-policing efforts, improve traffic safety operations, and align with the Village’s strategic public-safety objectives.

Police Chief Silva presented this item. He explained that the Palm Springs Police Department would like to establish a new Community Policing/Traffic Sergeant position. The position would oversee the Community Policing and Traffic Units, which include five officers and one Community Service Aid member, and would improve supervision, coordination, and operational effectiveness.

Chief Silva noted that the Traffic Unit's responsibilities have expanded to include traffic homicide investigations, while the Community Policing Unit continues to manage special events and community outreach efforts. Staff also emphasized the importance of maintaining a dedicated Training Sergeant responsible for firearms qualifications, certification compliance, and officer training. The new Sergeant position would strengthen community policing initiatives, improve traffic safety operations, enhance accountability, and support the Village's neighborhood-focused policing goals.

Vice Mayor Waller offered the public and Council an opportunity to comment. The Council asked if the proposed position supported the new e-bike initiative. Chief Silva stated that the new position supported the e-bike initiative.

Council Member Ready motioned for the approval of the new Community Policing Sergeant position, and Council Member Schmitz seconded. The motion carried unanimously.

**Fiscal Impact:**

The fiscal impact has been submitted to the Finance Department. Funding is available from vacancies for the remainder of the current fiscal year, and the position has been incorporated into budget planning. A promotional process for Sergeant will be required and is already funded.

**PUBLIC COMMENT**

Vice-Mayor Waller offered public comment. There were no comments from the public.

**PUBLIC HEARINGS**

18. **(First Reading) Proposed Ordinance No. 2026-01 — Add 5 Year DROP General Employee Pension Plan: Motion to approve proposed Ordinance No. 2026-01 to amend Ordinance No. 2017-26, Section 46, providing for the creation of a Deferred Retirement Option Program to the General Employee Pension Plan.**

Staff: Mara Frederiksen, Finance Director

**SUMMARY:** An Ordinance of the Village of Palm Springs amending Article VI, Division 7, Chapter 34 of the Village of Palm Springs, entitled General

Employees' Pension Plan, amending Section 34-892 to provide for pension contributions by DROP members; deferred retirement option plan to provide for a five (5) year DROP; providing for codification, conflict, severability, and an effective date.

The General Pension Plan Ordinance needs to be amended to reflect negotiated changes to the pension plan regarding the addition of a five (5)- year DROP participation period.

- DROP accounts earn interest compounded monthly at an effective annual rate of 4%.
- Retirement benefits paid into DROP are also increased by the 3% annual cost-of-living adjustment (COLA) each October 1st.
- Upon termination of employment, the proceeds of the DROP account will be distributed in one of three ways:
  - By a lump-sum payment;
  - By direct rollover, or
  - By a combined partial lump-sum payment and rollover.
- If the Employee should die while in DROP, their designated beneficiary would be eligible to receive their accumulated DROP benefits.
  - Depending on the benefit option you selected, your beneficiary may also be eligible to receive a continuing monthly benefit.
  - Or, if their beneficiary does not qualify for a continuing benefit, and the benefits deposited in their DROP account add up to less than any employee contributions they may have made (including amounts they may have paid to upgrade service or buy service credit), their beneficiary may receive a refund of the difference.
  - However, because the employees retired upon entering DROP, they are not eligible for disability benefits.

Ms. Frederiksen presented Ordinance No. 2026-01. She explained that the ordinance would amend the Village's General Employees' Pension Plan to incorporate negotiated changes related to the Deferred Retirement Option Plan (DROP). Ms. Frederiksen stated that the amendment would establish a five-year DROP participation period and require pension contributions by DROP members. Further, she advised that DROP accounts would earn interest compounded monthly at an effective annual rate of 4%, and retirement benefits deposited into the DROP account would continue to receive the annual 3% cost-of-living adjustment each October 1st. Upon separation from employment, DROP proceeds may be distributed through a lump-sum payment, direct rollover, or a combination of both.

The Council was also informed that designated beneficiaries would be eligible to

receive accumulated DROP benefits in the event of a participant's death, subject to the applicable benefit option selected. Staff noted that employees entering the DROP program are considered retired and therefore are not eligible for disability benefits.

The Village Attorney read the title of the caption to the record. Vice Mayor Waller invited the Council and public for an opportunity to speak. There were no comments.

Council Member Schmitz motioned for the approval of Ordinance No. 2026-01, and Mayor Pro Tem Tieche seconded. The motion carried unanimously.

**Fiscal Impact:** Per the actuarial study provided, this Ordinance will not impact the cost of the Plan.

19. **(First Reading) Proposed Ordinance No. 2026-03 Compensation for the Mayor and Members of the Village Council: Motion to approve Proposed Ordinance No. 2026-03, authorizing an annual compensation increase for the Mayor and Village Council.**

Staff: Kimberly Wynn, Village Clerk

**SUMMARY:** Ordinance 97-05 established the Annual Compensation for the Mayor and the Members of the Village Council, which became effective March 11, 1997. It established the total compensation of the mayor including "salary" of \$4,200 per year for the mayor and \$3,600 per year for the Council Members, plus "expenses" of \$2,400 per year for the mayor, and \$1,800.00 per year for each Council Member deemed "annual salary". Since 1997, the rates of the Council have not been adjusted and are no longer competitive with the market of other municipalities. They also do not consider the increased level of responsibility in their roles.

The recommendation for compensation is to increase the mayor's salary to \$10,000 per year and the Council member to \$9,400 per year, along with increasing annual "expenses" to the mayor of \$5,000 per year and \$4,400 per year to each Council member.

Section 3.04 of the Village Charter states that the Council may determine the annual salary of the council members and mayor by ordinance, but no ordinance to increase such salary shall become effective until all terms of those currently in office have expired. Effective March 2027, Council Member District 2 and District 4 end. Effective March 2028, Council Member District 3 and District 4 and Mayor's terms end. This ordinance will become effective after the end of those terms in April 2028.

Ms. Frederiksen presented Ordinance No. 2026-03. She advised this is an ordinance to amend the elected official compensation rates that were established

in 1997, which have remained unchanged for nearly 30 years. She explained that the proposed amendment would increase the mayor's annual salary and expense allowance to \$10,000 and \$5,000 respectively and increase Council Members' annual salary and expense allowance to \$9,400 and \$4,400 respectively, to better reflect current market conditions and the increased responsibilities of the positions. In accordance with the Village Charter, the ordinance would not become effective until April 2028, following the expiration of all current elected officials' terms.

Village Manager Bornstein added that the intent of this increase is to attract potential candidates to run for official elected seats. Vice Mayor Waller offered public comments and additional discussion from the Council. There was none.

Village Attorney Goddeau read the title of the caption to the record. Council Member Ready motioned for the approval of Ordinance No. 2026-03, and Council member Schmitz seconded. The motion passed unanimously.

**Fiscal Impact:** Current Annual Cost (4 Council members at \$5,400 and 1 Mayor at \$6,600) = \$28,200. Proposed Changes (4 Council members at \$13,800 and 1 Mayor at \$15,000) = \$70,200. This would result in an annual increase of \$42,000.

#### **ACTIONS AND REPORTS**

There were no Actions and Reports

#### **VILLAGE MANAGER COMMENTS**

There were no comments

#### **VILLAGE COUNCIL COMMENTS**

Council Member Ready acknowledged each of the service members in the Village by name and department in recognition of Armed Forces Day and asked Human Resources to put something in each of their files.

The Council appreciated the staff for all their hard work.

#### **ADJOURNMENT**

Hearing no further business, Vice Mayor Waller adjourned the meeting at 7:27 PM.

The undersigned is the Village Clerk of Palm Springs, Florida, and the information provided herein is the Minutes of the Regular Council Meeting held on **May 14, 2026**. The minutes were formally approved and adopted by the Village Council on **June 11, 2026**.

*Kimberly M. Wynn*

Village Clerk

**NEXT REGULAR MEETING:  
THURSDAY, JUNE 11, 2026, AT 6:30 PM  
(IMMEDIATELY FOLLOWING THE LPA MEETING)**



# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Utilities

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**ITEM #2:**

Approve Amendment No.1 to the Construction Manager at Risk (CMAR) Agreement with Kaufman Lynn Construction – Establishment of Guaranteed Maximum Price (GMP) - Utilities Operations Building Project (Task Order No. 331)

**SUMMARY:** The Utility department is requesting the approval of amendment No.1 to the existing Construction Manager at Risk (CMAR) Agreement for the Utilities Operations Building Project to establish the Guaranteed Maximum Price (GMP) pursuant to Section 7.2 of the Agreement and authorize the transition from pre-construction services into the construction phase of the project.

On January 15, 2026, the Village Council approved the Construction Manager at Risk Agreement for the Utilities Operations Building Project – Kaufman Lynn Construction Inc., for the pre-construction services of the Utilities Operations Building (TO No. 331).

The pre-construction phase included coordination with the Architect, Engineer, and Project Management teams for constructibility reviews, project scheduling, cost estimating, value engineering evaluations, and development of the Guaranteed Maximum Price proposal.

The CMAR has completed the pre-construction phase and associated services for the design development and preparation of the GMP proposal as outlined in Section 7.1 of the Agreement.

Section 7.2 of the Agreement provides that, upon acceptance of the GMP by the Village Council, the Contract shall be amended to establish the final GMP amount for construction services and authorize monthly payments associated with the Cost of the Work and Construction Manager's Fee as outlined in the Agreement.

This amendment to the existing CMAR Agreement will:

- Establish the final Guaranteed Maximum Price (GMP) for the Utilities Operations Building Project in the amount of **\$13,573,062.00**
- Authorize the Construction Manager at Risk – Kaufman Lynn Construction Inc. to proceed with the construction phase of the project pursuant to Section 7.2 of the Agreement.
- Incorporate the finalized GMP proposal, construction schedule, allowances, contingencies, Direct Owner Purchase (DOP) procedures for applicable tax savings, and associated contract documents into the Agreement.

- Establish a construction duration of 12-14 months.

The Contract for Construction Manager at Risk Services with Kaufman Lynn Construction, Inc. provides for a direct purchase program in which the Village will purchase certain construction materials included in the GMP for the Utilities Operations Building to utilize our tax-exempt status and receive sales tax savings (savings currently estimated at \$103,517.00, 1% of the building's construction cost). The Contract includes a direct purchase process in which Kaufman Lynn will vet (through a competitive process) and recommend vendors to the Village. These construction materials include, but are not limited to the generator and switchgear, fuel system components, doors and windows, concrete, and structural steel components. If accepted, the Village will issue a Purchase Order to the vendor to acquire the item or materials.

Staff is seeking Council authorization to waive the standard purchasing process for acquisitions necessary for the Utilities Operations Building construction effort as best interest acquisitions. The individual expenses are expected to be over \$50,000.00, which is the threshold for council approval set by the Purchasing Policy.

**NOTE:**

The GMP amount does not include certain owner-procured project-related costs, including but not limited to

- furniture, fixtures and equipment (FF&E) – Approximately \$180,000.00
- Builder's Risk insurance – Approximately \$95,000.00
- Owners Representative Services — Approximately \$230,000
- Temporary Facilities & Warehouse Storage — Approximately \$87,000
- Other owner-purchased items associated with the overall completion of the project.

Village Staff recommends approval of the amendment to the existing CMAR Agreement establishing the Guaranteed Maximum Price pursuant to Section 7.2 of the Agreement and authorizing the Construction Manager, Kaufman Lynn Construction Inc. to proceed with construction services for the Utilities Operations Building Project. Additionally, staff is seeking Council authorization to waive the standard purchasing process for acquisitions necessary for the Utilities Operations Building construction effort as best interest acquisitions.

**FISCAL IMPACT:**

The final Guaranteed Maximum Price (GMP) for construction services is **\$13,573,062.00** . Funding for the project has been allocated within the Utilities Capital Improvement Program budget for the Utilities Operations Building Project over the next few fiscal years.

The Village will receive a sales tax savings by direct purchasing construction materials and items needed for the Utilities Operations Building. Based on the preliminary construction costs, the sales tax savings are estimated at \$103,517.00.

**ATTACHMENTS:**

1. Amendment No. 1 - Guaranteed Maximum Price 6.3.2026
2. GMP Proposal - Utilities Operations building-Kaufman Lynn Construction

**GMP AMENDMENT TO CONTRACT FOR CONSTRUCTION  
MANAGER AT RISK SERVICES**

This GMP Amendment to the Contract for Construction Manager at Risk Services (“GMP Amendment”) is made as of the \_\_\_\_\_ day of \_\_\_\_\_, 2026, by and between the **Village of Palm Springs**, (“VILLAGE”), and **Kaufman Lynn Construction, Inc.** (“CM”).

**RECITALS**

WHEREAS, on January 15, 2026, the VILLAGE and CM entered the Contract for Construction Manager at Risk Services (“Contract”) for the Utilities Operations Center Project (“Project”); and

WHEREAS, the VILLAGE and CM have negotiated a Guaranteed Maximum Price (“GMP”) for the Project, including the CM’s fees calculation in accordance with the terms of the Contract, whereby the CM will render construction and warranty services and other services as set forth herein and in the Contract; and

WHEREAS, the VILLAGE finds entering this GMP Amendment with the CM to complete the Project serves a valid public purpose; and

WHEREAS, to the extent there is any conflict between the terms and conditions of this GMP Amendment and those of the Contract, this GMP Amendment shall control; and

NOW THEREFORE, in consideration of the mutual promises set forth herein, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. Recitals. The parties agree that the recitals set forth above are true and correct and are fully incorporated herein by reference as operative provisions of this GMP Amendment.
2. CM Representations. The CM’s representations regarding review of the Construction Documents are set forth in Sections 2.1.8 and 6.9 of the Contract and GC 19.1 and GC 20.2 of the Contract Documents.

The CM’s review and comparison of all Drawings has taken into consideration the total and complete functioning of all systems and therefore the CM represents that the GMP represents the total cost for complete and functional systems.

3. Guaranteed Maximum Price. Pursuant to section 2.1.14 and Article 6 of the Contract, the VILLAGE and CM agree to a GMP of **Thirteen Million Five Hundred Seventy-Three Thousand Sixty-Two Dollars (\$13,573,062)** for the Project. The GMP is based on the itemized proposal set forth in **Exhibit “A”** attached hereto. Exhibit “A” also contains “CM’s Clarifications and Assumptions.”

- A. As noted in the CM’s Clarifications and Assumptions, the VILLAGE is responsible for all permit fees except as stated in the Allowances section.

- B. As noted in section 1.v. of the CM's Clarifications and Assumptions, the CM will provide the VILLAGE with written notice of any delays (as defined therein) within five (5) business days of the commencement of the delay identifying the source of the delay. Failure to provide such written notice shall waive any claim for extending the Contract Time and increasing the Contract Sum until such written notice is provided to the VILLAGE. Upon expiration of the delays, the CM shall provide written notice to the VILLAGE in the form of a Change Order request seeking any applicable extension of the Contract Time and increase in the Contract Sum. For purposes of section 1.v. of the CM's Clarifications and Assumptions, the Daily Rate of General Conditions Cost is \$                     .

The Governing Order of the Contract Documents set forth in Section 1.9 of the Contract is amended as follows:

1. This Contract and any other Amendments to this Contract including the GMP Amendment, Work Authorizations, Work Orders, and Change Orders.
  2. Construction Manager's Clarifications and Assumptions in Exhibit "A" to the GMP Amendment.
  3. Special Conditions.
  4. General Conditions.
  5. The Project Manual; provided, however, if such Project Manual conflicts with the GMP Set Drawings, the GMP Set Drawings shall control. Further, if the Project Manual conflicts with a subsequently issued change order or change directive, the change order or change directive shall control.
  6. Insurance Certificates, Public Construction Bond, and Guarantee.
  7. The Construction Documents not identified in #1 above (when approved) and Division 01 of the Project Manual.
  8. The RFP
  9. The Construction Manager's Proposal
4. Contract Time, Liquidated Damages, and Punch List.

A. The Contract Time for completion of this GMP Amendment will be as follows: The CM shall achieve Substantial Completion as set forth in GC 71 of the Contract Documents within                      calendar days from Commencement of the Work set forth in Section 2.2.2 of the Contract.

B. **Liquidated Damages** as described in further detail in the Contract Section 5.3 and GC 80 of the General Conditions of the Contract, the VILLAGE shall be entitled to Liquidated Damages of **Two Thousand Dollars (\$2,000.00)** per calendar day for the failure to achieve Substantial Completion within the time set forth above or any VILLAGE approved Change Order(s) or Written Amendment(s), until such time as Substantial Completion is achieved; and, the VILLAGE shall be entitled to Liquidated Damages of **Two Thousand Dollars (\$2,000.00)** per calendar day for the failure to achieve Final Completion within sixty (60) days from the date of Substantial Completion. There shall be a grace period of thirty (30) days prior to the imposition of Liquidated Damages. The VILLAGE may deduct such Liquidated Damages from CM's Final

Payment. The CM's liability for Liquidated Damages shall be capped at an aggregate value of fifty percent (50%) of the CM Fee.

C. In accordance with GC 71 of the General Conditions of the Contract, specifically Section 71.2, the CM shall prepare and submit the initial comprehensive list of incomplete work and items needing correction with dates indicating when the items listed will be completed ("Punch List") when the CM considers the Project Substantially Complete. In accordance with Section 218.735(7), Florida Statutes, the CM's initial Punch List shall include the estimated cost to complete each item on the Punch List. The VILLAGE (including the A/E) shall have thirty-five (35) calendar days to review the CM's initial Punch List, revise and finalize the Punch List with the CM, and deliver the finalized Punch List to the CM. The CM shall complete all Punch List items within **sixty (60)** calendar days of the delivery of the finalized Punch List by the VILLAGE.

5. Insurance. The CM shall provide all insurance as required by the Contract except that the VILLAGE shall provide Builder's Risk Insurance for the Project. The VILLAGE will promptly provide the Builder's Risk policy to the CM. The CM shall be solely responsible without reimbursement from the VILLAGE for the Builder's Risk deductible up to \$25,000 (per event or occurrence) for any damage arising from or related to the negligent acts, negligent omissions, and/or wrongful misconduct of the CM, Subcontractor, and/or others for whom the CM is utilizing to perform the Work. In all other cases, the VILLAGE shall be solely responsible for the Builder's Risk deductible.

6. Attachments. In addition to Exhibit "A", attached hereto and incorporated herein by reference are the following:

1. Public Construction Bond (which must be recorded by the CM and a certified copy provided to the Village prior to the commencement of Work);
2. Form of Guarantee;
3. Insurance Certificates (exchanged prior to Commencement of Work); and,
4. Affidavit of Compliance with Anti-Human Trafficking Laws.

7. Village's Project Representative and CM's Representative:

A. The Village's Project Representative as set forth in SC 2 of the Special Conditions of the Contract is changed from Greg Siefker to **Kiziah Construction Management, LLC**, whose contact information is: Matthew Kiziah c/o matt@kiziahcm.com or (561)                     .

All payment applications, requests, and invoices must be submitted by the CM to the VILLAGE's Project Representative and A/E.

B. The CM's Representative is Eduardo Hernandez, whose contact information is: [ehernandez@kaufmanlynn.com](mailto:ehernandez@kaufmanlynn.com) or (954)868-5508.

7.

8. Entire Agreement. The VILLAGE and the CM agree that this GMP Amendment and the Contract set forth the entire agreement between the parties, and that there are no promises or understandings other than those stated herein. None of the provisions, terms and conditions contained in the Contract including this Amendment may be added to, modified, superseded or otherwise altered, except by written instrument executed by the parties hereto.

9. Legal Effect. This GMP Amendment shall not become binding and effective until approved by the VILLAGE Council. The Effective Date of this GMP Amendment if approved will be August 9, 2024.

10. Counterparts. This GMP Amendment may be executed in one or more counterparts, each of which shall be deemed an original, and will become effective and binding upon the parties as of the effective date at such time as all the signatories hereto have signed a counterpart of this GMP Amendment.

11. Amendment. Except for the provisions of the Agreement specifically modified by this GMP Amendment, all other terms and conditions of the Agreement shall remain in full force and effect.

12. Authorized Signatories. The persons signing this GMP Amendment represent and warrant that they are authorized by the VILLAGE or CM to sign this GMP Amendment and bind the VILLAGE or CM to its terms and conditions.

**REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK**  
**SIGNATURE PAGE FOLLOWS**

IN WITNESS WHEREOF, the VILLAGE and CM have caused this GMP Amendment to the Contract for Construction Manager at Risk Services to be executed the day and year shown above.

**VILLAGE OF PALM SPRINGS, FLORIDA**

By: \_\_\_\_\_  
Bev Smith, Mayor

ATTEST

\_\_\_\_\_  
Kim Wynn, Village Clerk

Approved as to form and legal sufficiency:

\_\_\_\_\_  
Christy Goddeau, Village Attorney

**CONSTRUCTION MANAGER (CM): KAUFMAN LYNN  
CONSTRUCTION , INC.**

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

[Corporate Seal]

**Exhibit "A"**  
**(GMP Proposal - 70 Pages)**

**Public Construction Bond**

**Form of Guarantee**

**Insurance Certificates**

**Affidavit of Compliance with Anti-Human Trafficking Laws**



**VILLAGE OF PALM SPRING  
OFFICE OF THE VILLAGE CLERK**

226 Cypress Lane ▪ Palm Springs, FL ▪ 33461

**Affidavit of Compliance with Anti-Human Trafficking Laws**

**[THIS FORM MUST BE SIGNED AND NOTARIZED]**

I, the undersigned, am an authorized officer or agent of **Kaufman Lynn Construction, Inc.**, (“CM”) and attest that the CM does not use coercion for labor or services as defined in section 787.06, Florida Statutes.

**Under the penalty of perjury, I hereby declare and swear or affirm that the above stated facts are true and correct.**

\_\_\_\_\_  
Print Name:  
Print Title:

**STATE OF FLORIDA            }**  
**COUNTY OF PALM BEACH    }**

THE FOREGOING instrument was acknowledged before me by means of \_\_\_ physical presence or \_\_\_ online notarization on this \_\_\_ day of \_\_\_\_\_ 2026, by \_\_\_\_\_, as the \_\_\_\_\_ [title] of CM, who is personally known to me or who has produced \_\_\_\_\_ as identification.

Notary Seal:

\_\_\_\_\_  
Notary Public Signature



**KL**  
KAUFMAN LYNN  
CONSTRUCTION

Village of Palm Springs  
Utilities Operations Building

**GMP**

June 3, 2026

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- **PRELIMINARY PROJECT SCHEDULE**



# GMP BUDGET ESTIMATE



Project Data	
Project Name	Village of Palm Springs Utilities Building - VE
Location	360 Davis Rd. Palm Springs 33041
Plan Set Date	
Gross Project Area (Square Feet)	23000
Gross AC Area (Square Feet)	0
Net Leaseable Area (Square Feet)	0
Building Efficiency (Percentage)	0%
Parking Garage Area (Square Feet)	0
Parking Garage Spaces	0
Parking Garage Efficiency (SF/Space)	0
Building Height (Stories)	0
Gross Site Area (Acres)	0
Schedule Duration (Months)	14

<b>Estimate Deliverable</b>
<b>Owner</b>
<b>Architect</b>
<b>Document Level</b>

Division Summary of Estimate				
Div	Description	Total Cost	\$ / GSF	% / Total
1.1	GENERAL REQUIREMENTS	\$ -	\$ -	0.00%
2	SITWORK	\$ 1,493,851	\$ 64.95	11.01%
3	CONCRETE	\$ 1,363,186	\$ 59.27	10.04%
4	MASONRY	\$ -	\$ -	0.00%
5	METALS	\$ 909,473	\$ 39.54	6.70%
6	WOODS, PLASTICS AND COMPOSITES	\$ 134,217	\$ 5.84	0.99%
7	THERMAL AND MOISTURE PROTECTION	\$ 296,211	\$ 12.88	2.18%
8	DOORS AND WINDOWS	\$ 598,426	\$ 26.02	4.41%
9	FINISHES	\$ 749,641	\$ 32.59	5.52%
10	SPECIALTIES	\$ 253,019	\$ 11.00	1.86%
11	EQUIPMENT	\$ 5,766	\$ 0.25	0.04%
12	FURNISHINGS	\$ 18,056	\$ 0.79	0.13%
13	SPECIAL CONSTRUCTION	\$ 410,490	\$ 17.85	3.02%
14	CONVEYING SYSTEMS	\$ 132,900	\$ 5.78	0.98%
15	MECHANICAL	\$ 904,155	\$ 39.31	6.66%
16	ELECTRICAL	\$ 3,082,350	\$ 134.02	22.71%
<b>SUBTOTAL</b>		<b>\$ 10,351,740</b>	<b>\$ 450.08</b>	<b>76.27%</b>
1	GENERAL CONDITIONS	\$ -	\$ -	0.00%
50	INSURANCE, TAXES & BONDS			
		Distribute?		
	Kaufman Lynn Insurance	1.45%	Yes	\$ 196,809 \$ 8.56 1.45%
	Builder's Risk Insurance - Excluded	0.00%	Yes	\$ - \$ - 0.00%
	Builders Risk Insurance Deductible - Excluded	0%	No	\$ - \$ - 0.00%
	Subcontractor Default Ins.	1.58%	Yes	\$ 163,557 \$ 7.11 1.21%
	Owner Contingency	1.50%	Yes	\$ 155,276 \$ 6.75 1.14%
	Contractor's Construction Contingency	1.50%	Yes	\$ 155,276 \$ 6.75 1.14%
	Owner Direct Purchase Program (ODP)	-1.00%	Yes	\$ (103,517) \$ (4.50) -0.76%
	Design Services	0.00%	Yes	\$ - \$ - 0.00%
<b>SUBTOTAL</b>		<b>\$ 567,402</b>	<b>\$ 24.67</b>	<b>4.18%</b>
	Contractor Overhead and Profit (Div 1 thru 50)	23.00%	Yes	\$ 2,511,403 \$ 109.19 18.50%
	Contractor's Payment and Performance Bond	1.05%	Yes	\$ 142,517 \$ 6.20 1.05%
<b>GRAND TOTAL</b>		<b>\$ 13,573,062</b>	<b>\$ 590</b>	<b>100%</b>



# CLARIFICATIONS & ASSUMPTIONS

## Village of Palm Springs Utilities Building at Main WTP

June 3, 2026

### GMP Contractor Clarifications and Assumptions

#### GENERAL

This document is intended to expand and/or clarify plan interpretation in instances where the plans are in conflict or silent. Should the plans conflict with other contract documents, this proposal is based on the plans being the default.

1. The following are excluded:
  - a. Occupancy Permit fees, Building Permit fees, Sub Permit fees, Impact fees, Connection fees and Assessments.
  - b. Builder's risk insurance and deductibles.
  - c. Site Security if an on-site security guard is required.
  - d. Cost of all utility usage and trash removal services to the buildings after substantial completion is achieved.
  - e. FPL transformers, Primary Conduits and wire, and Deposits.
  - f. Incoming cable TV/Phone equipment and cable or phone service to onsite point of service indicated on drawings except fiber run as indicated on drawings.
  - g. Fire Alarm Monitoring Service Cost (assumed to be by Owner).
  - h. Permanent and temporary Water Meters, Fees, Usage charges and Deposits.
  - i. Provisions for an onsite owner office.
  - j. Commissioning and/or special testing engineer services.
  - k. Building As-Built survey and vibration monitoring.
  - l. Removal, relocations, and main line installations to building(s) point, gas (including meter), power, phone, cable, etc. These should be provided by the appropriate service provider.
  - m. Mock-up rooms/units not incorporated into the finished product.
  - n. Owner FF&E and any artwork addressed in the plans and specifications per Owner directive; however, coordination with Owner's vendor is included.
  - o. Threshold or Special Inspectors and Inspection.
  - p. Deposits for temporary electric at Units and Common (House) Meters.
  - q. Removal, disposal, remediation, and premiums associated with unforeseen or unsuitable soil conditions, hazardous materials, or other materials requiring a controlled removal/disposal; however, a demucking allowance is included.
  - r. Any maintenance equipment, vehicle lifts, small tools, hoisting equipment, overhead cranes, in-ground service pits, grating or other items for the service bays.
  - s. Asbestos inspections, reporting documentation and "All Clean" Certifications.
  - t. Any special labor rates that may be required by project location, funding, municipality governance, etc. such as Davis Bacon Act.

- u. Notwithstanding anything to the contrary, the Contract Amount has been calculated based on the current prices for building materials. Due to the volatility of the market for certain building materials and the concern of the imposition of tariffs on the price of materials (including the ramifications of any trade war), it is understood that certain material price increases / escalations could occur. Should any material price increase after the execution of this Agreement as the direct or indirect result of the imposition of tariffs, Owner agrees to pay the material price increase to the Contractor as an additional cost and the Contract Amount shall be increased based on the material price increase. Contractor's claim to Owner for any material price increase shall require written notice from Contractor to Owner within ten (10) days of discovery the price increase. Payments for any price increase shall include and be supported by invoices, bills of sale, and other documentation, as applicable.
  - v. To the extent any delays are caused by the imposition of tariffs or taxes on any material imports including, without limitation, steel and aluminum, any trade wars, or other government action, such delays shall be deemed compensable delays extending the Contract Time and increasing the Contract Sum at the Daily Rate of General Conditions Cost.
2. The GMP is based on the 90% Construction Drawings and Specification dated November 25, 2025; Package "A" by Currie, Sowards, Aguila Architects, *et al* and Package "B" by CHA Consulting, *et al*.
  3. It is anticipated that the work will be performed during normal business hours (7:00 AM to 5:00 PM) including Saturdays, if required.
  4. Plan/Drawing Revit Model and CAD Files shall be provided by the Owner as required for use by KL subcontractors in their preparation of Shop Drawings for the project.

## ALLOWANCES

**The following allowances have been included within the cost proposal:**

1. Division 2 – Demucking - \$90,000 (unit rate of \$75/CY).
2. Division 2 – Irrigation system - \$9,450.
3. Division 10 – Plastic bins for metal shelving in storage room - \$2,000.
4. Division 10 – Permit fees for window sunshades and rooftop mechanical screen louvers for Industrial Louvers, Inc. - \$1,500.

## DIVISION 02 - SITE WORK

**Sitework:**

1. Demucking will be performed within the limits of the new building pad only.
2. All stockpiling of all material will occur on-site. Any excavated soil or muck material will be stockpiled on-site in accordance with site visit instructions provided by city representatives.

## **DIVISION 05 - METALS**

### **Ornamental Metals:**

1. Kynar (10-yr warranty) finish in lieu of the specified clear anodized (1-yr warranty) finish for front entry canopy, picnic area canopy, storage canopy, entry door canopy, and bay doors canopy.

## **DIVISION 06 - WOOD AND PLASTICS**

### **Millwork, Cabinets, & Counter Tops**

1. We include 35" D x 60" L stainless steel countertop at the Clerk's Parts Counter, complete with support brackets.

## **DIVISION 08 - DOORS & WINDOWS**

### **Doors, Frames, & Hardware**

1. Includes single flush hollow metal doors at exterior openings to meet Level E impact rating requirements, in lieu of exterior hollow metal doors with glazing.

### **Overhead Coiling Doors**

1. Includes Overhead Door Company of The Gold Coast Model 625.RD overhead coiling doors in lieu of Cornell-manufactured systems.

### **Storefront System**

1. Includes ES Window Systems Series EL-150, ES-8000T, and ES-9000 in lieu of the specified YKK AP YHS50FI Series.
2. Include SaftiFirst window systems with Pittsburgh Plate Glass (PPG) high-performance fluoropolymer finish at openings JJ and KK, in lieu of the specified FYRE-TEC systems with Sherwin-Williams SW-7757 finish.

## **DIVISION 10 - SPECIALTIES**

### **Signage**

1. We will be providing signage from White Sign CO. for exterior signs in lieu of Baron sign manufacturing.

### **Fire Extinguishers & Cabinets**

1. We will be providing 10lb fire extinguishers for all indicated recessed fire cabinets and wall mounted extinguishers.

### **Awnings**

1. Kynar (10-yr warranty) finish in lieu of clear anodized (1-yr warranty) finish for window sunshades and rooftop mechanical enclosure louvers.
2. Bird screen for rooftop mechanical enclosure louvers is excluded.



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Delray Beach, FL 33445  
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CGC 021732

## DIVISION 11 - EQUIPMENT

### Appliances

1. We will be providing Frigidaire Over the range microwaves (FMOS1746BS) in lieu of specified GE (GCST20SIW) Counter microwaves, as the specified microwave is discontinued.

## DIVISION 12 - FURNISHING

### System Furniture

1. All system furniture will be purchased, delivered and installed by the Village; however, any necessary coordination is included.

## DIVISION 15 - MECHANICAL

### Fuel System

1. Excludes Fuel filling after start-up and testing of both the fuel system tank as well as the generator.

### HVAC

1. Commissioning services and associated costs are excluded.

## DIVISION 16 – ELECTRICAL

1. All low voltage systems in areas with drop ceilings are to be free wired above the ceiling without the use of enclosed conduit, supported instead by approved methods such as J-hooks or bridle rings, in accordance with applicable codes and standards.

## END OF CONTRACTOR CLARIFICATIONS



## EXISTING SITE PLAN & PROJECT RENDERINGS

# EXISTING SITE



# EXISTING SITE PLAN



STRUCTURES TO  
BE DEMOLISHED

# PROPOSED SITE PLAN



NEW PARKING & LANDSCAPING

NEW UTILITIES BUILDING

NEW FUEL STATION

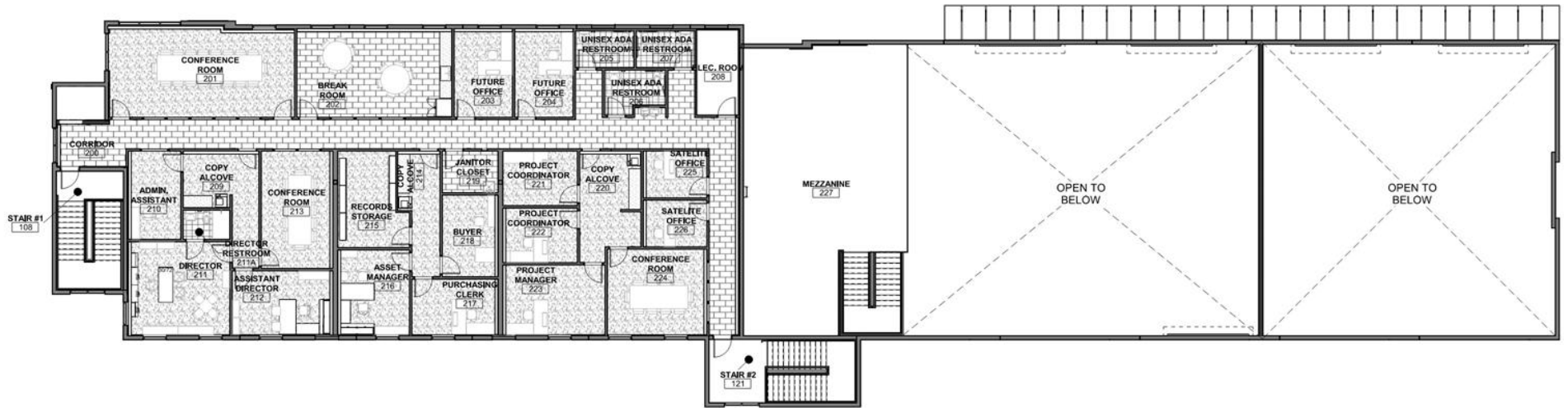
NEW GENERATOR

NEW DUMPSTERS

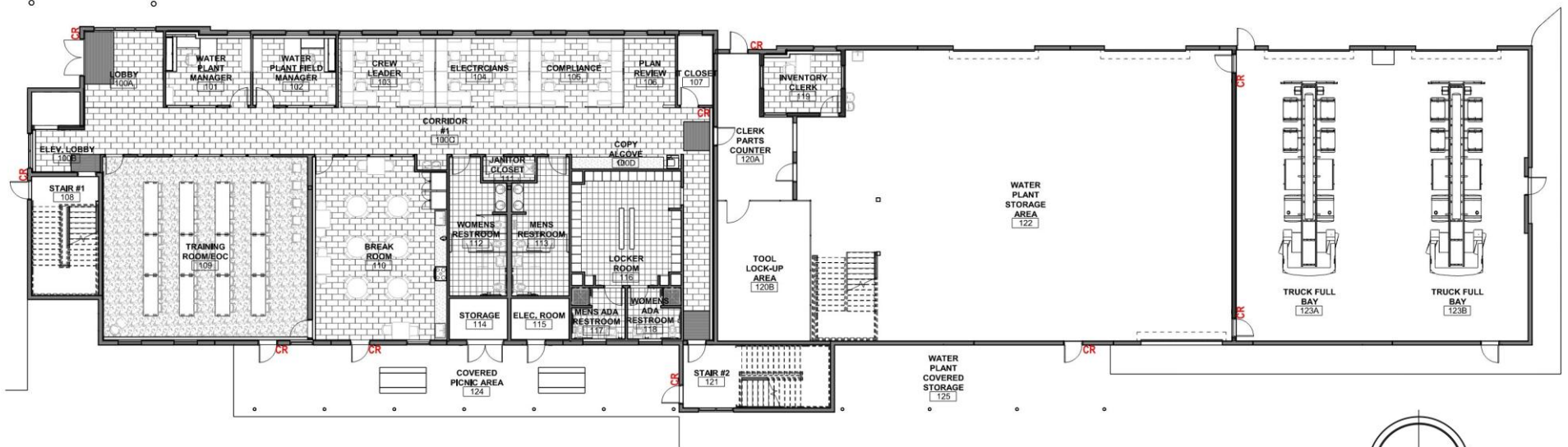
# RENDERING FROM NORTHEAST



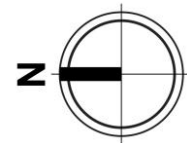
# PROPOSED FLOOR PLANS



SECOND FLOOR PLAN



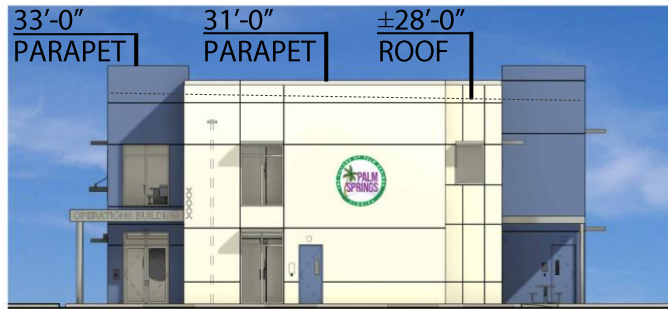
FIRST FLOOR PLAN



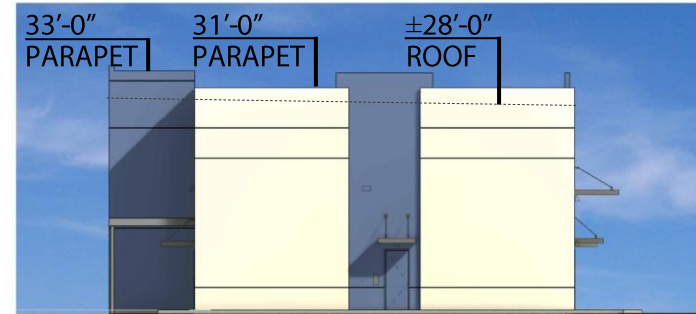
# RENDERING FROM SOUTHEAST



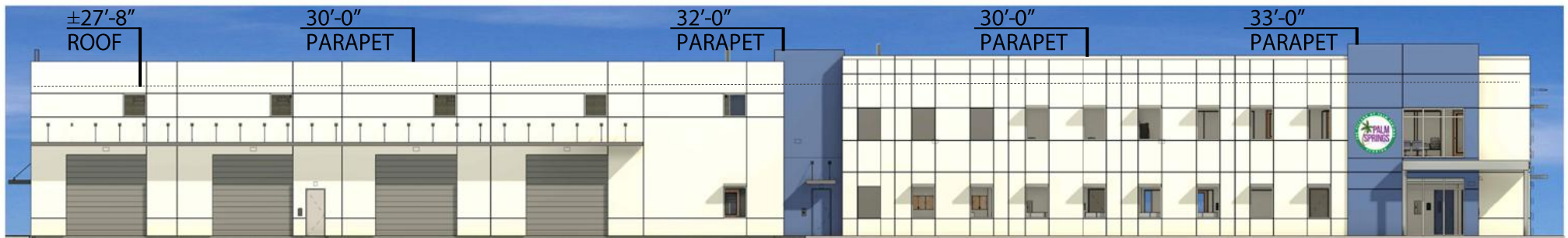
# PROPOSED ELEVATIONS



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



# SITE LOGISTICS PLAN





# DRAWING LOG



Kaufman Lynn Construction, Inc.

**Package A - Current Drawings**

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
<b>Architectural</b>					
A0.00	COVER	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A0.01	SHEET INDEX	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A0.02	GENERAL NOTES & PROJECT DATA	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A0.03	ADA/RESTROOM DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A0.04	ACCESSIBILITY REQUIREMENTS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A0.10	LIFE SAFETY FIRST FLOOR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A0.11	LIFE SAFETY SECOND FLOOR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.01	SITE DEMOLITION PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.02	OVERALL SITE PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.02A	PARTIAL SITE PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.02B	PARTIAL SITE PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.02C	PARTIAL SITE PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.02D	PARTIAL SITE PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.03A	20 YARD DUMPSTER PLAN/DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.03B	4 YARD DUMPSTER PLAN/DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A1.05	WEST VEGETATION EXHIBIT	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.01	OVERALL 1ST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.01A	ENLARGED NOTATIONAL - 1ST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.01B	ENLARGED NOTATIONAL - 2ND FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.02	OVERALL 2ND FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.02A	ENLARGED DIMENSIONAL - 1ST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.02B	ENLARGED DIMENSIONAL - 2ND FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.03A	ENLARGED SIGNAGE - 1ST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.03B	ENLARGED SIGNAGE - 2ND FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.03C	INTERIOR-EXTERIOR WALL SIGNAGE	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.04	FINISH SCHEDULE AND NOTES	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.04A	FINISH PLAN - 1ST FLOOR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.04B	FINISH PLAN - 2ND FLOOR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.05	ENLARGED FURNITURE PLAN - 1ST & 2ND	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.06A	ENLARGED AUDIO/VISUAL - 1ST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.06B	ENLARGED AUDIO/VISUAL - 2ND FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.07A	ENLARGED SECURITY PLAN - 1ST FLOOR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.07B	ENLARGED SECURITY PLAN - 2ND FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.08	ROOF PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.08A	ENLARGED ROOF PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A2.08B	TAPERED INSULATION ROOF PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.01	BUILDING ELEVATION	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)



Kaufman Lynn Construction, Inc.

Printed on Wed May 27, 2026 at 09:08 am EDT

Job #: 1197 Village of Palm Springs Utilities Operation Center  
Palm Springs  
Palm Springs, Florida

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
A3.01A	ENLARGED BUILDING ELEVATION	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.01B	ENLARGED BUILDING ELEVATION	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.02	COLORED BUILDING ELEVATIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.03A	FRONT ENTRY RENDERING	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.03B	NORTH FACADE RENDERING	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.03C	STORAGE AREA RENDERING	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.03D	COVERED PICNIC AREA RENDERING	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.04A	ENLARGED PANEL ELEVATIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.04B	ENLARGED PANEL ELEVATIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.04C	ENLARGED PANEL ELEVATIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.04D	ENLARGED PANEL ELEVATIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.04E	ENLARGED PANEL ELEVATIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A3.04F	ENLARGED PANEL ELEVATIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A4.01	ENLARGED WOMENS RESTROOM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A4.02	ENLARGED MENS RESTROOM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A4.03	1ST FLOOR LOCKER RESTROOMS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A4.04	1ST FLOOR BREAKROOM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A4.05	1ST FLOOR LOCKER ROOM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A4.06	1ST FLOOR LOBBY & COPY ALCOVE	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A5.01	2ND FLOOR BREAKROOM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A5.02	2ND FLOOR ADA RESTROOMS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A5.03	2ND FLOOR ADA RESTROOM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A5.04	2ND FLOOR COPY ALCOVE AND RESTROOM PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A6.00	OVERALL NOTATIONAL RCP	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A6.01A	ENLARGED NOTATIONAL RCP - 1ST FLOOR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A6.01B	ENLARGED NOTATIONAL RCP - 2ND FLOOR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.00	BUILDING SECTION	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.01	BUILDING SECTION	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.02	BUILDING SECTION	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.50	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.51	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.52	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.53	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.54	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.55	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.56	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.57	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A7.58	WALL SECTIONS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.01	CABINETS AND MILLWORK DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.02	FRONT ENTRY CANOPY	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.03	PICNIC AREA CANOPY	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.04	WATER PLANT STORAGE CANOPY	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)



Kaufman Lynn Construction, Inc.

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
A8.05	ALUMINUM CANOPY DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.06	EXTERIOR SUN CONTROL DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.50	STAIR # 1	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.51	STAIR # 2	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.52	MEZZANINE STAIR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.53	GENERAL DETAILS - STAIR & RAILINGS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A8.54	ELEVATOR	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.01	PARTITION TYPES	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.02	PARTITION TYPES	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.10	DOOR SCHEDULE & DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.11	DOOR HARDWARE SPECIFICATION	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.12	DOOR DETAIL	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.20	STOREFRONT SCHEDULE & DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.21	INTERIOR STOREFRONT SCHEDULE	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.22	EXTERIOR STOREFRONT DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.23	TILT-UP DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.24	INT. FIRE RATED & STOREFRONT DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.25	ROOF DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.26	ROOF DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.27	ROOF DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.28	ROOF DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
A9.29	DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
<b>Electrical</b>					
E-0.1	GENERAL NOTES, SYMBOLS AND LEGENDS	0	08/25/2025	02/09/2026	90% CD Set (11/24/25)
E-0.2	LIGHTING FIXTURE SCHEDULE	0	08/25/2025	02/09/2026	90% CD Set (11/24/25)
E-1.1	ELECTRICAL POWER FLOOR PLAN	0	08/25/2025	02/09/2026	90% CD Set (11/24/25)
E-1.2	ELECTRICAL POWER FLOOR PLAN	0	08/25/2025	02/09/2026	90% CD Set (11/24/25)
E-1.3	ELECTRICAL ROOF PLAN	0	08/25/2025	02/09/2026	90% CD Set (11/24/25)
E-2.1	ELECTRICAL LIGHTING FLOOR PLAN	0	08/25/2025	02/09/2026	90% CD Set (11/24/25)
E-2.2	ELECTRICAL LIGHTING FLOOR PLAN	0	08/25/2025	02/09/2026	90% CD Set (11/24/25)
E-2.3	ELECTRICAL LIGHTING CONTROL FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
E-2.4	ELECTRICAL LIGHTING CONTROL FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
E-3.1	LIGHTING PROTECTION FLOOR PLAN	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
E-4.1	ELECTRICAL RISER DIAGRAM	0	08/27/2025	02/09/2026	90% CD Set (11/24/25)
E-4.2	ELECTRICAL BDA RISER DIAGRAM	0	08/27/2025	02/09/2026	90% CD Set (11/24/25)
E-5.1	ELECTRICAL PANEL SCHEDULES	0	08/27/2025	02/09/2026	90% CD Set (11/24/25)
E-6.1	LIGHTING PROTECTION DETAILS	0	08/27/2025	02/09/2026	90% CD Set (11/24/25)
E-6.2	ELECTRICAL DETAILS	0	08/27/2025	02/09/2026	90% CD Set (11/24/25)
ES-1.0	VILLAGE OF PALM SPRINGS UTILITIES BUILDING	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
ES-1.0.1	ELECTRICAL SITE PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
ES-1.1	SITE LIGHTING PLAN PHOTOMETRICS	0	08/27/2025	02/09/2026	90% CD Set (11/24/25)
ES-1.2	SITE LIGHTING POWER PLAN	0	08/27/2025	02/09/2026	90% CD Set (11/24/25)



Kaufman Lynn Construction, Inc.

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
<b>Fire Protection</b>					
FA-0.1	FIRE ALARM NOTES, RISER, DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
FA-1.1	FIRE ALARM - FIRST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
FA-1.2	FIRE ALARM - SECOND FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
FA-1.3	FIRE ALARM - ROOF PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
<b>Landscape</b>					
LP-1	OVERALL LANDSCAPE PLAN	0	10/22/2025	02/09/2026	90% CD Set (11/24/25)
LP-2	PARTIAL LANDSCAPE PLAN	0	10/22/2025	02/09/2026	90% CD Set (11/24/25)
LP-3	PARTIAL LANDSCAPE PLAN	0	10/22/2025	02/09/2026	90% CD Set (11/24/25)
LP-4	PARTIAL LANDSCAPE PLAN	0	10/22/2025	02/09/2026	90% CD Set (11/24/25)
LP-5	PARITAL LANDSCAPE PLAN	0	10/22/2025	02/09/2026	90% CD Set (11/24/25)
LP-6	DETAILS & SPECIFICATIONS	0	10/22/2025	02/09/2026	90% CD Set (11/24/25)
<b>Mechanical</b>					
M-0.1	MECHANICAL NOTES, LEGENDS, & SCHEDULES	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-0.2	MECHANICAL SCHEDULES	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-0.3	MECHANICAL HEAT LOADS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-0.4	MECHANICAL CONTROLS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-1.1	MECHANICAL FLOOR PLANS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-1.2	MECHANICAL FLOOR PLANS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-1.3	MECHANICAL ROOF PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-2.1	MECHANICAL DETAIL	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-2.2	MECHANICAL DETAIL	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
M-2.3	MECHANICAL DETAIL	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
<b>Plumbing</b>					
P-0.1	PLUMBING NOTES, LEGENDS, AND SCHEDULES	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-0.2	PLUMBING SCHEDULES	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-1.1A	PLUMBING - SAN. STORM & COND. 1ST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-1.1B	PLUMBING - DOM. WATER 1ST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-1.2A	PLUMBING - SAN. STORM & COND. 1ST FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-1.2B	PLUMBING - DOM. WATER 2ND FLOOR PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-1.3	PLUMBING ROOF PLAN	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-2.1	PLUMBING ISOMETRIC DIAGRAM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-2.2	PLUMBING ISOMETRIC DIAGRAM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-2.3	PLUMBING ISOMETRIC DIAGRAM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-2.4	PLUMBING ISOMETRIC DIAGRAM	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-3.1	PLUMBING DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
P-3.2	PLUMBING DETAILS	0	11/24/2025	02/09/2026	90% CD Set (11/24/25)
<b>Structural</b>					
S0.01	GENERAL NOTES	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S0.02	LOADING CRITERIA	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S0.03	CONCRETE GENERAL NOTES & SCHEDULES	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S0.04	CMU AND STEEL GENERAL NOTES & SCHEDULES	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)



Kaufman Lynn Construction, Inc.

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
S0.05	SPECIAL INSPECTION PLAN	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.01	OVERALL FOUNDATION PLAN	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.01A	ENLARGED FOUNDATION PLAN (NORTH)	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.01B	ENLARGED FOUNDATION PLAN (SOUTH)	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.02	OVERALL SECOND LEVEL FRAMING PLAN	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.02A	ENLARGED SECOND LEVEL FRAMING PLAN (NORTH)	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.02B	ENLARGED SECOND LEVEL FRAMING PLAN (SOUTH)	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.03	OVERALL ROOF LEVEL FRAMING PLAN	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.03A	ENLARGED ROOF LEVEL FRAMING PLAN (NORTH)	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.03B	ENLARGED ROOF LEVEL FRAMING PLAN (SOUTH)	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S1.04	DUMPSTER ENCLOSURE FOUNDATION PLAN	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S2.06	BUILDING SECTIONS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S2.07	BUILDING SECTIONS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S2.08	BUILDING SECTIONS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S2.09	BUILDING SECTIONS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S2.10	BUILDING SECTIONS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S2.11	BUILDING SECTIONS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.01	TYPICAL FOUNDATION DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.02	TYPICAL FOUNDATION DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.03	TYPICAL FOUNDATION DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.10	TYPICAL SLAB-ON-GROUND DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.11	SLAB-ON-GROUND DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.12	TYPICAL CMU DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.20	TYPICAL TILT-UP FRAMING DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.30	TYPICAL STEEL FRAMING DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.31	TYPICAL COMPOSITE STEEL DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.51	TYPICAL STEEL FRAMING AT ROOF DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)
S3.52	TYPICAL STEEL FRAMING AT ROOF DETAILS	0	11/25/2025	02/09/2026	90% CD Set (11/24/25)



Kaufman Lynn Construction, Inc.

**Package B - Current Drawings**

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
<b>Civil</b>					
C-01	OVERALL SITE PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
C-02	PAVING AND GRADING - PARTIAL PLAN (SHEET 1)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
C-03	PAVING AND GRADING - PARTIAL PLAN (SHEET 2)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
C-05	PAVING AND GRADING - PARTIAL PLAN (SHEET 4)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
C-06	DRAINAGE PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
C-07	STRIPING PLAN AND DETAILS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
CD-01	STANDARD DETAILS - CIVIL (SHEET 1)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
CD-02	FDOT DETAILS - CIVIL (SHEET 1)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
CD-03	FDOT DETAILS - CIVIL (SHEET 2)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
CD-04	FDOT DETAILS - CIVIL (SHEET 3)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
<b>Demolition</b>					
C-04	PAVING AND GRADING - PARTIAL PLAN (SHEET 3)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
D-01	DEMOLITION - OVERALL SITE PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
D-02	DEMOLITION - FUELING AND GENERATOR SYSTEMS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
D-03	EXISTING FUEL STATION DEMOLITION PHOTOS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
D-04	EXISTING GENERATOR AND FUEL STORAGE BUILDING DEMOLITION PHOTOS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
D-05	EXISTING OFFICE BUILDING AND SOD AREA DEMOLITION PHOTOS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
<b>Electrical</b>					
E-01	ELECTRICAL NOTES AND LEGENDS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-02	ELECTRICAL DEMO SITE PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-03	ELECTRICAL INSTALL SITE PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-04	ELECTRICAL SITE PLAN, PHASE 1	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-05	ELECTRICAL SITE PLAN, PHASE 2	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-06	ELECTRICAL SITE PLAN, PHASE 3	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-07	FUEL SYSTEM ELECTRICAL PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-08	FUEL SYSTEM GROUNDING &	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-09	FUEL SYSTEM LIGHTING PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-10	ELECTRICAL ONELINE DIAGRAM	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-11	ELECTRICAL ONELINE DIAGRAM	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-12	PANELBOARD F SCHEDULE	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-13	EXTERIOR WIREWAY DETAIL	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-14	FUEL RTU DETAIL	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-15	FUEL RTU CONTROL SCHEMATIC	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
E-16	FUEL SYSTEM CONTROL RISER	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
ED-01	STANDARD DETAILS - ELECTRICAL	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
ED-02	STANDARD DETAILS - ELECTRICAL	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
ED-03	STANDARD DETAILS - ELECTRICAL	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)



100% EMPLOYEE OWNED  
Kaufman Lynn Construction, Inc.

Job #: 1197 Village of Palm Springs Utilities Operation Center  
Palm Springs  
Palm Springs, Florida

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
<b>General</b>					
G-01	COVER SHEET	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-02	INDEX TO DRAWINGS AND PROJECT LOCATIONS AND WORK AREA SITE PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-03	GENERAL NOTES AND LEGENDS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-04	GENERAL SYMBOLS AND LINE LEGENDS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-05	ABBREVIATIONS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-06	MECHANICAL LEGENDS AND SYMBOLS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-07	PROCESS AND INSTRUMENTATION (SHEET 1)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-08	PROCESS AND INSTRUMENTATION (SHEET 2)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-09	DESIGN CRITERIA (SHEET 1)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-10	DESIGN CRITERIA (SHEET 2)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-11	SEQUENCE OF CONSTRUCTION AND	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-12	BORING(S) LOCATION SITE PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-13	BORING LOGS (B-01 TO B-07)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
G-14	EXFILTRATION LOGS (EX-01 TO EX-02)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
<b>Instrumentation</b>					
I-01	OVERALL PLANT SCHEMATIC	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
I-02	UNIT PROCESS 0 - SUPPORT SYSTEMS (EMER)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
I-03	UNIT PROCESS 0 - SUPPORT SYSTEMS (EMER)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
<b>Mechanical</b>					
M-01	PIPING SCHEDULE AND GENERAL MECHANICAL NOTES	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-02	OVERALL YARD PIPING PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-03	YARD PIPING DEMOLITION PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-04	MECHANICAL - PARTIAL YARD PIPING PLAN (SHEET 1)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-05	MECHANICAL - PARTIAL YARD PIPING PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-06	MECHANICAL - PARTIAL YARD PIPING PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-07	GENERATOR AND FUEL TANK ELEVATIONS AND DETAILS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-08	FUELING STATION ENLARGED PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-09	FUELING STATION ELEVATIONS AND DETAILS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-10	FUELING STATION SYSTEM CONTROL AND PIPING DIAGRAM	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
M-11	FUELING AREA EQUIPMENT ELEVATIONS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
MD-01	STANDARD DETAILS - MECHANICAL (SHEET 1)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
MD-02	STANDARD DETAILS - MECHANICAL (SHEET 2)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
MD-03	STANDARD DETAILS - MECHANICAL (SHEET 3)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
MD-04	STANDARD DETAILS - MECHANICAL (SHEET 4)	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
<b>Structural</b>					
S-01	STRUCTURAL NOTES AND TABLES	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
S-02	STRUCTURAL NOTES AND TABLES	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
S-03	GRAVITY WALL AND GENERATOR EQUIPMENT PAD - ENLARGED PLAN	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
S-04	GRAVITY WALL AND GENERATOR EQUIP. PAD SECTIONS AND DETAILS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
S-05	GRAVITY WALL SECTIONS AND DETAILS	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
S-06	MAIN BREAKER (MB1) SLAB	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)



Kaufman Lynn Construction, Inc.

Printed on Wed May 27, 2026 at 09:08 am EDT

Job #: 1197 Village of Palm Springs Utilities Operation Center  
Palm Springs  
Palm Springs, Florida

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
SD-01	STANDARD DETAILS - STRUCTURAL	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
SD-02	STANDARD DETAILS - STRUCTURAL	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)
SD-03	STANDARD DETAILS - STRUCTURAL	1	02/18/2026	03/04/2025	90%CD Addendum 1 (02/18/26)



# PRELIMINARY PROJECT SCHEDULE



**KAUFMAN LYNN CONSTRUCTION, INC.**  
**3185 SOUTH CONGRESS AVENUE | DELRAY BEACH, FL 33445**  
KaufmanLynn.com





# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Administration

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**ITEM #3:** Discussion - Strategic Plan

**SUMMARY:** A strategic plan serves as a roadmap for an organization. It establishes long-term direction, priorities, and measurable goals that are all used in operational decision-making and resource allocation. A strategic plan is not a business plan. It focuses on needs or gaps in service that necessitate deliberate focus in order to carry the organization towards its Vision.

Based on Village Council input on priorities (during 1-on-1 meetings in February), six (6) goal areas are proposed, which are further described in the working draft of the Strategic Plan:

1. Celebrate Residential Neighborhoods
2. Facilitate Redevelopment and Economic Growth
3. Foster a Culture of Engagement and Participation
4. Efficient, Effective and Empathetic Service Delivery
5. Community Policing to Strengthen Community Trust
6. Enhance Literacy (and Improve School Grades)

The Management Team has collectively crafted Strategic Objectives for each goal or Focus Area, as well as Key Results, which measure the big picture that the Village Council will be focusing on versus day-to-day activities that individual departments might monitor and measure as Key Performance Indicators.

Staff is seeking Village Council input on the working draft so that we may finalize the strategic objectives and key results into a final document to bring back for approval.

**FISCAL IMPACT:**

The adopted Strategic Plan will guide Village operations, as supported by the annual budget.

**ATTACHMENTS:**

1. Strategic Plan Working Draft
2. Vision, Mission, Core Values
3. VPS Strategic Planning flowchart
4. Village Council Priorities (Consensus from 1-on-1 Input)
5. SWOT Exercise Notes (Mgt Team)
6. Guidelines for Strategic Plan Format

## FOCUS AREA: Celebrate Residential Neighborhoods

Definition: The Village seeks to preserve and protect its residential neighborhoods by preventing deterioration associated with aging structures and deferred maintenance. This focus area promotes responsible property stewardship and investment to maintain attractive, well-kept homes and public infrastructure, thereby supporting the overall quality of life for residents.

### STRATEGIC OBJECTIVES:

1. Install streetscape (intersection treatments, street trees, benches, etc.) along Village road rights-of-way annually.
2. Expand and enhance the parks system over the next three years by acquiring additional acreage, adding resident-desired amenities, and developing interconnected multi-use paths that link all parks into a cohesive, accessible network.
3. Promote VPS *sense of identity* through entry features at key locations, wayfinding signs, and landmark at public place.
4. Invigorate Code Enforcement over the next year by strengthening and consistently applying property maintenance standard, eliminating leniency toward absentee landlords, and proactively addressing conditions that negatively impact neighborhood safety, appearance, and overall curb appeal.
5. Utilize Angel Program to assist with maintenance of owner-occupied residences for income-qualified residents.

### KEY RESULTS:

1. Award 85% of budgeted Angel Fund each budget year.
2. Complete at least one streetscape segment (at least ½ mile) per budget year.
3. Complete Village Common Park improvements by 2030.

## FOCUS AREA: Facilitate Redevelopment and Economic Growth

Definition: The Village aims to drive economic growth and expand employment opportunities through the sustainable revitalization of its commercial corridors. This focus area emphasizes investment in placemaking initiatives that establish vibrant destinations and welcoming community gathering spaces.

### STRATEGIC OBJECTIVES:

1. Prioritize and promote redevelopment of aging commercial plazas, with focused attention on mixed-use opportunities, within next 5 years.
2. Provide actionable implementation framework, including incentives, to facilitate Urban Village / South Village redevelopment within next 12 months.
3. Implement Mobility Plan and Vision Zero Action Plan recommendations annually through capital improvement budget.
4. Finalize VPS utility capacity analysis, identify system needs, and evaluate various funding mechanisms to support redevelopment within next 12 months.
5. Prioritize recommendations from CCEDMP for Village implementations within 6 months of study completion.

### KEY RESULTS:

1. Obtain an executed purchase agreement for the SoVi assemblage within 24 months.
2. Annually complete at least 85% of scheduled capital and infrastructure projects (including mobility and Vision Zero actions).
3. Secure approval of at least 3 mixed-use redevelopment projects that incorporate residential, commercial, and pedestrian-oriented design elements within 5 years.

## FOCUS AREA: Foster a Culture of Engagement and Participation

Definition: The Village prioritizes meaningful community engagement to create a collaborative civic environment where residents can actively participate in shaping policies and initiatives that reflect shared community values. This focus area supports informed dialogue and cooperative action, by promoting transparency and strengthening relationships between residents and local government.

### STRATEGIC OBJECTIVES:

1. Align Village programs and services with resident needs and priorities through data-driven planning, community input, and continuous evaluation.
2. Increase civic awareness and engagement through education, outreach, and accessible initiatives that expand participation in Village processes and boost local voter turnout.
3. Strengthen community partnerships through collaborations with local organizations, schools, businesses, and civic groups to broaden engagement efforts.
4. Expand Accessible Communication channels via multiple user-friendly platforms (e.g. town hall meetings, digital platforms, social media, newsletters) to ensure all residents can easily access information and provide input.
5. Reenergize advisory boards by clarifying each board's mission, purpose, responsibilities, and expected deliverables.

### KEY RESULTS:

1. Increase resident engagement rate across all communication platforms (events, digital, social, newsletters) by 40% within 12 months
2. Update 100% of advisory board charters (outlining mission, responsibilities and deliverables) within 6 months
3. Improve local voter turnout by 10 percentage points in the next election cycle

## FOCUS AREA: Efficient, Effective and Empathetic Service Delivery

Definition: The Village is committed to delivering public services in a timely, cost-effective, and high-quality manner that enhances community well-being and strengthens trust in local government. This focus area ensures residents receive responsive and compassionate service by streamlining processes, leveraging technology, and promoting a culture of empathy, accountability, and continuous improvement across all government interactions.

### STRATEGIC OBJECTIVES:

1. Leverage technology for service enhancement by expanding digital tools and automating data systems to improve service accessibility, convenience and overall performance.
2. Optimize operational efficiency by streamlining processes and eliminating redundancies to reduce costs, improve productivity and maximize effective use of Village resources.
3. Enhance accountability and performance management through measurement systems and regular reporting and evaluation to ensure transparency, track outcomes and continuously improve service delivery.
4. Transform the Village website into a reliable, user-focused resource by expanding and improving the clarity, accuracy, and accessibility of information for residents and visitors.
5. Develop and implement standardized service benchmarks across all customer touchpoints to improve timeliness, responsiveness, and accountability. This includes defining clear service standards, setting measurable response-time targets, and tracking performance against those benchmarks to ensure consistent follow-through on resident requests and continuous service improvement.
6. Strengthen customer service and empathy through a culture of professionalism that offers respectful, compassionate and solution-oriented interactions with residents.

### KEY RESULTS:

1. Define and implement service standards and response-time targets for 100% of core services within 6 months
2. Update or redesign 100% of core website pages to meet usability and accessibility standards (e.g., ADA compliance) within 24 months.
3. Achieve 90% on-time response and resolution rate for resident requests across all departments within 12 months.

## FOCUS AREA: Community Policing to Strengthen Community Trust

Definition: The Village strives to build a community where residents feel safe, supported, and connected to their local police. This focus area aims to reduce the fear of crime and improve quality of life through proactive problem-solving and collaborative partnerships between the Police Department and residents.

### STRATEGIC OBJECTIVES

1. Enhance coordination with Code Enforcement Officers on observed non-emergency violations.
2. Expand educational messaging through Public Information Officer to educate residents on important public safety issues.
3. Expand Explorer program to younger children in a Mini-Police program to provide additional interactions between Village and Community.
4. Strengthen community relationships with the public and businesses within the Village this year.
5. Introduce intelligence-led policing (ILP) as a model for developing operational planning for Road Patrol, Tactical Team, and Traffic Unit this year.
6. Enhance individual officer's community focus while on patrol.

### KEY RESULTS:

1. Increase proactive enforcement or crime suppression operations based on intelligence analysis by 20% within one year.
2. Conduct at least 12 community outreach presentations or workshops annually focused on crime prevention, traffic safety, fraud awareness, or emergency preparedness.
3. Increase documented community policing activities by officers while on patrol (e.g., foot/vehicle contacts, business checks, problem-solving engagements) by at least 25%, reflecting a stronger visible and relational policing presence.

## FOCUS AREA: Enhance Literacy (and Improve School Grades)

Definition: The Village is committed to strengthening literacy and early learning outcomes for children from birth through third grade. This focus area promotes collaborative partnerships among preschools, families, libraries, and community organizations to ensure equitable access to high-quality resources, culturally responsive instruction, and engaging learning opportunities both inside and outside the classroom.

### STRATEGIC OBJECTIVES:

1. Expand early learning by increasing awareness to high-quality early learning opportunities through a partnership with the Early Learning Coalition and other community-based literacy programs.
2. Expand and innovate VPS literacy programs to strengthen early literacy foundations and support children's learning thru Pre-K.
3. Strengthen family and caregiver engagement by equipping them with tools, training and resources to support reading and learning at home.
4. Expand Outreach and promote equitable access to learning opportunities by addressing disparities in access to books, technology, tutoring and enrichment programs.

### KEY RESULTS:

1. Work with the Early Learning Coalition to increase enrollment in partnered early learning programs (in central county region) by 25% within 12 months.
2. Increase participation in VPS literacy programs (storytime, reading events, etc.) by 30% year-over-year.
3. Work with the Central County Alliance, Early Learning Coalition and Children Services Council to improve (central county) Kindergarten readiness scores by 10% within next two (2) Fall assessment cycles.



# "A Great Place to Call Home"

## OUR MISSION

To provide high quality and efficient municipal services and programs to a culturally and economically diverse community.

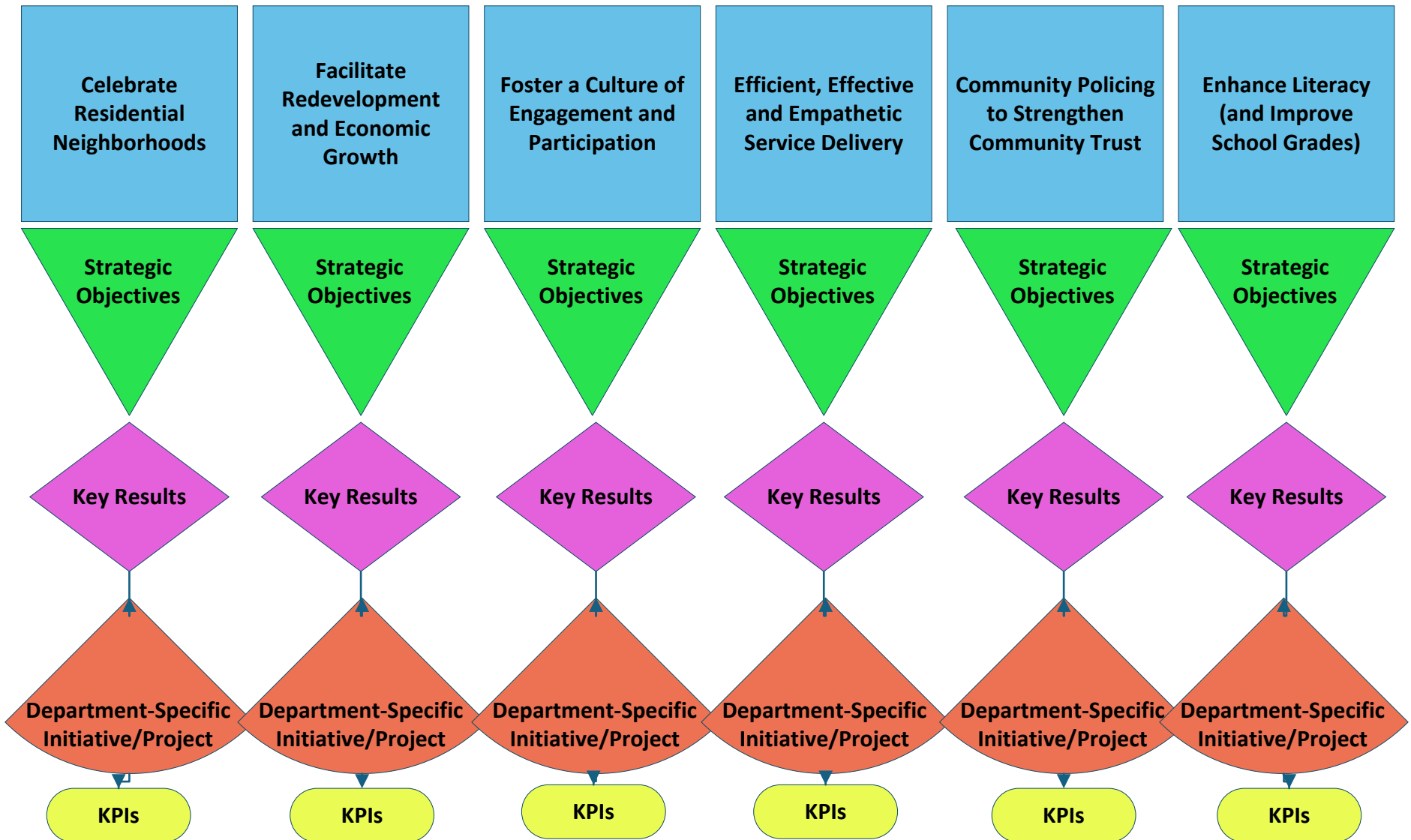
## OUR VISION

To create a Flourishing Community that is a "Great Place to Call Home".

## OUR CORE VALUES

- RESPECT
- COMMUNICATION
- INTEGRITY
- TEAMWORK
- ACCOUNTABILITY
- SERVICE EXCELLENCE
- QUALITY

# Mission, Vision, Values



## STRATEGIC GOALS

- I. PRESERVE HISTORIC RESIDENTIAL CORE
  - A. Invigorate Code Enforcement to eliminate conditions that negatively impact neighborhoods and maintain curb-appeal
    1. Lack of maintenance of properties and structures and driveways
    2. Overparking into yards and swales
    3. Noise issues
    4. Expand Code Officers' visibility to residents and businesses
      - a. Better engagement
      - b. Use equipment in field rather than coming back to office
    5. Push out Angel Program and provide wrap-around services to assist senior, homesteaded residents
    6. Amend maximum lien reduction to a higher percentage (i.e., from 10% to 25%)
    7. Enforce minimum s.f./room size requirements to prevent too many people in a residence, even if related
  - B. Reinstigate Street Tree Program
  - C. Expand street furnishings, including trash receptacles along pathways
  - D. Address canal conditions (trash and debris) with LWDD
  
- II. FACILITATE REDEVELOPMENT AND ECONOMIC GROWTH
  - A. Prioritize SoVi Initiative to facilitate redevelopment of South Village area in near-term
    1. Acquire additional parcels, if possible, to assemble
  - B. Evaluate nonconforming/undesired grandfathered uses – are we able to amortize and phase out?
  - C. Undertake annexation to square-off boundaries (promote consistent code enforcement and maintenance standards)
  - D. Initiate additional focus on redevelopment of aging plazas (Forest Hill/Congress, 10<sup>th</sup>/Congress)
  - E. Encourage development of vacant Oxygen parcels
  - F. Enforce (code) maintenance requirements on commercial properties (facades, parking lots, landscaping, etc)

### III. FOSTER A CULTURE OF ENGAGEMENT AND PARTICPATION

- A. Use advisory boards more effectively (clarify and expand their role)
  - 1. Expand role of Recreation Advisory Board
    - a. Involve in review of plans to implement Recreation Master Plan
  - 2. Provide focus to Library Advisory Board
- B. Provide annual recognition of volunteers who serve on boards
- C. Refocus “Residents Leadership Academy”
  - a. Rename so that it doesn’t sound as formal ( i.e. “We Love Our Community” Committee) and will resonate with Hispanic culture
  - b. Revamp with “Town Hall” format meetings with briefings from all departments
- D. Revive Citizens on Patrol program to involve residents in proactive safety
- E. Hold business outreach meetings throughout Village, not just CRA
  - a. Solicit input on Village services
  - b. Educate on code allowances (and prohibitions)
  - c. Establish relationships with PD
  - d. Form local business alliance (foster community partnerships)
- F. Communications through Social Media and Utility Bills ineffective – refocus based on residents’ needs (flyers at businesses, churches, events)
- G. Resident Polling to determine likes/dislikes

### IV. EFFICIENT, EFFECTIVE AND EMPATHETIC SERVICE DELIVERY

- A. Accelerate process improvements in Utilities Department to enhance customer service
- B. Advance construction of projects outlined in Recreation Master Plan
  - a. Program Community Center (indoor recreation space and meeting space)in CIP in near-term
- C. Complete capital projects on schedule (and within budget)
  - a. Monitor completed projects through warranty period to ensure quality, address deficiencies
- D. Revise Santa Sleigh Ride so that a different route is taken each year in order to reach more residents
- E. Continue variety of program offerings to residents of all ages (1 yr-seniors)
  - a. Provide more recreation/fitness programs oriented to adults in evenings
- F. Revisit MaintStar portal from homeowner perspective (user-friendly instructions or different format)

- V. COMMUNITY POLICING TO CREATE PARTNERSHIPS, ENGAGE COMMUNITY, IDENTIFY COMMUNITY CONCERNS AND PROACTIVE SOLUTIONS
  - A. Prioritize outreach and engagement among all officers
  - B. Provide more police presence in the residential neighborhoods
    - 1. Use equipment in field rather than coming back to office
    - 2. Provide more speed enforcement
    - 3. Proactive eBike safety / education, followed by enforcement
  - C. Revive Citizens on Patrol program to expand visibility of department and to supplement engagement
  - D. Reinforce codes during patrols (noise and parking issues) to protect character of residential areas
    - a. Support Code Enforcement during evenings/weekends thru proactive enforcement
    - b. Food Truck – enforce during evenings/weekends
  - E. Revamp Movie Night to indoor event and hold multiple viewings at various locations throughout Village

Topics that were NOT identified:

- I. ENHANCE LITERACY (AND IMPROVE SCHOOL GRADES)
- II. VOTER TURNOUT

# STRENGTHS

- 3.0 Special Events (getting better each time)
- 3.0 Ability to carry out work / Teamwork
- 3.0 Responsive
- 3.0 Community Partnerships
- 3.0 Beautification Efforts
  
- 1.0 Diversity of Staff (long term for institutional knowledge and new for fresh thinking)
- 1.0 Welcoming
- 1.0 Strong knowledge of utility operations
- 1.0 Strong Council support (and Council part of community)
- 1.0 Close-knit culture between team members/departments
- 1.0 Location (Central County, proximity to airports and highways)
- 1.0 Full-service government

# WEAKNESSES

- 3.0 Aging Infrastructure
- 3.0 Technology not best in class for customer interactions
- 3.0 Deficit of active park acreage
- 3.0 Customer Service
- 3.0 Lack of community identity
- 3.0 Communication (internal and external)
- 3.0 Community outreach
- 1.0 Standardized processes (lack of consistency)
  
- .03 Underutilized Boards/Volunteers
- .03 Rate sensitivity
- .01 Employee retention issues
- .01 Depth of bench (team) [ lack of succession planning]
- .01 Lack of community center
- .01 Not knowing Village boundaries
- .01 Workforce risk (inflation / can't afford to live near workplace)
- .01 Limited opportunity for annexation
- .01 More representative (of population) policymakers
- .01 Old Mindset
- .01 Branding
- .01 Apathy (and lack of community buy-in)
- .01 Storage space (internal to VPS operations)
- .01 Village vision not cascaded to frontline
- .01 Lack of strong direction

# OPPORTUNITIES

- 3.0 Bond funding
- 3.0 State/Federal funding
- 3.0 Education and Training
- 3.0 Public communication / transparency
- 3.0 County initiatives / CTMP / CCA Economic Plan
- 3.0 On-line presence
- 3.0 SoVi Redevelopment
- 3.0 On-line payments
- 3.0 Inter-department coordination
- 3.0 Build relationships with business community
- 3.0 Real estate strategy – need to expand
- 3.0 Recruit high-level talent (new perspectives >innovation)
- 3.0 Voter outreach/education
- 1.0 Unify Community
- 1.0 Recording meetings – improve transparency
  
- .03 Employee recognition
- .03 National recognition
- .03 Location
- .01 KPI tracking

# THREATS

- 3.0 State legislation / legislative constraints
- 3.0 Tax base
- 3.0 Cybersecurity
- 3.0 Council turnover (no farm team)
- 3.0 Job market
- 3.0 Natural disasters
- 3.0 Anti-police sentiment
- 3.0 Federal immigration issues
- 3.0 Limited budget
- 3.0 No identifying landmark for community
- 3.0 Regulatory changes
- 3.0 Demographic changes
- 3.0 Affordability
- 3.0 Aging infrastructure
- 1.0 Lack of succession planning (career growth/path)
  
- .03 Stop being afraid of own shadow (of success)
- .01 Privatization

## Guidelines for Strategic Plan Format

### 1) **Focus Areas** based on Council input (no more than 5-6 goals)

No longer than 6 words each

Not too broad

No jargon

No metrics

### 2) **Strategic Objectives** - what we actually want to accomplish

3-6 objectives per Focus Area

Includes a date or timeframe

Organize in order of importance

Keep simple Action + Detail + Deadline

Start with a verb

Add details to make specific

Set date to stay on track of progress

### 3) **Key Results**

Set 1-3 HIGH LEVEL, measurable results per goal/focus area

- don't set overly ambitious results

Next Steps:

Department Initiatives/Projects

KPIs



# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Finance

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**ITEM #5:** Mayor and Council Members Salary Compensation

**SUMMARY:** Ordinance No. 97-05 established the annual compensation for the Mayor and Members of the Village Council, effective March 11, 1997. The ordinance established annual compensation consisting of a salary of \$4,200 for the Mayor and \$3,600 for each Council Member, along with annual expense allowances of \$2,400 for the Mayor and \$1,800 for each Council Member.

Since 1997, these compensation levels have not been adjusted and no longer reflect the responsibilities associated with serving in elected office or the compensation provided by comparable municipalities. The proposed ordinance increases the Mayor's annual salary to \$10,000 and each Council Member's annual salary to \$9,400. In addition, the annual expense allowance would increase to \$5,000 for the Mayor and \$4,400 for each Council Member.

**Note:** Following First Reading, a minor amendment was made to clarify the annual adjustment of the expense allowance. The ordinance now provides that the expense allocation for the Mayor and each Council Member shall be adjusted annually based on the Consumer Price Index (CPI), utilizing data published by the U.S. Bureau of Labor Statistics for the Southern Urban Region, All Urban Consumers. Annual adjustments will be calculated using CPI data available each March and applied at the end of April beginning in 2030. No changes were made to the proposed salary amounts approved at First Reading.

This change is administrative in nature and does not alter the proposed salary amounts or the effective date of the ordinance.

The Village Council approved Ordinance No. 2026-03 on the First Reading at their May 14, 2026, meeting. Ordinance No. 2026-03 is presented to Council for the Second and Final Reading for approval.

**FISCAL IMPACT:**

Current Annual Cost (4 Council members at \$5,400 and 1 Mayor at \$6,600)= \$28,200. Proposed Changes (4 Council members at \$13,800 and 1 Mayor at \$15,000)=\$70,200. This would result in an annual increase of \$42,000.

**ATTACHMENTS:**

1. Proposed Ordinance No. 2026-03 Mayor and Council Compensation 5.28.2026
2. Council Compensation Ordinance 2026-03 5.4.2026
3. Elected Officials Salary Study
4. Ordinance 1997-05



**ORDINANCE NO. 2026-03**

**AN ORDINANCE OF THE VILLAGE OF PALM SPRINGS, FLORIDA, AMENDING THE COMPENSATION OF THE MAYOR AND COUNCILMEMBERS UPON EXPIRATION OF ALL CURRENT TERMS OF OFFICE; AND, PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES, SEVERABILITY, AND AN EFFECTIVE DATE.**

**WHEREAS**, pursuant to Section 3.04 of the Village of Palm Springs Charter, the Village Council may determine the annual salary of the councilmembers and the mayor by ordinance, but no ordinance increasing such salary shall become effective until all terms of those currently in office have expired; and

**WHEREAS**, the Village Council has not increased the salary of the councilmembers and the mayor since 1997; and

**WHEREAS**, as part of their increasing duties as elected officials of the Village of Palm Springs, the Village councilmembers and mayor prepare for, attend, and participate in the Village's and its boards' and committees' meetings and events; the Palm Springs Community Redevelopment Agency meetings and events; Palm Beach County's meetings and events; Palm Beach County League of Cities' meetings and events; Florida League of Cities meetings and events; and, other state, federal, and local meetings and events;

**WHEREAS**, in addition, as part of their increasing duties as elected officials, the Village councilmembers and mayor prepare for and meet with Village staff, residents, citizens, and members of the Florida Legislature on a variety of issues affecting the Village, Palm Beach County and the State of Florida; and

**WHEREAS**, the Village councilmembers and mayor in the performance of these and other duties educate themselves and others on a variety of issues which enable the Council to make well-informed decisions and enrich the Village of Palm Springs for its residents, citizens, staff, and guests; and

**WHEREAS**, in recognition of the aforementioned increasing duties and to potentially attract others to run for elected office in the Village, the Village Council desires to increase its salary to an amount that reasonably compensates future councilmembers and the mayor for their time and efforts, which increase shall equate to \$13,800 per year for the councilmembers and \$15,000 per year for the mayor, which amounts include related expenses of \$4,400 per year for each councilmember and \$5,000 per year for the mayor; and

**WHEREAS**, in recognition of the likelihood of further increases to the cost of expenses, an annual adjustment in the expense amount for the Mayor and each councilmember shall be included based on the Consumer Price Index (CPI); and

**WHEREAS**, consistent with the Village Charter, the foregoing increase in the Village Council salary shall not be effective after the General Election of March 2029, which is the date after all terms of those currently in office have expired; and

**WHEREAS**, the Village Council finds that the adoption of this Ordinance serves a valid public purpose.

**NOW THEREFORE, BE IT ORDAINED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:**

**Section 1. Recitals.** The foregoing recitals are incorporated herein as true and correct findings and statements of the Village Council of the Village of Palm Springs.

**Section 2. Amendment.** Commencing on the first payroll of April 2029 after the March election, the salary of the Village Council is as follows:

- (a) The mayor shall receive an annual salary of \$15,000, which shall be paid in equal monthly installments inclusive of \$5,000 in related expenses.
- (b) The council members shall receive an annual salary of \$13,800, which shall be paid in equal monthly installments inclusive of \$4,400 in related expenses.
- (c) The related expense allocation for the Mayor and each councilmember shall be increased annually by a percentage that reflects the annual increase in the Consumer Price Index (CPI). The source for determining the CPI shall be the data provided by the Bureau of Labor Statistics for the Southern Urban Region, All Urban Consumers. Annual adjustments shall be based on CPI data available for the month of March in each year following 2029 and shall be adjusted at the end of April each year starting 2030.

**Section 3. Repeal of Conflicting Ordinances.** All ordinances, resolutions, or parts of ordinances and resolutions in conflict herewith are hereby repealed.

**Section 4. Severability.** If any word, clause, sentence, paragraph, section or part thereof contained in this Ordinance is declared to be unconstitutional, unenforceable, void or inoperative by a court of competent jurisdiction, such declaration shall not affect the validity of the remainder of this Ordinance.

**Section 5. Effective Date.** This Ordinance shall become effective upon adoption; however the salary set forth herein shall not be paid until April 2029.

Council Member \_\_\_\_\_, offered the foregoing Ordinance, and moved its adoption. The motion was seconded by Council Member \_\_\_\_\_, and upon being put to a vote, the vote was as follows:

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>
BEV SMITH, MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PATTI WALLER, VICE MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOHNNIE TIECHE, MAYOR PRO TEM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

GARY READY, COUNCIL MEMBER

KIM SCHMITZ, COUNCIL MEMBER

The Mayor thereupon declared this Ordinance approved and adopted by the Village Council of the Village of Palm Springs, Florida, on second reading, on this day of 11th June 2026.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: \_\_\_\_\_  
BEV SMITH, MAYOR

First Reading: \_\_\_\_\_

Second Reading: \_\_\_\_\_

ATTEST:

BY: \_\_\_\_\_  
KIMBERLY M. WYNN, VILLAGE CLERK

REVIEWED FOR LEGAL FORM AND SUFFICIENCY

BY: \_\_\_\_\_  
CHRISTY GODDEAU, VILLAGE ATTORNEY

## ORDINANCE NO. 2026-03

### **AN ORDINANCE OF THE VILLAGE OF PALM SPRINGS, FLORIDA, AMENDING THE COMPENSATION OF THE MAYOR AND COUNCILMEMBERS UPON EXPIRATION OF ALL CURRENT TERMS OF OFFICE; AND, PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES, SEVERABILITY, AND AN EFFECTIVE DATE.**

**WHEREAS**, pursuant to Section 3.04 of the Village of Palm Springs Charter, the Village Council may determine the annual salary of the councilmembers and the mayor by ordinance, but no ordinance increasing such salary shall become effective until all terms of those currently in office have expired; and

**WHEREAS**, the Village Council has not increased the salary of the councilmembers and the mayor since 1997; and

**WHEREAS**, as part of their increasing duties as elected officials of the Village of Palm Springs, the Village councilmembers and mayor prepare for, attend, and participate in the Village's and its boards' and committees' meetings and events; the Palm Springs Community Redevelopment Agency meetings and events; Palm Beach County's meetings and events; Palm Beach County League of Cities' meetings and events; Florida League of Cities meetings and events; and, other state, federal, and local meetings and events;

**WHEREAS**, in addition, as part of their increasing duties as elected officials, the Village councilmembers and mayor prepare for and meet with Village staff, residents, citizens, and members of the Florida Legislature on a variety of issues affecting the Village, Palm Beach County and the State of Florida; and

**WHEREAS**, the Village councilmembers and mayor in the performance of these and other duties educate themselves and others on a variety of issues which enable the Council to make well-informed decisions and enrich the Village of Palm Springs for its residents, citizens, staff, and guests; and

**WHEREAS**, in recognition of the aforementioned increasing duties and to potentially attract others to run for elected office in the Village, the Village Council desires to increase its salary to an amount that reasonably compensates future councilmembers and the mayor for their time and efforts, which increase shall equate to \$9,400 per year for the councilmembers and \$10,000 per year for the mayor, plus "expenses" of \$4,400 per year for each Council Member and \$5,000 per year for the Mayor; and

**WHEREAS**, consistent with the Village Charter, the foregoing increase in the Village Council salary shall not be effective after the General Election of March 2027, which is the date after all terms of those currently in office have expired; and

**WHEREAS**, the Village Council finds that the adoption of this Ordinance serves a valid public purpose.

**NOW THEREFORE, BE IT ORDAINED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:**

**Section 1. Recitals.** The foregoing recitals are incorporated herein as true and correct findings and statements of the Village Council of the Village of Palm Springs.

**Section 2. Amendment.** Commencing on the first payroll of April 2029 after the March election, the salary of the Village Council is as follows:

- (a) The mayor shall receive an annual salary of \$15,000, which shall be paid in equal monthly installments.
- (b) The remaining councilmembers shall receive an annual salary of \$13,800, which shall be paid in equal monthly installments.

**Section 3. Repeal of Conflicting Ordinances.** All ordinances, resolutions, or parts of ordinances and resolutions in conflict herewith are hereby repealed.

**Section 4. Severability.** If any word, clause, sentence, paragraph, section or part thereof contained in this Ordinance is declared to be unconstitutional, unenforceable, void or inoperative by a court of competent jurisdiction, such declaration shall not affect the validity of the remainder of this Ordinance.

**Section 5. Effective Date.** This Ordinance shall become effective upon adoption; however, the salary set forth herein shall not be paid until April 2029.

Council Member \_\_\_\_\_, offered the foregoing Ordinance and moved its adoption. The motion was seconded by Council Member \_\_\_\_\_, and upon being put to a vote, the vote was as follows:

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>
BEV SMITH, MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PATTI WALLER, VICE MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOHNNIE TIECHE, MAYOR PRO TEM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GARY READY, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KIMBERLY SCHMITZ, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The Mayor thereupon declared this Ordinance approved and adopted by the Village Council of the Village of Palm Springs, Florida, on second reading, this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: \_\_\_\_\_  
BEVERLY SMITH, MAYOR

First Reading \_\_\_\_\_  
Second Reading \_\_\_\_\_

ATTEST:

BY: \_\_\_\_\_  
KIMBERLY M. WYNN, VILLAGE CLERK

REVIEWED FOR LEGAL FORM AND SUFFICIENCY

BY: \_\_\_\_\_  
CHRISTY GODDEAU, VILLAGE ATTORNEY

	VPS	Village of North Palm Beach	Greenacres	Lantana	Dania Beach	Boca Raton	Lake Worth Beach	Juno Beach	Jupiter	Palm Beach Gardens	City of Venice	Village of Wellington	Proposed VPS
<b>Mayor</b>	\$ 4,200.00	\$ 16,200.00	\$ 16,125.00	\$ 10,800.00	\$ 53,240.00	\$ 38,000.00	\$ 29,500.00	\$ 8,400.00	\$ 22,000.00	\$ 38,798.00	\$ 23,009.00	\$ 3,600.00	\$ 10,000.00
<b>Mayor Stipend</b>	\$ 2,400.00			\$ 3,600.00								\$ 6,000.00	\$ 5,000.00
	\$ 6,600.00	\$ 16,200.00	\$ 16,125.00	\$ 14,400.00	\$ 53,240.00	\$ 38,000.00	\$ 29,500.00	\$ 8,400.00	\$ 22,000.00	\$ 38,798.00	\$ 23,009.00	\$ 9,600.00	\$ 15,000.00
<b>Council</b>	\$ 3,600.00	\$ 13,500.00	\$ 15,271.00	\$ 7,200.00	\$ 50,506.00	\$ 28,000.00	\$ 24,500.00	\$ 8,400.00	\$ 18,600.00	\$ 36,453.00	\$ 21,809.00	\$ 3,600.00	\$ 9,400.00
<b>Council Stipend</b>	\$ 1,800.00			\$ 2,400.00								\$ 6,000.00	\$ 4,400.00
	\$ 5,400.00	\$ 13,500.00	\$ 15,271.00	\$ 9,600.00	\$ 50,506.00	\$ 28,000.00	\$ 24,500.00	\$ 8,400.00	\$ 18,600.00	\$ 36,453.00	\$ 21,809.00	\$ 9,600.00	\$ 13,800.00

**ORDINANCE NO. 97-05**

AN ORDINANCE OF THE VILLAGE OF PALM SPRINGS, FLORIDA, ESTABLISHING AND REESTABLISHING COMPENSATION FOR THE MAYOR AND MEMBERS OF THE VILLAGE COUNCIL INCLUDING THE REALLOCATION OF SALARIES AND EXPENSE PAYMENTS BUT NOT ALTERING THE TOTAL AMOUNTS TO BE PAID THEREFOR; MEMORIALIZING AND AFFIRMING THE ACTIONS OF PRIOR VILLAGE COUNCILS; PROVIDING FOR REPEAL OF ALL ORDINANCES IN CONFLICT AND SPECIFICALLY REPEALING ORDINANCE 86-02, IN PART; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Village Council adopted Ordinance No. 86-02 which provided in part that effective March, 1989, the salary of the Mayor was set at \$350.00 per month and Village Council Members at \$300.00 per month; and

WHEREAS, in addition to such salary and upon adoption of Ordinance No. 87-03 the Village Council provided that the Mayor receive a payment of \$200.00 per month and Village Council Members receive a payment of \$150.00 per month for expenses incurred as members of the Village Council; and

WHEREAS, for tax years prior to 1991, the Mayor and Village Council Members would receive an Internal Revenue Service (IRS) Form W-2 (Wage Income) for salary, and an IRS Form 1099 (Miscellaneous Income) for expense funds; and

WHEREAS, on or about June, 1991, Ernst & Young, Certified Public Accountants, as independent auditors for the Village, rendered a written opinion indicating that the payment of salary and expense monies must be considered "wages reportable on Form W-2", as the same may be defined by, or used in the Federal Internal Revenue Code; and

WHEREAS, for tax year 1991, and all years since, the Village government has made this technical correction by issuing IRS Form W-2s to each of the Mayor and Village Council Members, indicating the total for both salary and expenses as taxable wages; and

**Ordinance No. 97-05**

WHEREAS, during the period March, 1989 through February, 1997, the Mayor and Village Council continued to receive both salary and expense as reportable income; and

WHEREAS, the Village Charter, at Section 3.04 provides, in part, that "The Council may determine the annual salary of Council Members and Mayor by Ordinance..."; and

WHEREAS, following the opinion of the independent auditors, the "annual salary" of the Mayor and Village Council Members should be clarified by Ordinance to reflect the addition of the "expense" amount as salary for the Mayor and Council Members to accurately reflect the characterization of this total compensation;

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA, AS FOLLOWS:

SECTION 1. All of the recitations contained above are true and correct, and are adopted herein as a memorialization of the facts recited.

SECTION 2. The total compensation of the Mayor and Village Council, including "salary" of \$4,200.00 per year for the Mayor and \$3,600.00 per year for the Council Members, plus "expenses" of \$2,400.00 per year for the Mayor, and \$1,800.00 per year for each Council Member is hereby approved as "annual salary" as same is used in Section 3.04, Village Charter, and such approval hereby affirms all applicable taxable wages of the Mayor, and all prior or current Village Council Members, effective *nunc pro tunc*, on the date each member assumed office.

SECTION 3. Effective after the Village General Election of March 11, 1997, and consistent with the same amounts approved in 1986 and 1987 all duly elected or appointed Mayors shall receive

**Ordinance No. 97-05**

the total annual salary of \$6,600.00, payable in monthly installments of \$550.00; and Village Council Members shall receive the total annual salary of \$5,400.00, payable in monthly installments of \$450.00.

SECTION 4. Repeal of Conflicting Ordinances. All ordinances, resolutions or parts of ordinances and resolutions in conflict herewith are hereby repealed; specifically, this ordinance shall repeal the salary provisions of Ordinance No. 86-02, adopted on August 14, 1986, and the Council expense provisions of Ordinance No. 87-03 adopted September 24, 1987.

SECTION 5. Severability. If any word, clause, sentence, paragraph, section or part thereof contained in this Ordinance is declared to be unconstitutional, unenforceable, void or inoperative by a court of competent jurisdiction, such declaration shall not affect the validity of the remainder of this Ordinance.

SECTION 6. Effective Date. This Ordinance shall become effective immediately upon adoption.

Council Member Osborne, offered the foregoing Ordinance, and moved its adoption. The motion was seconded by Council Member Davis, and upon being put to a vote, the vote was as follows:

RICHARD H. JETTE, MAYOR	<u>Aye</u>
JOHN M. DAVIS, VICE MAYOR	<u>Aye</u>
JULIUS LEVINE, MAYOR PRO TEM	<u>Aye</u>
CHESTER D. OSBORNE, COUNCIL MEMBER	<u>Aye</u>
KARON B. SHODA, COUNCIL MEMBER	<u>Absent</u>

The Mayor thereupon declared this Ordinance approved and adopted by the Village Council

**Ordinance No. 97-05**

of the Village of Palm Springs, Florida, on second reading, the 27<sup>th</sup> day of February,  
1997.

VILLAGE OF PALM SPRINGS, FLORIDA

ATTEST:

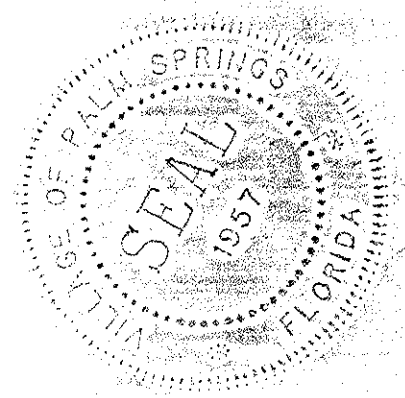
*Irene T. Burroughs*  
Village Clerk

BY:

*Richard H. Jette*  
RICHARD H. JETTE, Mayor

Reviewed for Legal Form

*Paul J. Nicoletti*  
Paul J. Nicoletti  
Village Attorney





# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Public Works

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**ITEM #6:** Resolution No. 2026-15 - Preliminary Garbage Non Ad-Valorem Assessment Rates - FY 2027

**SUMMARY:** The Village Council is requested to approve Resolution No. 2026-15 establishing the preliminary Non-Ad Valorem Assessment rates for residential garbage, trash, and recycling services for Fiscal Year 2026-2027. These assessments are collected through the annual Palm Beach County property tax bill and help fund the Village's residential solid waste program.

The proposed annual assessment rates are:

<b><u>Residential Type</u></b>	<b><u>Assessment</u></b>
Single-Family Home	\$225
Multi-Family Unit	\$140
Mobile Home	\$140

The Village has collected residential solid waste assessments through the Palm Beach County Non-Ad Valorem Assessment Program since 2008. Approval of this resolution is required annually to continue the program and place the assessment on the annual tax bill. The proposed rates are based on the cost of providing garbage, trash, and recycling services to Village residents.

**FISCAL IMPACT:**

The projected total annual revenue that the Village would assess is expected to be approximately \$1,605,250 (which is at a 96% collection rate).

**ATTACHMENTS:**

1. Resolution No. 2026-15 Preliminary NAV Rates FY26-27
2. Garbage\_DR-408A

**RESOLUTION NO. 2026-15**

**A RESOLUTION OF THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA, ADOPTING THE PRELIMINARY NON-AD VALOREM ASSESSMENT ROLL FOR FISCAL YEAR 2026-2027 TO ESTABLISH A UNIFORM METHOD FOR COLLECTING A NON-AD VALOREM ASSESSMENT FOR GARBAGE, TRASH, AND RECYCLING COLLECTION SERVICES, AS WELL AS RELATED SERVICES, ON THE PALM BEACH COUNTY TAX NOTICES; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Village of Palm Springs previously adopted Resolution No. 2008-17 on February 14, 2008, stating the intent of the Village to use the Uniform Method of Collecting a Non-Ad Valorem Assessment for garbage, trash and recyclables collection services and other related services for all parcels within the incorporated boundaries of the Village and to include all future annexation of properties into the future during the effective time of the resolution; and

**WHEREAS**, Resolution No. 2026-15 adopts a preliminary non-ad valorem assessment roll for the fiscal year 2026-2027; and

**WHEREAS**, the Village Council has determined to consider a preliminary non-ad valorem assessment roll for fiscal year 2026-2027, on all parcels within the incorporated municipal boundaries of the Village of Palm Springs, including all parcels of land annexed into the Village from the boundaries set at the time of Resolution No. 2008-17 into the future during the effective term of the resolution.

**NOW THEREFORE, BE IT RESOLVED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:**

**Section 1.** The foregoing recitals are hereby affirmed and ratified as being true and correct.

**Section 2.** The Preliminary Non-Ad Valorem Assessment rates per computed parcels for the Village of Palm Springs for purposes of TRIM for the Fiscal Year 2026 - 2027 are hereby adopted as follows:

Single Family Homes	\$225
Multi-Family Homes	\$140
Mobile Homes	\$140

**Section 3.** This Resolution shall take effect immediately upon adoption.

Council Member \_\_\_\_\_ offered the foregoing resolution. Council Member \_\_\_\_\_ seconded the motion, and upon being put to a vote, the vote was as follows:

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>
BEV SMITH, MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PATTI WALLER, VICE MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOHNNIE TIECHE, MAYOR PRO TEM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GARY READY, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KIM SCHMITZ, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The Mayor thereupon declared this Resolution duly passed and adopted this 11<sup>th</sup> day of June 2026.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: \_\_\_\_\_  
BEV SMITH, MAYOR

ATTEST:

BY: \_\_\_\_\_  
KIMBERLY WYNN, VILLAGE CLERK

REVIEWED FOR FORM AND LEGAL SUFFICIENCY

BY: \_\_\_\_\_  
CHRISTY GODDEAU, VILLAGE ATTORNEY



Print Form

DR-408A  
N. 02/91

## CERTIFICATE TO NON-AD VALOREM ASSESSMENT ROLL

I, the undersigned, hereby certify that I am the Chairman of the Board, or authorized agent of Village of Palm Springs, located in Palm Beach County, Florida; as such, I have satisfied myself that all property included or includable on the Non-Ad Valorem Assessment Roll for the aforesaid county is properly assessed so far as I have been able to ascertain; and that all required extensions on the above described roll to show the non-ad valorem assessments attributable to the property listed therein have been made pursuant to law.

I further certify that, upon completion of this certificate and the attachment of same to the herein described Non-Ad Valorem Assessment Roll as part thereof, said Non-Ad Valorem Assessment Roll will be delivered to the Tax Collector of this county.

In witness whereof, I have subscribed this certificate and caused the same to be attached to and made a part of the above described Non-Ad Valorem Assessment Roll this the 11th day of June, 2026 year.

\_\_\_\_\_  
Chairman of the Board or authorized agent  
of \_\_\_\_\_  
Name of local government  
\_\_\_\_\_ County, Florida



# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Public Works

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**ITEM #7:** Resolution 2026-16 - Stormwater Non Ad-Valorem Assessment Rates - FY 2027

**SUMMARY:** The proposed Resolution sets the preliminary Non Ad-Valorem assessment roll rates for the Fiscal Year 2027 and provides a uniform method for collecting this assessment for the stormwater management services within the Village on the Palm Beach County Tax Notices.

The proposed rates for FY 26-27 will be the same as last year:

	<b>Annual Rate</b>
Single Family Residential Condominiums	\$48
Multifamily	\$48
Commercial (Under 2 ESU's)	\$48
Commercial (2 to 4.99)	\$96
Commercial (5 to 9.99 ESU's)	\$180
Commercial (10 ESU's and above)	\$240

The Village Council originally established the uniform method for collecting and funding the Village's stormwater management services and projects in July 2016 (Resolution No. 2016-51). The approved Resolution included all parcels within the incorporated municipal boundaries of the Village of Palm Springs at that time, as well as all parcels subsequently annexed into the Village.

The proposed fees and all related data will be submitted to the PBC Property Appraiser's Office and the PBC Information Systems Services department, which provides billing services for the Village.

**FISCAL IMPACT:**

The proposed FY 2027 rates are the same as last year's rates.

**ATTACHMENTS:**

1. Resolution No. 2026-16 Approval of Non-Valorem Stormwater
2. Stormwater\_DR-408A

**RESOLUTION NO. 2026-16**

**A RESOLUTION OF THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA, ESTABLISHING USER RATES FOR STORMWATER MANAGEMENT ASSESSMENTS FOR EACH PARCEL WITHIN THE BENEFITTED AREA, OTHER THAN NON-ASSESSED PROPERTY; PROVIDING FOR A PUBLIC HEARING; PROVIDING FOR THE PRELIMINARY HEARING OF THE STORMWATER ASSESSMENT ROLL; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Village Council of the Village of Palm Springs, Florida, did, on July 9, 2015, adopt Ordinance No. 2015-27, which provides for the creation and establishment of a Village-wide Stormwater Management System; and

**WHEREAS**, the Village Council of the Village of Palm Springs did, on December 10, 2015, adopt Ordinance No. 2015-43 which amended Chapter 78 of the Code of Ordinances of the Village of Palm Springs to provide for the method of establishing and collecting Stormwater Management Assessments; and

**WHEREAS**, the statutory authority for the creation and implementation of Ordinance No. 2015-27, as amended, is predicated on Article VIII, Section 2(b) of the Florida Constitution; Chapter 166, Florida Statutes, as amended and supplemented; Section 403.0893, Florida Statutes, as amended and supplemented; Chapter 197, Florida Statutes, as amended and supplemented; and other applicable provisions of law; and

**WHEREAS**, the Village Council of the Village of Palm Springs did, on December 10, 2015, adopt Resolution No. 2015-90 stating the intent to use the uniform method of collecting a non-ad valorem assessment for stormwater utility fees; and

**WHEREAS**, the Village Council of the Village of Palm Springs has found that owners, tenants, and occupants of property within the geographical boundaries of the Village will derive a special benefit from the effective management of stormwater and other surface water and from the operation, maintenance, and expansion of the stormwater management system; and

**WHEREAS**, Chapter 78 of the Code of Ordinances of the Village of Palm Springs establishes that the rate for stormwater management assessments for each parcel within the benefited area, other than with respect to non-assessed property, shall be established each year by resolution of the Village Council; and

**WHEREAS**, billing and collection of the stormwater management assessment shall be accomplished utilizing the uniform method of collection; and

**WHEREAS**, a rate for stormwater management assessments for the various classes of property (other than non-assessed property) within the benefited area has been calculated as provided in the “Stormwater Study for Justification of Interim Fees”, (previously adopted by the Village Council at its July 9, 2015 meeting) and as further set forth in Section 2 of this resolution; and

**WHEREAS**, a public hearing on this resolution setting the rates for the purposes of adopting and certifying a stormwater assessment roll is duly noticed; and

**WHEREAS**, the Village, upon adoption of the rates, shall review the stormwater assessment roll to determine its conformity with the proposed rate resolution and, if, upon the completion of such review the Village shall be satisfied that the Stormwater Management Assessment Roll has been prepared in conformity with the proposed rate resolution, it shall adopt said resolution and ratify and confirm the Stormwater Management Assessment Roll and certify that the Stormwater Management Assessment Roll is correct and proper and is to be used in collecting the stormwater management assessments. Thereafter, if no objections are made by persons affected by the assessment roll at the public hearing or if objections have been made are deemed insufficient by the Village Council, shall thereupon adopt the assessments as shown by the Assessment Roll; and

**WHEREAS**, the owner of each parcel within the benefited area for which a stormwater assessment is levied shall thereafter be responsible for payment, therefore.

**NOW THEREFORE, BE IT RESOLVED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:**

**Section 1.** The foregoing recitals are hereby affirmed and ratified as being true and correct.

**Section 2.** That the Village Council does hereby adopt, after public hearing, the preliminary rates as previously set forth which are as follows:

Single Residential Family and Condominiums	\$ 48.00 per year
Multi-Family Units	\$ 48.00 per year
Commercial (under 2 ESU's)	\$ 48.00 per year
Commercial (2 to 4.99 ESU's)	\$ 96.00 per year
Commercial (5 to 9.99 ESU's)	\$ 180.00 per year
Commercial (10 ESU's and above)	\$ 240.00 per year

**Section 3.** This Resolution shall take effect immediately upon adoption.

Council Member \_\_\_\_\_ offered the foregoing resolution. Council Member \_\_\_\_\_ seconded the motion, and upon being put to a vote, the vote was as follows:

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>
BEV SMITH, MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PATTI WALLER, VICE MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOHNNIE TIECHE, MAYOR PRO TEM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GARY READY, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KIM SCHMITZ, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The Mayor thereupon declared this Resolution duly passed and adopted this 11<sup>th</sup> day of June 2026.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: \_\_\_\_\_  
BEV SMITH, MAYOR

ATTEST:

BY: \_\_\_\_\_  
KIMBERLY M. WYNN, VILLAGE CLERK

REVIEWED FOR FORM AND LEGAL SUFFICIENCY

BY: \_\_\_\_\_  
CHRISTY GODDEAU, VILLAGE ATTORNEY



Print Form

DR-408A  
N. 02/91

**CERTIFICATE TO  
NON-AD VALOREM ASSESSMENT ROLL**

I, the undersigned, hereby certify that I am the Chairman of the Board, or authorized agent of Village of Palm Springs, located in Palm Beach County, Florida; as such, I have satisfied myself that all property included or includable on the Non-Ad Valorem Assessment Roll for the aforesaid county is properly assessed so far as I have been able to ascertain; and that all required extensions on the above described roll to show the non-ad valorem assessments attributable to the property listed therein have been made pursuant to law.

I further certify that, upon completion of this certificate and the attachment of same to the herein described Non-Ad Valorem Assessment Roll as part thereof, said Non-Ad Valorem Assessment Roll will be delivered to the Tax Collector of this county.

In witness whereof, I have subscribed this certificate and caused the same to be attached to and made a part of the above described Non-Ad Valorem Assessment Roll this the 11th day of June, 2026 year.

\_\_\_\_\_  
Chairman of the Board or authorized agent  
of \_\_\_\_\_  
Name of local government  
\_\_\_\_\_ County, Florida



# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Planning, Zoning & Building

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**ITEM #8:** Site Plan Amendment (SPR26-05) and Special Exception Use (PSSE26-05) — 4210 Lake Worth Road — Ministerio Internacional Jesus El Salvador Lake Worth

**SUMMARY:** An application submitted by Walfren Paredes, agent for Ministerio Internacional Jesus El Salvador Lake Worth “Tenant and Applicant,” is requesting a Site Plan Amendment (**SPR26-05**) and Special Exception Use (**PSSE26-05**) to allow a 5,500 square feet place of worship within a tenant bay in the existing Commercial General shopping center property located at 4210 Lake Worth Road.

Note: The 4.25-acre property was annexed into the village in 2014 as a developed parcel with a total of 40,240 square feet of building area within two (2) commercial structures.

The project will occupy an existing commercial tenant space and is not proposing any exterior modifications or changes to the site layout. The place of worship will have a maximum of 150 seats and will operate primarily during evenings and weekends, minimizing any potential impact on traffic and parking demand within the commercial plaza. The church’s hours of operation will be limited to Thursday at 7:30 pm and Sundays at 5:00 pm.

The proposed special exception use does not significantly reduce light and air to adjacent properties and would not be a deterrent to surrounding properties. The new project does not negatively impact natural systems.

The Planning & Zoning Board considered this item during their May 12, 2026, meeting and recommended approval.

The Planning, Zoning & Building Staff does not object to the applicant's request and recommends conditional approval.

**FISCAL IMPACT:**

The proposed request does not have any immediate fiscal impact on the Village since the church is tax-exempt.

**ATTACHMENTS:**

1. Proposed Resolution No. 2026-14
2. Exhibit A -Staff Report
3. Narrative - Special Exception & CRA
4. Exhibit B - Site Plan & Life Safety Plan

**RESOLUTION NO. 2026-14**

**A RESOLUTION OF THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRING-S, FLORIDA, APPROVING A SITE PLAN AMENDMENT (SPR26-05) AND SPECIAL EXCEPTION USE (PSSE26-05) FOR MINISTERIO INTERNACIONAL JESUS EL SALVADOR LAKE WORTH, LOCATED AT 4210 LAKE WORTH ROAD; PROVIDING FOR INCORPORATION OF EXHIBITS; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Ministerio Internacional Jesús El Salvador Lake Worth, through its agent, Walfren Paredes ("Applicant"), submitted applications for a Site Plan Amendment (SPR26-05) and Special Exception Use (PSSE26-05) to permit the operation of a place of worship within an existing 5,500-square-foot tenant space located within the commercial shopping center at 4210 Lake Worth Road, Palm Springs, Florida; and

**WHEREAS**, the subject property consists of approximately 4.25 acres and is identified by Parcel Control Number 70-42-44-25-00-000-1030; and

**WHEREAS**, the property is designated Commercial under the Future Land Use Map and zoned Commercial General (CG); and

**WHEREAS**, the proposed use consists of a place of worship with a maximum occupancy of 150 seats within an existing tenant bay and does not include any exterior modifications to the site or structures; and

**WHEREAS**, the Village Planning, Zoning and Building Department reviewed the application and determined that the proposed Site Plan Amendment and Special Exception Use are consistent with the Village Comprehensive Plan and applicable provisions of the Village Code; and

**WHEREAS**, the Planning and Zoning Board conducted a duly noticed public hearing on May 12, 2026, and recommended approval of the applications; and

**WHEREAS**, the Village Council conducted a public hearing on June 11, 2026, and considered the application, staff report, public testimony, and recommendation of the Planning and Zoning Board; and

Resolution No. 2026-14 – Ministerio Internacional 4210 LW Rd (SPR26-005 and PSSE26-05)

**WHEREAS**, the Village Council finds that the proposed use is compatible with surrounding land uses, adequately served by existing infrastructure and parking facilities, and satisfies the criteria for approval of a Special Exception Use and Site Plan Amendment subject to the conditions set forth the Village Planning, Zoning and Building Staff Report.

**NOW, THEREFORE, BE RESOLVED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:**

**Section 1.** The foregoing recitals are hereby ratified and incorporated herein as legislative findings of the Village Council.

**Section 2.** Subject to the conditions set forth in the Planning, Zoning and Building Staff Report, the Village Council hereby approves Site Plan Amendment Application SPR26-05 and Special Exception Use Application PSSE26-05 to allow a place of worship within an existing 5,500-square-foot tenant space located at 4210 Lake Worth Road, Palm Springs, Florida, as generally depicted in the application materials which are attached hereto and incorporated herein as **Exhibit "A" (Site Plan and Life Safety Plan)** and **Exhibit "B" (Planning, Zoning and Building Staff Report)**.

**Section 3.** All resolutions or parts of resolutions in conflict herewith are repealed to the extent of such conflict.

**Section 4.** If any section, sentence, clause, phrase, or provision of this Resolution is held invalid or unconstitutional by a court of competent jurisdiction, such invalidity shall not affect the remaining portions of this Resolution.

**Section 5.** This Resolution shall become effective immediately upon adoption.

Council Member \_\_\_\_\_ offered the foregoing resolution Council Member \_\_\_\_\_ seconded the motion, and being put to a vote, the vote was as follows:

Resolution No. 2026-14 – Ministerio Internacional 4210 LW Rd (SPR26-005 and PSSE26-05)

Aye Nay Absent

BEV SMITH, MAYOR

PATTI WALLER, VICE MAYOR

JOHNNIE TIECHE, MAYOR PRO TEM

GARY READY, COUNCIL MEMBER

KIM SCHMITZ, COUNCIL MEMBER

The Mayor thereupon declared this Resolution duly passed and adopted this 11th day of June 2026.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: \_\_\_\_\_  
BEV SMITH, MAYOR

ATTEST:

BY: \_\_\_\_\_  
KIMBERLY WYNN, VILLAGE CLERK

REVIEWED FOR FORM AND LEGAL SUFFICIENCY

BY: \_\_\_\_\_  
CHRISTY GODDEAU, VILLAGE ATTORNEY



## PLANNING, ZONING & BUILDING STAFF REPORT

**SUBJECT:** Ministerio Internacional, Jesús El Salvador Lake Worth - Site Plan Amendment and Special Exception Use

### Application Summary

<b>Applicant / Petitioner</b>	Walfren Paredes (Tenant)	<b>Submittal Date</b>	02/03/2026
<b>Reference Name</b>	Ministerio Internacional Jesús El Salvador Lake Worth	<b>Case Numbers</b>	<b>SPR26-05, PSSE26-05</b>
		<b>Parcel Control No</b>	70-42-44-25-00-000-1030
<b>Location</b>	4210 Lake Worth Rd	<b>Site Area</b>	± 4.25 acres
<b>P&amp;Z Meeting</b>	May 12, 2026	<b>Council Meeting</b>	June 11, 2026

### Requests

<b>Proposed Uses</b>	Site Plan Amendment and concurrent Special Exception Use request to allow a place of worship to operate within 5,500 square feet of the existing 40,240 square feet commercial building located at 4236 Lake Worth Road.
<b>Number of Buildings</b>	Two (2) detached commercial buildings. Tenant will occupy one tenant bay (5,500 square feet) within 1 building.

### Parking

Code	Required	Provided	Meets Requirement
<b>Total Vehicular Parking</b>	1/ 3 seats @ 150 seats = 50 spaces or 1 / 100 sf = <b>55 spaces</b>	237 spaces for the entire plaza	Yes

### Setbacks

Code	Required Minimum	Existing	Meets Requirement
<b>Front (North)</b>	50'	59.6'	Yes
<b>Rear (South)</b>	20'	34.3'	Yes
<b>Side (West)</b>	15'	28.9'	Yes
<b>Side (East)</b>	15'	54'	Yes

### Site Characteristics

<b>Existing Use</b>	Empty bay	<b>Proposed Use</b>	Place of Assembly - Church
<b>Zoning</b>	Commercial General (CG)	<b>Existing Future Land Use</b>	Commercial

### Surrounding Existing Land Use, Future Land Use, and Zoning

Direction	Existing Use	Future Land Use	Zoning District
North	Home Depot (Retail Store)	Commercial	Commercial General (CG)
South	Canal L-12, LW Drainage District	Unincorporated PBC	Unincorporated PBC
East	Personal Services, Single-Family Residences	Unincorporated PBC	Unincorporated PBC (UI, MR-5)
West	Multi-Family Residences, Vacant Commercial	Unincorporated PBC	Unincorporated PBC (UI, MR-5)

### Recommendation

Planning, Zoning & Building Staff recommends conditional approval of the conversion of the existing 5,500 sf commercial general space into a place of worship, as depicted on the proposed site plan, based on consistency with the Village Comprehensive Plan and compatibility with surrounding uses.



## I. Site History

- **Ordinance 2014-31: Annexation**

On December 11, 2014, the property at 4236 Lake Worth Road was involuntarily annexed into the Village of Palm Springs along with thirty-two (32) other commercial and residential parcels. The parcel at 4236 Lake Worth Road was annexed with a Future Land Use Designation of Commercial and a Zoning Designation of Commercial General (CG).

- **Administrative Site Plan Amendment # 202200051**

On January 26, 2022, the Land Development Director issued conditional approval of the administrative site plan amendment for the proposed exterior remodeling work proposed for 4236 Lake Worth Road. The proposed work involves minor modifications to the exterior façade of the building, including a built-up roof, new stucco, new back-light decorative grill, awning, and canopy additions, and architectural tile additions to the walls.

- **Resolution No.2022-45: Site Plan amendment and Special Exception Use**

On November 10, 2022, the Village Council approved a site plan amendment, concurrently with a special exception use, to allow a 5,495 SF child day care facility to provide care for children with medical or skilled nursing needs.

## **II. Comprehensive Plan Consistency**

The subject property's Zoning and Future Land Use designations are Commercial and Commercial General (CG), respectively. The proposed special exception use for a church is consistent with the goals, objectives, and policies of the Village's Comprehensive Plan.

## **II. Neighborhood Compatibility**

- 1) The proposed project is located on the south side of Lake Worth Road near the southeast corner of Lake Worth Road and Military Trail, between S 42 Way and Colley Court.
- 2) Surrounding properties are a mix of residential and commercial uses. The adjacent residential uses are currently in unincorporated Palm Beach County.
- 3) A variety of restaurants, commercial retail, and professional uses are located within walking distance of the site.
- 4) The existing retail plaza has different tenants occupying the building, providing different retail, professional and personal services.
- 5) Transit service is available through Palm Tran routes 62 and 3.

## **III. Regulatory Issues:**

- The site is subject to site inspection to be performed by PBC Fire Department and the Village of Palm Springs Building Official before the occupancy of the unit.
- Permits from all applicable permitting agencies, including but not limited to PBC Fire Rescue and the Village, are required before any construction.

## **IV. Environmental Issues:**

- There are no environmental (wetlands, floodplains, etc.) issues identified.

## **V. Community Outreach/ Notification**

- The subject property was posted on April 22, 2026.
- Public Notification letters were mailed to all property owners within a 300-foot radius of the subject property on April 24, 2026.
- Legal advertisement was published on April 22, 2026.
- Staff have not received any inquiries or comments because of the notices.

## **VI. Proposed Development Plan Details**

The petitioner's development plans depict the following:

1. Application for Special Exception Use and Site Plan Amendment.
2. Justification Statement of Proposed Use.
3. Floor plan
4. Site Plan
5. Life Safety Plan
6. Survey

## VII. Recommendation

The 4.25-acre property was annexed into the Village in 2014 as a developed parcel with a total of 40,240 square feet of building area within two (2) commercial structures.

The applicant is requesting a site plan amendment and special exception use to allow the use of 5,500 square feet of tenant space within the commercial plaza, as a place of worship with a maximum of 150 seats.

Staff has found the proposed Special Exception use to be generally consistent with the goals, objectives, and policies of the Village's Comprehensive Plan. The proposed use is generally consistent with the Land Development and zoning regulations and all other portions of the code. The proposed special exception use does not significantly reduce light and air to adjacent properties and would not be a deterrent to surrounding properties. The new project does not negatively impact natural systems.

Planning, Zoning & Building Staff recommends conditional approval of the proposed place of worship use, as depicted on the proposed plans, and recommends that said motion include the following nineteen (19) conditions below:

1. The special exception approval for the new place of worship shall be implemented within 18 months of Council approval.
2. The worship sanctuary area shall be limited to 150 seats.
3. The room designated as a "Child Care" is for children to use during service hours. No additional childcare services are permitted as part of this application.
4. The special exception use is for a Place of worship, and no social services are proposed at this time, and will require subsequent special exception approval if desired in the future.
5. All required improvements shall be completed, and a permanent life safety plan shall be approved by the Building Official as prerequisites to issuance of a **Certificate of Occupancy**.
6. Any proposed outdoor activities will necessitate subsequent approval from the Village.
7. Hours of operation shall be limited to Thursday at 7:30 pm and Sundays at 5:00 pm.
8. No loitering on the grounds will be permitted.
9. Deliveries shall not occur before 8:00 a.m. or no later than 9:00 p.m.
10. Any special event not covered by the regular business license, including live entertainment, shall be subject to special event code regulations. The Village code allows a maximum of four special events per calendar year and is subject to special event permitting.
11. If a police detail is required, as determined by the Police Chief, it shall be provided and coordinated with the Village Public Safety Department **before any special events**.
12. A Business License must be obtained from the Village before **the commencement of any business operations**.
13. Any construction activity shall obtain permits from the Village of Palm Springs **before any construction commences**.
14. All unpermitted work done on the premises shall be properly permitted and inspected **before the issuance of the business license**.
15. Any sign shall be in accordance with the Village regulations, and a permit must be obtained **before any sign installation**.
16. The Applicant will be required to undertake additional security measures, based on the number of complaints or calls for service for incidents at the premises, as determined by the Police Chief. Such additional security measures, as approved by the Police Chief, may include provisions of on-site security at the operator's sole expense.
17. At the time of CO, the petitioner shall provide the Land Development Department with electronic copies of as-builts.
18. Any Grease traps (size, capacity, and installation) will be evaluated and inspected by the Planning, Zoning, and Building Department during the interior build-out work.

19. The construction dumpster shall be provided only by Waste Pro USA, which is under a franchise agreement with the village.

## **SPECIAL EXCEPTION NARRATIVE**

**Application No.:** AP26-0021

**Property Address:** 4210 Lake Worth Rd, Palm Springs, FL

**Applicant:** Ministerio Internacional Jesús El Salvador Lake Worth

### **(1) Consistency with the Comprehensive Plan**

The proposed special exception use, a House of Worship, is consistent with the goals, objectives, and policies of the Village of Palm Springs Comprehensive Plan. The use provides a community-oriented service that promotes social and spiritual well-being, contributing positively to the surrounding area.

### **(2) Consistency with Planning, Building, and Zoning Regulations**

The proposed use complies with all applicable Planning, Building, and Zoning regulations of the Village of Palm Springs. The request is being processed as a Special Exception within the Commercial General (CG) zoning district, where such uses may be permitted subject to approval.

### **(3) Compatibility with Surrounding Uses**

The proposed House of Worship is compatible with the character and use of surrounding properties. The site is located within a commercial corridor along Lake Worth Road and is surrounded by similar commercial uses.

**The hours of operation are limited to:**

**Thursdays at 7:30 PM**

**Sundays at 5:00 PM**

These limited service hours reduce potential impacts related to traffic and noise. The use does not generate industrial activity or excessive noise and is consistent with the scale and function of the surrounding area.

### **(4) Avoidance of Overconcentration of Similar Uses**

The proposed use does not create a concentration or proliferation of similar special exception uses within the area. The introduction of a House of Worship at this location will not be detrimental to the development or redevelopment of the surrounding commercial corridor.

### **(5) No Detrimental Impact on Surrounding Properties**

The proposed use will not have a detrimental impact on surrounding properties based on the following:

**a. Number of Persons:**

The occupancy load is limited to 150 persons, and attendance is controlled during scheduled service times only.

**b. Noise, Odor, and Visual Impact:**

The use is conducted entirely within an enclosed building and does not generate noise, odor, or visual nuisances that would affect neighboring properties.

**c. Traffic Flow:**

Traffic impact is minimal due to limited service hours outside peak business times. The site provides access to approximately 100+ shared parking spaces, which are

largely available during service hours. Additionally, the ministry operates 8 transportation vans, reducing individual vehicle trips and traffic congestion.

#### **(6) No Adverse Physical or Environmental Impact**

The proposed use will not adversely affect adjacent properties or the surrounding environment:

**a. Light and Air:**

The use does not reduce light or air to adjacent properties.

**b. Property Values:**

The use will not negatively affect property values and is consistent with other community-serving uses.

**c. Development Compatibility:**

The use supports the continued development and utilization of existing commercial space.

**d. Natural Systems and Public Facilities:**

The use does not negatively impact natural systems or public facilities.

**e. Pedestrian Amenities:**

The site provides safe pedestrian access and is consistent with typical commercial site conditions.

#### **(7) Positive Impact and Contribution to the Community**

The proposed House of Worship enhances the community by providing a place for worship, community support, and social gathering. It contributes positively to the Village by serving local residents, encouraging community engagement, and supporting neighborhood stability.

#### **CONCLUSIÓN**

The proposed use is low-impact, compatible with surrounding uses, and provides meaningful benefits to the community. The application meets all required criteria for Special Exception approval.

For these reasons, approval of this request is respectfully requested.

## **Section 14 – CRA Response**

The proposed use of the subject property as a House of Worship (church) is consistent with the goals and objectives of the Lake Worth Road Corridor Community Redevelopment Area (CRA) Plan.

The project will occupy an existing commercial tenant space and will not require any exterior modifications or changes to the site layout. The use is compatible with surrounding commercial uses.

The church will operate primarily during evenings and weekends, minimizing any potential impact on traffic and parking demand within the commercial plaza.

The proposed use supports the CRA's objectives by encouraging the utilization of existing commercial space and promoting community engagement.

Overall, the proposed use is consistent with the intent of the CRA redevelopment plan.

# 4236 LAKEWORTH ROAD

LAKE WORTH, FL

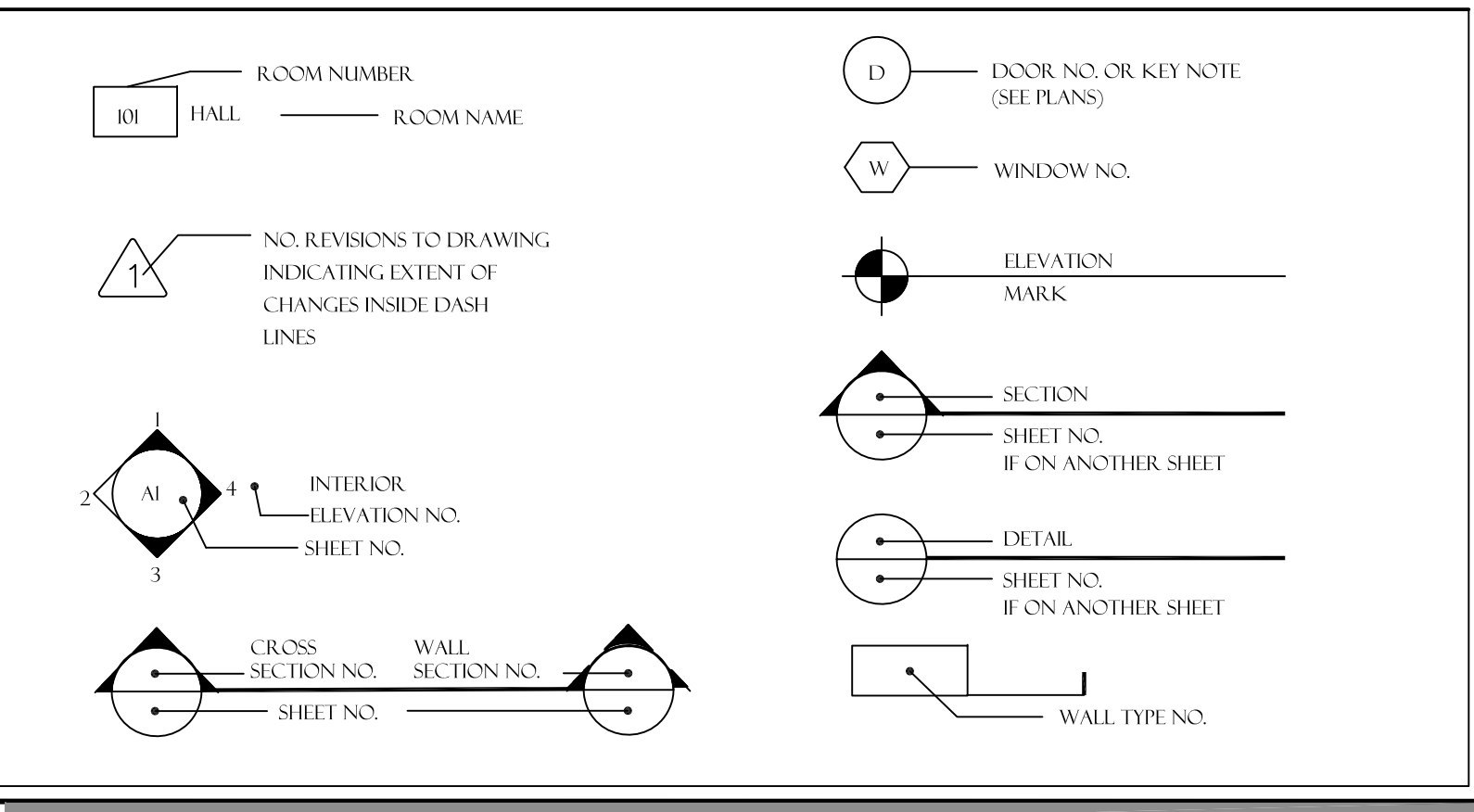
## GENERAL NOTES

- CONSTRUCTION SHALL FOLLOW FLORIDA BUILDING CODE (EXISTING BUILDING - 2020 EDITION) WITH SPECIAL ATTENTION TO CH. 3 & 4 (HVAC) INCLUDING ALL REVISIONS & AMENDMENTS AS ADOPTED BY THE GOVERNING BLDG. DEPT. AS APPLICABLE AND ALL APPLICABLE AMENDMENTS.
- BUILDER SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.
- BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY OR THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. DO NOT SCALE THE DRAWINGS.
- SUBMIT MINIMUM THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
- THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- THE BUILDER RESERVES THE RIGHT TO SUBSTITUTE ITEMS WHICH THEY BELIEVE TO BE EQUAL OR BETTER THAN ITEMS SPECIFIED ON THESE DRAWINGS WITHOUT ANY PRIOR NOTICE. ITEMS WHICH WHEN SUBSTITUTED REQUIRE APPROVAL OF THE BUILDING OFFICIAL WILL BE SUBMITTED TO THE BUILDING OFFICIAL.
- BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION. 8. CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
- WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
- ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA STATE ENERGY CODE SECTION 502.4.
- ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH THE LOCAL GOVERNING BUILDING SECURITY CODE ORDINANCE AS LAST AMENDED.
- ALL FIXED GLASS, BUTT GLASS, AND GLASS BLOCK SHALL BE PROVIDED TO WITHSTAND 70 MPH, 3 SECOND GUST WIND LOAD.
- TRUSS MANUFACTURER SHALL SUBMIT FOUR (4) COPIES OF SHOP DRAWINGS AND ENGINEERED CALCULATIONS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR ROOF TRUSS DESIGN FOR APPROVAL.
- TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC FLOORS AND MECHANICAL EQUIPMENT. COORDINATE ALL CALCULATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS.
- PROVIDE GROUTED CELL AT BEARING POINT OF EACH GIRDER TRUSS.
- ALL INTERIOR LOAD BEARING PARTITIONS TO BE REFERENCED ON STRUCTURAL DRAWINGS FOR WALL CONSTRUCTION INFO.
- CONCRETE SHALL CONFORM TO ASTM C988. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 308.05 AND ACI 332.05. ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 506.2, ACI 530.05, AND ACI 530.05.
- MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE: 4. BEAMS AND COLUMNS - 1 1/2" 5. FORMED CONCRETE BELOW GRADE - 2" 6. UNFORMED CONCRETE BELOW GRADE - 3"
- REINFORCING STEEL: GRADE 60 (FY=60,000). ASTM A618/62.5L
- PLACING DRAWING AND BAR LISTS SHALL CONFORM TO ACI'S "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". (ACI 318-08)
- DETAILS OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION, AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS OTHERWISE INDICATED.
- ADEQUATE VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
- CONCRETE BEAM SIZES MAY BE INCREASED (8" MAXIMUM) AS REQUIRED FOR ARCHITECTURAL DETAILS OR TO FIT BLOCK COURSEING. DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW AND DOOR BEAMS (2" MAXIMUM) AND ADD 245 BOTTOM IF DROP ENDS 8".
- DOWELS COLUMN AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DOWELS AS VERTICAL BARS ABOVE.
- VERTICAL CELLS FOR MASONRY TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED CONTINUOUS CELL.
- CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUTED CELLS AT EACH LIFT OVER 4'0" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION, AND BEFORE GROUTING.
- REINFORCING STEEL SHALL BE LAPPED 30 BAR DIAMETERS MINIMUM WHERE SPICED, AND SHALL BE WIRED TOGETHER FOR REINFORCING CONCRETE. PROVIDE CORNER BARS SAME SIZE AND NUMBER AS HORIZ. BEAM REINFORCING AT EACH FACE. LAP 30 BAR DIAMETERS MIN.
- STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD AS REQUIRED PER APPLICABLE CODE.
- BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGING DURING ERECTION OF THE TRUSSES TO PREVENT COLLAPSE OR DAMAGE TO SAME.
- HEADERS FOR FRAMED OPENING GREATER THAN 6'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER UNLESS NOTED OTHERWISE.
- ALL HEADERS OVER DOORS AND WINDOWS TO BE 2 OR 3-2 X 12S (FOR WOOD FRAME CONSTRUCTION DEPENDING ON WALL THICKNESS) EXCEPT WHERE NOTED.
- DIMENSION LUMBER FOR HEADERS AND COLUMNS SHALL BE SOUTHERN PINE NO. 2 OR BETTER OR SHALL PROVIDE ALLOWABLE STRESS VALUES OF 1200 PSI IN BENDING, FOR SINGLE MEMBER USES 90 PSI IN HORIZONTAL SHEAR AND SHALL HAVE A MODULUS OF ELASTICITY OF 1,800,000 OR BETTER, AS DETERMINED BY AN APPROVED LUMBER GRADING AGENCY.
- STRUCTURAL STEEL SHALL CONFORM TO THE AISC. \*SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS\* 1989 EDITION. MATERIALS SHALL CONFORM TO THE APPLICABLE ASTM SPECIFICATION AS FOLLOWS: SHAPES, PLATES, AND COR. BOLTS - A 3678/A MACHINE BOLTS - A 325/83 C TUBULAR STEEL - 50082 A GRADE B (46 KSI)
- WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE. ELECTRODES FOR FELD AND SHOP WELDS SHALL BE AWS A51E70XX.
- SEE FOUNDATION NOTES AND FRAMING NOTES FOR MORE INFORMATION ON THESE ITEMS.
- TOPICAL CURING REQUIRED FOR ALL SLABS AND FLATWORK (UNO).
- NOT LISTED
- STRUCTURAL ENGINEERS NOTES SHALL SUPERSEDE ARCHITECTURAL GENERAL NOTES WHENEVER THESE ARE IN CONFLICT WITH EACH OTHER.
- ALL EXTERIOR GLAZING SHALL BE IMPACT RESISTANT PER 2020 FLORIDA BUILDING CODE.
- A WATER CLOSET, LAVATORY, OR BIDET SHALL NOT BE SET CLOSER THAN 6 INCHES FROM THE CENTER TO ANY SIDE WALL, PARTITION, VANITY, OR OTHER OBSTRUCTION, OR CLOSER THAN 30 INCHES FROM CENTER TO CENTER BETWEEN TOILETS OR ADJACENT FIXTURES. THERE SHALL BE AT LEAST 21 INCHES CLEARANCE IN FRONT OF THE WATER CLOSET OR BIDET TO ANY WALL, FIXTURE OR DOOR, WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30 INCHES WIDE AND 60 INCHES DEEP. THERE SHALL BE AT LEAST 21 INCHES CLEARANCE IN FRONT OF A LAVATORY TO ANY WALL, FIXTURE OR DOOR. (F.B.C. P.2705 (5))
- THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES AND FIXTURE FITTINGS SHALL BE IN ACCORDANCE WITH TABLE P2903.2A OF THE F.B.C. 2020.

## ABBREVIATIONS

ALUM.	ALUMINUM	FRP.	FIBER GLASS REINF.	PNL.	PANEL
ALUMD.	ALUMINUM ANODIZED	F.V.	FIBER VERIFIED	P.S.	POINT OF SALE PAIR
BD.	BOARD	GA.	GAGE	PRP.	PREPARED
BOB.	BOTTOM OF BEAM	GALV.	GALVANIZED	PTD.	PAINTED
CAB.	CABINET	GC.	GENERAL CONTRACTOR	QT.	QUARRY TILE
CLG.	CEILING	GL.	GLASS	RA.	RETURN AIR
CLCS.	CLOSET	GYP. BD.	GYP. BOARD	RAD.	RADIUS
CLR.	CLEAR	IM.	ICE MAKER	RE.	REFERENCE
CMU.	CONCRETE MASONRY UNIT	INT.	INTERIOR	RECEPT.	RECEPTACLE
CONC.	CONCRETE	IKLW.	IKELLOW METAL	REINFC.	REINFORCED
CONT.	CONTINUOUS	JST.	JOIST	REQD.	REQUIRED
CONC.	CONCRETE	LAM.	LAMINATED	ROOM.	ROUGH OPENING
CONC.	CONCRETE	LAV.	LAVATORY	SC.	SOLID CORE
CT.	CERAMIC TILE	MANUF.	MANUFACTURED	SCHD.	SCHEDULE
DRL.	DRAWBLE	MAM.	MASONRY	SM.	SMILAR
DN.	DOWN	MCH.	MECHANICAL	STD.	STANDARD
DR.	DOOR	MIN.	MINIMUM	STL.	STEEL
DTL.	DETAIL	MISC.	MISCELLANEOUS	STRUC.	STRUCTURAL
DWG.	DRAWING	MLD.	MOLDING	SUSP.	SUSPENDED
DWR.	DRAWER	M2.	MASONRY OPENING	TEMP.	TEMPERED
EACH.	EACH	MT.	METAL THICKSOLD	TYP.	TYPICAL
EL.	ELEVATION	MID.	MOUNTED	VCT.	VINYL COMPOSITION
ELEC.	ELECTRICAL	MIL.	METAL	VERT.	VERTICAL
ELEV.	ELEVATION	MUL.	MULLION	VLOC.	VERT. LOCATION ON JOB
EQ.	EQUAL	N.C.	NOT IN CONTRACT	W/O	WITHOUT
EQUIP.	EQUIPMENT	NIS.	NOT TO SCALE	W.C.	WATER CLOSET
EXIST.	EXISTING	ON.	ON CENTER	WD.	WOOD
EXT.	EXTERIOR	OD.	OUTSIDE DIAMETER	WH.	WATER HEATER
FBO.	FIBER BOARD	OPNG.	OPENING	WIN.	WINDOW
FD.	FLOOR DRAIN	OPT.	OPTIONAL		
FE.	FIRE EXTINGUISHER	PL.	PLATE		
FIN.	FINISH	PLAM.	PLASTIC LAMINATE		
FLR.	FLOOR	PLYWD.	PLYWOOD		

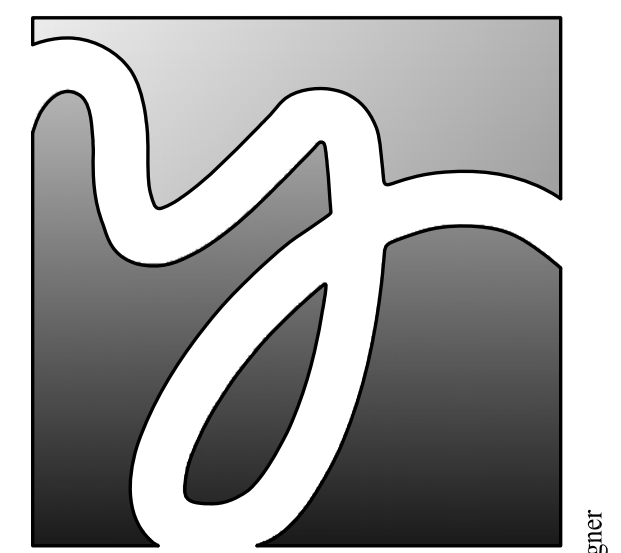
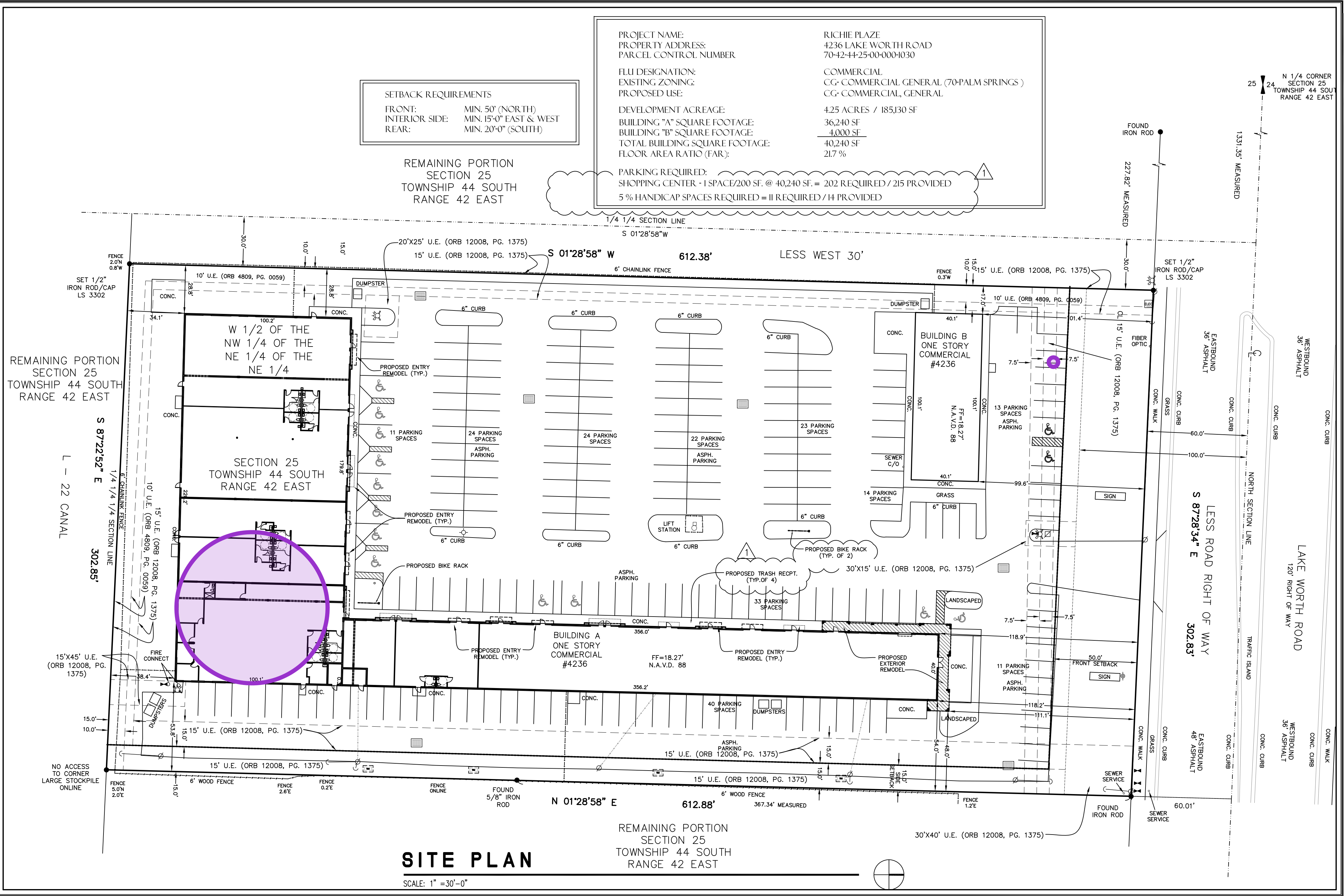
## SYMBOL LEGEND



## INDEX OF DRAWINGS

A1	COVER SHEET / SITE PLAN	S1	FOUNDATION PLAN
A2	DEMOLITION PLAN	S2	FRAMING PLAN
A3	FLOOR PLAN	S3	DETAILS & NOTES
A4	FLOOR PLAN		
A5	ELEVATIONS		
A6	WALL SECTIONS & DETAILS		
A7	DETAILS & NOTES		

## AREA MAP



**YATES ASSOCIATES ARCHITECTURE INC.**

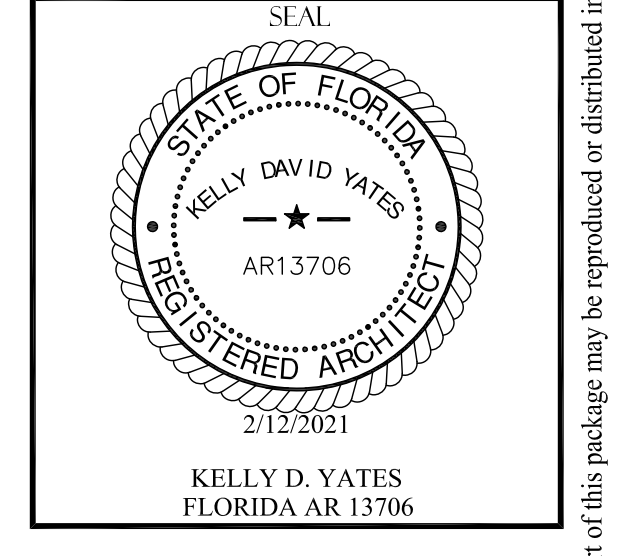
ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

AA-26001673  
319 CLEMATIS ST., SUITE 914  
WEST PALM BEACH, FL 33401  
TEL: 561-653-8280 FAX: 561-653-8279  
WWW.YATESARCHITECTURE.COM  
EMAIL: KELLY@YATESARCHITECTURE.COM

DATE: 01-02-2020  
JOB NO: 19-0832  
DESIGN BY: JCH  
DRAWN BY: JCH  
APPROVED: K.D.Y.  
REVISIONS:

COMMERCIAL EXTERIOR REMODEL:  
**4236 LAKE WORTH RD**  
TENANT IMPROVEMENT UNIT #4220  
LAKE WORTH, FLORIDA

PERMIT SET  
02-12-2021



SHEET NO.  
**A-1**

OF SHTS  
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# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Planning, Zoning & Building

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**ITEM #10:** Special Exception Use Amendment (PSSE26-03) with a Waiver — Court Club - 1591 Kirk Road

**SUMMARY:** Schmidt Nichols, agent for John Lewis, MGR, 1591 Kirk Road Partners LLC (“Applicant”), is requesting approval of a Special Exception Use Amendment (**PSSE26-03**) and concurrently requesting a waiver to allow the restaurant with the bar to operate as an ancillary use within the previously approved Court Club, which operates as a privately owned membership club, within the residential multifamily property located at 1591 Kirk Road.

The property received site plan approval on March 18, 2025, to develop a 17,683 square foot recreational facility consisting of a tennis-racquet club with 14 courts for tennis, pickleball, paddleball, and approximately 10,000 square feet of a clubhouse building.

The Applicant seeks to amend the previously approved Special Exception Use to clarify that the facility will operate as a privately-owned membership club, with a restaurant and a bar as ancillary components to the principal recreational use.

As part of the proposed amendment, the applicant is requesting a waiver to allow alcohol sales within 500' of a public school. Section 34-830, Distance between Establishments that Sell Alcoholic Beverages, applies to properties within the CG zoning district. Business operations, including restaurants that serve alcohol, are typically not allowed in the RM zoning district. The applicant is approved for a private Racquet club, a permissible use within the RM district, with an accessory clubhouse and restaurant. In the spirit of the intent of the Code, staff is processing a waiver on the distance separation requirement that would typically be required for a commercial operation for the sale of alcohol within the clubhouse and restaurant.

The requested waiver is limited solely to the ancillary food and beverage component and does not alter the approved recreational use or its overall operational intensity. The proposed clarification and associated waiver are consistent with the intent of the original approval and do not introduce any new or more intensive use of the property.

This application does not propose any modifications to the previously approved site plan. Rather, the request is limited to clarifying the operational characteristics of the approved use and addressing code requirements necessary to facilitate a liquor license.

The Planning & Zoning Board considered this application during their May 12, 2026, meeting and recommended approval.

Planning, Zoning, and Building staff do not object to the applicant's request and recommend conditional approval.

**FISCAL IMPACT:**

The proposed development will enhance the village's assessed property valuation.

**ATTACHMENTS:**

1. Proposed Resolution No. 2026-13
2. Exhibit "A" Staff Report
3. Justification Statement
4. Site Plan
5. Color Rendering

**RESOLUTION NO. 2026-13**

**A RESOLUTION OF THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA, APPROVING OF A SPECIAL EXCEPTION USE AMENDMENT (PSSE26-03) AND A WAIVER WITH CONDITIONS FROM SECTION 34-830 OF THE VILLAGE CODE FOR PROPERTY LOCATED AT 1591 KIRK ROAD; PROVIDING FOR FINDINGS; PROVIDING FOR CONDITIONS OF APPROVAL; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, 1591 Kirk Road Partners, LLC, through its agent Schmidt Nichols, has applied for a Special Exception Use Amendment and a waiver from the distance separation requirements of Section 34-830 of the Village Code for the property located at 1591 Kirk Road; and

**WHEREAS**, the property was previously approved for a recreational facility known as the Court Club pursuant to Resolution No. 2025-23; and

**WHEREAS**, the Applicant seeks to clarify that the facility will operate as a private membership club with a restaurant and bar as accessory uses to the principal recreational facility; and

**WHEREAS**, the requested waiver is limited to the ancillary restaurant and bar component and is necessary to facilitate the sale of alcoholic beverages at the facility; and

**WHEREAS**, the Planning and Zoning Board recommended approval following a duly noticed public hearing; and

**WHEREAS**, the Village Council has reviewed the application, staff report, and evidence presented and finds the request consistent with the Village Comprehensive Plan and Land Development Regulations.

**NOW, THEREFORE, BE IT RESOLVED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:**

**Section 1.** The foregoing recitals are hereby ratified and incorporated herein as legislative findings of the Village Council.

**Section 2.** The Village Council hereby approves Application No. PSSE26-03, amending the previously approved Special Exception Use with conditions for the Court Club located at 1591 Kirk Road to allow operation as a private membership club with an accessory restaurant and bar. The Village Council further approves a waiver from the distance separation requirements of Section 34-830 of the Village Code for the ancillary sale of alcoholic beverages.

**Section 2.** This approval shall be subject to the conditions contained in the Planning, Zoning and Building Staff Report and all prior conditions of approval applicable to Resolution No. 2025-23, which are incorporated herein by reference.

**Section 3.** All resolutions or parts of resolutions in conflict herewith are repealed to the extent of such conflict.

**Section 4.** If any section, sentence, clause, phrase, or provision of this Resolution is held invalid or unconstitutional by a court of competent jurisdiction, such invalidity shall not affect the remaining portions of this Resolution.

**Section 5.** This Resolution shall become effective immediately upon adoption.

Council Member \_\_\_\_\_ offered the foregoing resolution Council Member \_\_\_\_\_ seconded the motion, and being put to a vote, the vote was as follows:

Aye   Nay   Absent

BEV SMITH, MAYOR

PATTI WALLER, VICE MAYOR

JOHNNIE TIECHE, MAYOR PRO TEM

GARY READY, COUNCIL MEMBER

KIM SCHMITZ, COUNCIL MEMBER

The Mayor thereupon declared this Resolution duly passed and adopted this 11th day of June 2026.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: \_\_\_\_\_

BEV SMITH, MAYOR

ATTEST:

BY: \_\_\_\_\_

KIMBERLY WYNN, VILLAGE CLERK

REVIEWED FOR FORM AND LEGAL SUFFICIENCY

BY: \_\_\_\_\_

CHRISTY GODDEAU, VILLAGE ATTORNEY



## PLANNING, ZONING & BUILDING STAFF REPORT

**SUBJECT:** Special Exception Use Amendment and a waiver – Court Club – 1591 Kirk Road

Application Summary			
<b>Applicant / Petitioner</b>	Schmidt Nichols	<b>Submittal Date</b>	3/28/2026
<b>Reference Name</b>	Court Club	<b>Case Number</b>	<b>PSSE26-03</b>
		<b>Parcel Control No.</b>	70-42-44-12-39-000-0020
<b>Location</b>	1591 Kirk Road	<b>Site Area</b>	± 5.07 net acres
<b>P&amp;Z B Meeting</b>	May 12, 2026	<b>Council Meeting</b>	June 11, 2026
Requests			
<b>Proposed Use</b>	Special Exception Use Amendment and concurrently request a Distance Separation Waiver to allow the approved court club facility to operate a restaurant with a bar for ancillary use, which will operate as a privately owned membership club.		
<b>Number of Buildings</b>	5 Buildings: Building A Club House 7,813 S.F. (Phase I), 2,267 S.F. (Phase 2) Building B Indoor Padel Courts 6,496 S.F. (Phase 2) Building C Tennis Storage Buildings 384 S.F. (Phase I) Building D Pickleball Storage 384 S.F. Building E Pool Restroom 339 S.F. (Phase I)		
<b>Waiver from Section 34-830 – to allow alcohol sales within 500’ of a public school</b>	Sec 34-830 – “Distance between Establishments that Sell Alcoholic Beverages” applies to properties within the CG zoning district. Business operations, including restaurants that serve alcohol, are typically not allowed in the RM zoning district. In the spirit of the Code's intent, staff is processing a waiver of the distance separation requirement that would typically apply to a commercial operation for the sale of alcohol within the clubhouse and restaurant.		
Parking			
<b>Code</b>	<b>Required</b>	<b>Provided</b>	<b>Meets Requirement</b>
<b>Total Parking</b>	Outdoor athletic courts - 1 space/1,500 square feet of court area and adjoining paved area @ 55,493 s.f. = 37 Spa and Health Center - 1 space/300 s.f. @ 7,813 s.f. = 26 Spa and Health Center - 1 space/300 s.f. @ 2,267 s.f. = 8 <b>A total of 71 spaces</b>	<b>84 Total Provided</b>	Yes
Setbacks			
<b>Code</b>	<b>Required Minimum</b>	<b>Proposed</b>	<b>Meets Requirement</b>
<b>Front Yard</b>	25’	69’	Yes
<b>Rear Yard</b>	25’	25’	Yes
<b>Side Yard</b>	15’	15’	Yes
Site Characteristics			
<b>Existing Use</b>	Vacant site under construction	<b>Proposed Use</b>	Court Club
<b>Existing Zoning</b>	Residential Multiple-Family (RM)	<b>Proposed Zoning</b>	Residential Multiple-Family (RM)
<b>Existing Future Land Use</b>	Medium Density Residential	<b>Proposed Future Land Use</b>	Medium Density Residential
Surrounding Existing Land Use, Future Land Use, and Zoning			
<b>Direction</b>	<b>Existing Use</b>	<b>Future Land Use</b>	<b>Zoning District</b>
North	LWDD Canal	Unincorporated PBC	Unincorporated PBC

South	Retail	Commercial	Commercial General (CG)
East	Palm Springs Middle School	Education	Governmental (G)
West	Multi-Family Residences	Unincorporated PBC	Unincorporated PBC

**Recommendation**

The Planning, Zoning, and Building staff recommend conditional approval of the proposed amendments to the previously approved Court Club to be consistent with the approved site plan and the business operations.



**I. Site History**

- Ordinance 2006-13: Annexation

The property located at 1591 Kirk Road was annexed into the Village of Palm Springs on April 27, 2006. The property-maintained Palm Beach County’s Future Land Use Designation of Institutional and Palm Beach County’s Zoning Designation of Residential Multi-Family/Medium Density with a Class A Conditional Use.

- Ordinance 2007-26: Future Land Use Map Amendment

On February 28, 2008, the Village Council adopted the resolution to change the property’s Future Land Use designation to Other Public Buildings and Zoning Designation to Residential Multiple Family.

- Ordinance 2014-02: Small-Scale Land Use and Zoning

The 0.77-acre southern vacant portion of the parcel was carved out with a FLU Map Amendment to Commercial and rezoning to Commercial General.

- Ordinance 2022-02: Future Land Use Amendment

On June 9, 2022, the Village Council adopted the above ordinance to change the property’s Future Land Use designation to Medium Density Residential.

- Resolution No. 2022-08: Residential Planned Development Site Plan

On June 9, 2022, the Village Council approved with conditions a Site Plan (SPR22-03) for the construction of a residential planned development project consisting of forty-two (42) two-story fee-simple townhomes on the residential multi-family parcel, but it was never developed.

- Resolution No.2025-23: Site Development Plan and Special Exception Use

On March 13, 2025, the Village Council approved with conditions a Site Plan and Special Exception to allow the construction of 17,683 square feet of recreational facility consisting of a tennis/ racquet club with 14 courts for tennis, pickleball, and padel ball that will operate as a social/fitness club.

## II. Comprehensive Plan Consistency

The subject property's Future Land Use Designation and Zoning are Medium Density Residential and Residential Multi-Family, respectively. All requests are consistent with the goals, objectives, and policies of the Village's Comprehensive Plan.

## III. Waiver Requested

The applicant is seeking the following waiver:

- Requesting a waiver relief from Sections 34-830 to allow the ancillary restaurant with a bar, within the Court Club, to sell alcoholic beverages within 500' of a public school.

**Note:** Sec 34-830 - Distance between Establishments that Sell Alcoholic Beverages" applies to properties within the CG zoning district. Business operations, including restaurants that serve alcohol, are typically not allowed in the RM zoning district.

In the spirit of the Code's intent, staff is processing a waiver of the distance separation requirement that would typically apply to a commercial operation for the sale of alcohol within the clubhouse and restaurant.

*Staff does not object to the applicant's request* based on consistency with the previous approvals for the project and the business operations, which will operate as a privately owned membership club.

## IV. Neighborhood Compatibility

- 1) The proposed project is located on the west side of Kirk Road between Forest Hill Blvd and LWDD Canal L-7.
- 2) Surrounding properties to the north and west are mostly residential dwelling units.
- 3) Kirk Road and Forest Hill Boulevard offer a mix of retail and professional services, such as general retail, restaurants, and professional offices within walking distance.
- 4) The site is located approximately 1.05 miles from the Village Hall.
- 5) Palm Springs Middle School is located east across the street.
- 6) Public transportation is available through Palm Tran bus stops along Kirk Road via Route 60 and Forest Hill Blvd via Route 46.

## V. Regulatory Issues

- The project generally conforms to the property development standards of the RM district.
  - 1) The proposed project plan generally meets the required site development regulations.
  - 2) The applicant is responsible for acquiring all applicable permits from all regulatory agencies with jurisdiction over

the project site, including but not limited to Palm Beach County Fire, PBCWUD, PBC Roads, and the Village of Palm Springs.

- 3) Civil/Utility plans shall be approved by the Village's Engineer.
- 4) The proposed development is located within the Airport Regulated areas Zone 1 and Zone 3 for Palm Beach International Airport.

#### **VI. Environmental Issues:**

There are no environmental (wetlands, floodplains, etc.) issues identified.

#### **VII. Community Outreach/Notification**

- The subject property was posted on April 24, 2026
- Public Notification letters were mailed to all property owners within a 300-foot radius of the subject property on April 24, 2026.
- A legal advertisement was published on April 17, 2026.
- Staff have not received any inquiries or comments because of the notices.

#### **VIII. Proposed Development Plan Details**

The petitioner's development plans received on March 28, 2026, depict the following:

- Application for a special Exception Use Amendment and a waiver to allow a restaurant use with a bar to operate as an ancillary use to the recreational facility and permit the sales of alcoholic beverages within 500' of a public school and within 1000' of a residential property.
  1. Approved Site Plan
  2. Justification Statements
  3. Survey

#### **IX. Recommendation**

The applicant is requesting approval of a special exception use modification and an associated waiver for the project known as Court Club. The subject site is located directly across from Palm Springs Middle School and adjacent to a residential community.

The property received a site plan approval on March 18, 2025, for a recreational facility consisting of a tennis and racquet club. This application does not propose any modifications to the previously approved site plan. Rather, the request is limited to clarifying the operational characteristics of the approved use and addressing code requirements necessary to facilitate a liquor license.

The Applicant seeks to amend the previously approved Special Exception Use to clarify that the facility will operate as a privately owned membership club, with a restaurant and bar as ancillary components to the principal recreational use. In addition, the applicant is requesting a waiver relief to deviate from the minimum distance separation of 500 feet from schools and 1,000 feet from residential uses for the sales of alcoholic beverages. The requested waiver is limited solely to the ancillary food and beverage component and does not alter the approved recreational use or its overall operational intensity. The proposed clarification and associated waiver are consistent with the intent of the original approval and do not introduce any new or more intensive use of the property.

Staff has found the proposed amendments to be generally consistent with the land development and zoning regulations and all other portions of the code. The proposed special exception use does not significantly reduce light and air to adjacent properties and would not be a deterrent to surrounding properties. The new project does not negatively impact natural systems.

Planning, Zoning, and Building staff recommend conditional approval of the Special Exception Use Amendment and the Waiver, subject to the forty-one (41) conditions below:

**Note:** Conditions from Resolution 2025-03 are reinstated herein.

All conditions shall always remain active on the Site for the current owner, its successors, and assigns:

1. Build-out date December 31, 2027.
2. The special exception approval shall be implemented within 18 months of Council approval (per Resolution 2025-03, by September 13, 2026).
3. The site approval plan is valid within 24 months of Council approval (per Resolution 2025-03, until May 13, 2027).
4. The restaurant with the bar cannot be independently operated from the court club. If the court club ceases operations, the restaurant and the bar shall cease operations concurrently.
5. The restaurant and the bar may not be used by the general public. Usage must be limited to members of the private club and their authorized guests.
6. A right-turn-only sign shall be installed at the northern exit point of the property, and the curb shall be designed to encourage right-out circulation and discourage illegal left turns.
7. Hours of operation shall be according to the Village's Land Development Regulation Section 34-891.
8. Any special event to be held at the facility that will include members of the public is subject to Special Event Permit approval by the Village.
9. A sewer connection is contingent upon the applicant's best efforts to obtain a permit through the Palm Beach County Water Utility Department. If a septic tank needs to be constructed, an administrative site plan amendment will be required to accommodate the septic tank on the property.
10. Any proposed monument sign and wall signs shall be reviewed and approved by the Planning, Zoning, and Building Department **at the time of permitting**.
11. Proposed Phase II shall be completed within 24 months of completion of Phase 1; otherwise, subsequent Village approvals are required **before permitting**.
12. In the future, if the swimming pool is proposed to be used independently, a site plan amendment must be submitted for review and approval.
13. The restaurant and the bar cannot be used independently of the recreational facility. If the recreational facility closes for business, the restaurant and the bar shall cease operations concurrently.
14. Emergency access at the southern point shall be revised **at the time of civil-utility review** to be 20 feet wide per Palm Beach County Fire Department request.
15. Staff have concerns regarding congestion issues due to high pedestrian and vehicular traffic during the neighboring school's entry and dismissal. For this reason, staff highly recommends maintaining the main entry gates closed during school zone hours to prevent illegal parking conflicts during peak traffic hours (8:00 – 9:00 am and 3:00 pm – 4:30 pm)
16. The proposed aluminum picket fence adjacent to Kirk Road needs to be provided through the entire front property width. The applicant may coordinate with the southern adjacent property (Dollar General) to remove the existing PVC fence and construct a new shared fence.
17. The construction dumpster shall be only provided by Waste Pro USA, which is under a franchise Agreement with the Village.
18. Civil/Utility plans need to be reviewed and approved by the Village's Engineer **at the time of the site work permit**.
19. Any existing or proposed utility box/cabinet shall be screened from view. Staff recommends wrapping the cabinets/box with a match design according to the existing/proposed location.
20. Any existing or proposed utility easement shall not overlap more than 5' of the landscape buffer.

21. Photometric plans shall be approved by the Planning, Zoning, and Building Department **at the time of permitting.**
22. Landscaped areas shall be irrigated, including but not limited to buffers, islands, planter boxes, etc.
23. Irrigation plans shall be provided **at the time of permitting.** Non-potable water shall be used for the irrigation system per the Village code.
24. Provide permits from all applicable permitting agencies, including but not limited to the Palm Beach County Water Utilities Department, Palm Beach County Roadway Production Division, and the Village of Palm Springs **at the time of permitting.**
25. The property owner shall register an Agent of Record before issuance of a permit to establish a contact person responsible for compliance with this Development Order, including site plan/landscape plan details and conditions of approval.
26. A copy of the NPDES Notice of Intent for Generic Permit shall be submitted to the PZB Department **at the time of the site work permit.**
27. A stabilized surface shall be provided at all times during construction for access by emergency vehicles.
28. All mechanical equipment and above-ground infrastructure shall be screened from view.
29. The Applicant may be required to undertake additional security measures, based on the number of complaints or calls for service for incidents at the premises, as determined by the Police Chief. Such additional security measures as approved by the Police Chief may include increased on-site security at the operator's sole expense.
30. Verify utility and easement locations to ensure that there are no conflicts with landscaping, revise **at time of permitting** as needed.
31. All electric utilities shall be underground.
32. A pre-construction meeting shall be scheduled with the Village Planning, Zoning & Building Development Department before commencement of any construction activity. Permits are required from the Planning, Zoning & Building Department before commencing any construction or renovation. The project shall be constructed in accordance with the FBC edition in effect **at the time of permitting.**
33. A silt barrier shall be installed around the perimeter of the property (within the affected area for the site improvements and new building construction) before commencement of any site work or construction activity, and a track pad shall be installed at the construction entrance(s), both of which shall remain through substantial completion.
34. Any sidewalk broken or damaged during construction shall be replaced by the contractor **before CO.**
35. The Landscaping shall be certified by the Landscape Architect upon completion and **before the Certificate of Occupancy/Certificate of Completion** of each improvement area.
36. Absolutely no occupancy, other than construction personnel, is permitted **before TCO/CO.**
37. Photometrics must be certified by an engineer **before CO.**
38. The civil engineer of record shall certify the site construction **before the Certificate of Occupancy.**
39. The General Contractor shall be on site during all construction activity in accordance with FS 489.1195.
40. The project shall receive approval from all Authorities Having Jurisdiction and submit copies of approvals to the Village of Palm Springs.
41. **At the time of CO,** the petitioner shall provide the Planning, Zoning, and Building Department with electronic copies of as-builts.

**Justification Statement  
Court Club  
Village of Palm Springs, Florida  
Variance Application  
Special Exception Use Approval  
Original Submittal: March 24, 2026**

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**Introduction**

On behalf of the property owner, 1591 Kirk Road Partners, LLC (“Owner”), Schmidt Nichols respectfully submits this application requesting approval of a Special Exception Use modification and an associated variance for the project known as Court Club, located on a 5.07-acre parcel within the Village of Palm Springs. The subject site is uniquely situated along Kirk Road directly across from an existing public school and in proximity to established residential uses, which are pre-existing conditions not created by the Applicant and form the basis for the requested variance.

The subject site received prior Village Council approval on March 18, 2025, for a recreational use and facility consisting of a tennis and racquet club. This application does not propose any modifications to the previously approved site plan. Rather, the request is limited to clarifying the operational characteristics of the approved use and addressing code requirements necessary to facilitate a liquor license. Any future modifications to the site plan, if required, will be pursued under a separate application.

The Applicant seeks to amend the previously approved Special Exception Use to clarify that the facility will operate as a privately owned membership club, with a restaurant and bar as ancillary components to the principal recreational use. In addition, the Applicant requests a variance from Sections 34-830(b) and 34-830(c) of the Village Code, which require minimum separation distances of 500 feet from schools and 1,000 feet from residential uses, as the subject property is located within these distances due to its existing proximity to a public school and residential uses, which are pre-existing conditions not created by the Applicant. The requested variance is limited solely to the ancillary food and beverage component and does not alter the approved recreational use or its overall operational intensity. The proposed clarification and associated variance are consistent with the intent of the original approval and do not introduce any new or more intensive use of the property.

**Request**

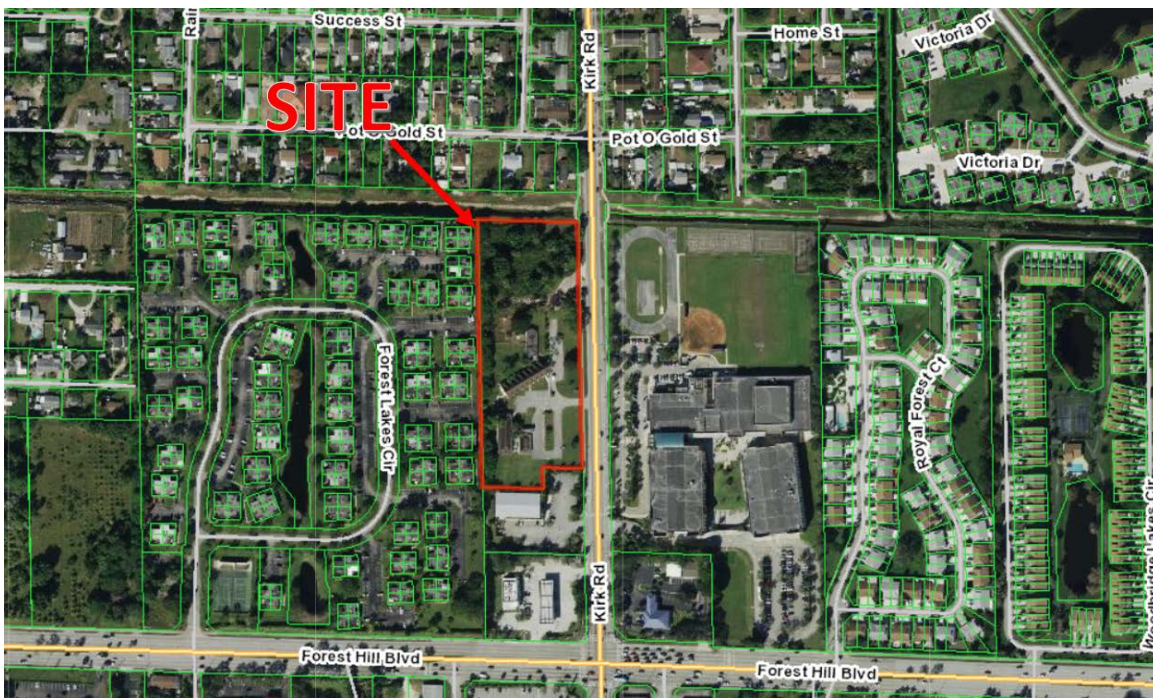
The following is a summary of all the proposed applications:

- **Request 1: Special Exception Use Modification Approval** to clarify that the previously approved recreational facility (Court Club) will operate as a privately owned membership club, with a restaurant and bar as accessory and subordinate

uses to the principal recreational use.

- **Request 2: Variance from Distance Separation Requirements:** A variance from Sections 34-830(b) and 34-830(c) of the Village Code to allow the inclusion of an accessory restaurant and bar within the private membership club.

The property is bounded by residential uses to the north, Kirk Road and the Palm Springs Community Middle School to the east, a commercial use to the south, and townhouses to the west. Currently, the subject property supports a Future Land Use Atlas designation of Medium Density Residential and is within the Residential Multiple-Family (RM) zoning district. The subject property is surrounded on one side by a public right-of-way: Kirk Road to the east.



**Site Aerial**

Below is a summary of surrounding properties:

Adjacent Lands	Uses	FLU	Zoning
<b>Subject Property (Proposed)</b>	<b>Recreation Use &amp; Facility (Private Membership Club with Accessory Restaurant/Bar)</b>	<b>Medium Density Residential</b>	<b>RM</b>
<b>North</b>	LWDD Canal, Single-Family Residential & Multifamily Residential	MR-5 (Unincorp. PBC)	RM (Unincorp. PBC)

<b>South</b>	Retail (Dollar General)	COM	CG
<b>East</b>	Palm Springs Community Middle School	Education (E)	Governmental (G)
<b>West</b>	Townhouses	HR-8 (Unincorp. PBC)	RM (Unincorp. PBC)

**JUSTIFICATION:**

The proposed development of the site as a recreational use and facility represents an efficient and appropriate use of the property while providing design flexibility to respond to the surrounding Village of Palm Springs community. The subject site functions as a transitional area between the commercial uses along the Kirk Road corridor and the adjacent residential neighborhoods. As such, the project has been intentionally designed to bridge these contexts by incorporating architectural elements and materials that reflect the corridor’s modern character while maintaining a more residential scale and appearance.

The proposed building features a contemporary Spanish architectural style with varied façades, articulated elevations, and a combination of materials and parapet treatments to create visual interest and reduce perceived mass. The design incorporates stepped planes and consistent architectural detailing on all sides of the structure, ensuring compatibility with both the roadway frontage and adjacent properties.

The site is well-suited for the proposed use given its location along a major arterial roadway and its proximity to existing commercial and institutional uses. The development is consistent with the established development pattern along the Kirk Road corridor and has been thoughtfully arranged to mitigate potential impacts while providing an appropriate transition to nearby residential areas. Through site design, building placement, and architectural treatment, the project ensures the development is compatible and consistent with the existing character of the surrounding area.

Importantly, the proposed use has already been deemed appropriate for the site through prior Village Council approval on March 18, 2025. This application does not alter the approved site plan, intensity, or overall development program. Instead, it is limited to clarifying the operational characteristics of the previously approved recreational facility as a privately owned membership club, including customary ancillary restaurant and bar components. The requested approvals do not increase intensity or introduce new impacts but instead formalize operational details consistent with the original approval.

Based on the site’s location, surrounding land uses, and prior approvals, the proposed development continues to represent the highest and best use of the property and will contribute positively to the Village by activating a previously underutilized site with a compatible and well-designed recreational amenity.

As required by Section 34-606(b), the following provides updated responses to the applicable Special Exception criteria and standards associated with this request.

**Request 1: Special Exception Request Standards:**

As required by Section 34-606(b) please find responses to the applicable criteria and standards below for an application requesting Special Exception approval. The Applicant is proposing one (1) Special Exception use: Recreation Use and Facility within the RM zoning district. The following responses apply:

1. The proposed special exception use is consistent with goals, objectives, and policies of the village's comprehensive plan.

**Response: The proposed use as a recreational use and facility, operating as a private membership club with ancillary restaurant and bar components, remains consistent with the goals, objectives, and policies of the Village's Comprehensive Plan. The subject property is located within the Medium Density Residential Future Land Use designation along Kirk Road, a major arterial roadway intended to accommodate uses that serve surrounding residential areas.**

**The proposed use continues to function as a community-oriented recreational amenity and does not introduce a standalone commercial use. The ancillary food and beverage components are customary to private recreational clubs and are subordinate to the principal use. As such, the request is consistent with Objective B and Policy B.2 of the Future Land Use Element, as it provides a service-oriented use with direct access to an arterial roadway while maintaining compatibility with the surrounding residential character.**

2. The proposed special exception is consistent with the land development regulations and all other portions of this Code

**Response: The proposed use remains consistent with the Land Development Regulations and all applicable provisions of the Code. The principal use continues to be a Recreation Use and Facility permitted by Special Exception within the RM zoning district. This request does not introduce a new use but clarifies the operational structure of the previously approved development. The ancillary restaurant and bar uses are accessory and subordinate to the primary recreational use and are intended solely to serve members and guests of the facility.**

3. The proposed special exception use is compatible with the character and use (existing and future) of the surrounding properties in its function; hours of operation, type and amount of traffic to be generated; building location, mass,

height and setback; and other relevant factors peculiar to the proposed special exception use and the surrounding property.

**Response: The proposed use is compatible with the character and use of surrounding properties in terms of function, traffic, building scale, and operational characteristics. The project will operate as a membership-based recreational club, which inherently limits intensity and user volume compared to traditional commercial uses. The site is surrounded by residential uses to the north and west, a school to the east, and commercial uses to the south along the Kirk Road corridor, making it an appropriate transitional use.**

**The building location, mass, height, and setbacks remain unchanged from the previously approved plan. Traffic generation has been evaluated and complies with the adopted Traffic Performance Standards (TPS), and the addition of ancillary uses will not materially increase traffic beyond what was previously approved.**

4. The establishment of the proposed special exception use in the identified location does not create a concentration or proliferation of the same or similar type of special exception use, which may be deemed detrimental to the development or redevelopment of the area in which the special exception use is proposed to be developed.

**Response: The proposed use will not result in a concentration or proliferation of similar Special Exception uses. Recreational club facilities of this nature are not prevalent in the immediate area. The development introduces a unique recreational amenity that serves the surrounding community and supports the Village's broader redevelopment goals along the Kirk Road corridor.**

5. The proposed special exception use does not have a detrimental impact on surrounding properties based on:
  - a. The number of persons anticipated to be using, residing, or working on the property as a result of the special exception use;

**Response: The number of persons anticipated to utilize the site is not expected to be detrimental to surrounding properties. The membership-based structure of the facility provides a controlled user base, which limits intensity compared to general commercial uses.**

- b. The degree of noise, odor, visual, or other potential nuisance factors generated by the special exception use; and

**Response: Potential nuisance factors such as noise, visual impacts, and other disturbances have been mitigated through site design, building placement, and buffering. The ancillary restaurant and bar components are internal to the private club and will not function as a standalone public establishment, further limiting potential impacts.**

- c. The effect on the amount and flow of traffic within the vicinity of the proposed special exception use.

**Response: The project has been evaluated through a traffic study and is in compliance with the Countywide Traffic Performance Standards. The addition of ancillary uses will not significantly increase traffic beyond what was previously approved by the Village Council.**

- 6. That the proposed special exception use:

- a. Does not significantly reduce light and air to adjacent properties.

**Response: The proposed development will not reduce light or air to adjacent properties, as no changes to building height, massing, or placement are proposed from the previously approved site plan.**

- b. Does not adversely affect property values in adjacent areas.

**Response: The development is not expected to adversely affect property values. To the contrary, redevelopment of a previously abandoned and underutilized site into a high-quality recreational facility is anticipated to enhance surrounding property values and contribute positively to the area.**

- c. Would not be deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations.

**Response: The proposed development will not deter the improvement or redevelopment of surrounding properties. The project replaces an abandoned structure and contributes to the continued revitalization of the Kirk Road corridor.**

- d. Does not negatively impact adjacent natural systems or public facilities, including parks and open spaces.

**Response: The development does not negatively impact adjacent natural systems or public facilities, including parks and open spaces. The site is previously disturbed, and the project complies with all applicable environmental and infrastructure requirements.**

- e. Provides pedestrian amenities, including, but not limited to, benches, trash receptacles, and/or bicycle parking

**Response: The project provides pedestrian amenities consistent with Code requirements, including sidewalks surrounding the building, designated areas for refuse, and bicycle parking. A total of 20 bicycle parking spaces are provided on-site, supporting multimodal accessibility.**

**Request 2: Variance from Distance Separation Requirements:** A variance from the distance separation requirements set forth in Sections 34-830(b) and 34-830(c) of the Village Code, to allow for the inclusion of the accessory restaurant and bar within the private membership club.

Chapter 34, Section 34-603 of the Code of Ordinances, Village of Palm Springs, requires a statement of special reasons or basis for the variance request. This statement should be predicated on the objectives presented in Section 34-603(f)(1) of the Code. The statement must include comments on each of the following individually:

- a. That special condition and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or buildings in the same land development district.

**Response: Special conditions and circumstances exist that are unique to the subject property due to its location along a major arterial roadway (Kirk Road) and its immediate adjacency to an established school use and surrounding residential development patterns. The site is constrained by its fixed geographic relationship to these existing uses, which were established independent of the proposed development. Additionally, the property's configuration, frontage, and prior land use approvals—including the Village Council's approval on March 18, 2025—further establish that the site has long been intended for redevelopment under conditions that require flexibility in applying separation standards. These circumstances are not generally applicable to other similarly zoned parcels within the Village.**

- b. That the special conditions and circumstances do not result from the actions of the applicant.

**Response: The identified conditions are not the result of any action by the Applicant but rather are inherent to the property and its surrounding context. The proximity to the school and adjacent residential uses is an existing condition that predates the Applicant's involvement and was present at the time of prior approvals. The Applicant is not creating the condition requiring relief but is responding to site constraints that have existed for decades.**

- c. That granting the variance requested will not confer on the applicant and special privilege that is denied by this chapter to other lands, buildings, or structures in the same land development district.

**Response: Granting the requested variance will not confer a special privilege but will instead allow the property to be utilized in a manner consistent with its zoning designation and prior approvals. Recreational club facilities with accessory food and beverage services are common and customary components of similar developments. The variance simply allows the subject property to operate in a manner comparable to other recreational facilities that include ancillary amenities, ensuring functional viability without granting any unique or exclusive advantage.**

- d. That literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same land development district under the terms of this chapter and would work unnecessary and undue hardship on the applicant.

**Response: A literal interpretation of the distance separation requirements would impose an unnecessary and undue hardship by effectively preventing the reasonable operation of the previously approved recreational facility. Without the variance, the Applicant would be precluded from incorporating customary and functionally necessary ancillary uses—such as a restaurant and bar—that are integral to private club operations. This would place the subject property at a disadvantage compared to similarly situated recreational facilities and would deprive the Applicant of rights commonly enjoyed by others within comparable zoning districts.**

- e. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.

**Response: The requested variance represents the minimum necessary relief to allow the reasonable and intended use of the property. The Applicant is not requesting any expansion of the development footprint, increase in building intensity, or change in the overall site layout previously approved by the Village Council. The variance is narrowly tailored solely to address the separation requirements as they relate to the inclusion of ancillary uses within a private club setting.**

- f. That the granting of the variance will be in harmony with the general intent and purpose of this chapter.

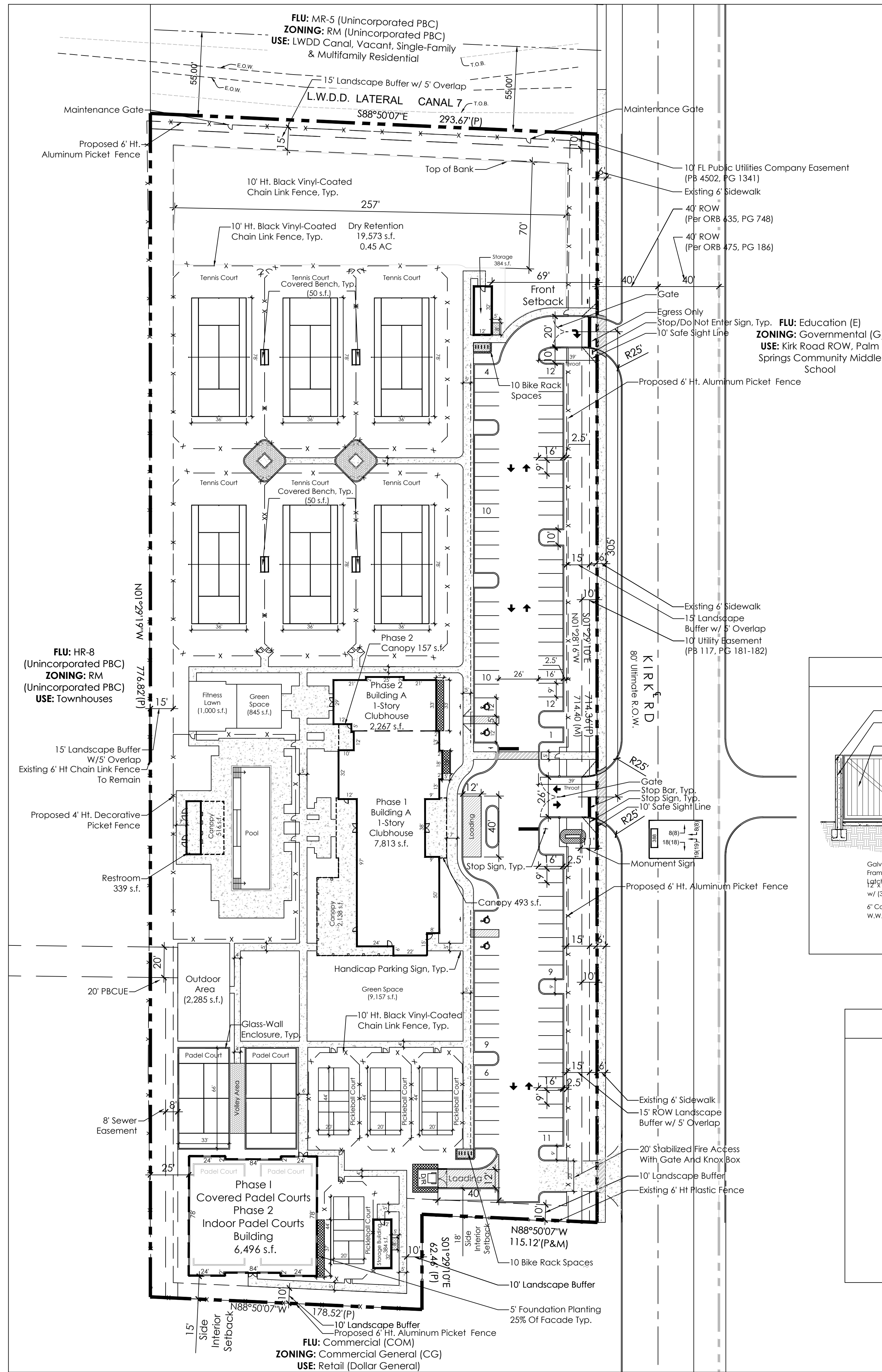
**Response: Granting the variance will remain in harmony with the general intent and purpose of the Code, which is to promote compatible development, protect surrounding properties, and ensure the orderly use of land. The proposed private club use, including its ancillary components, is designed to operate at a controlled intensity and is compatible with the surrounding mix of residential, institutional, and commercial uses. The**

**development maintains appropriate buffering, site design, and operational characteristics consistent with Code objectives.**

- g. That such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

**Response: The requested variance will not be injurious to the surrounding area or detrimental to public welfare. The proposed use remains a low- to moderate-intensity, membership-based recreational facility with controlled access and operations. The ancillary restaurant and bar components are internal and subordinate to the primary use and will not function as a standalone public establishment. Furthermore, the project has been evaluated for traffic, compatibility, and operational impacts and complies with applicable standards, ensuring no adverse effect on neighboring properties or public facilities.**

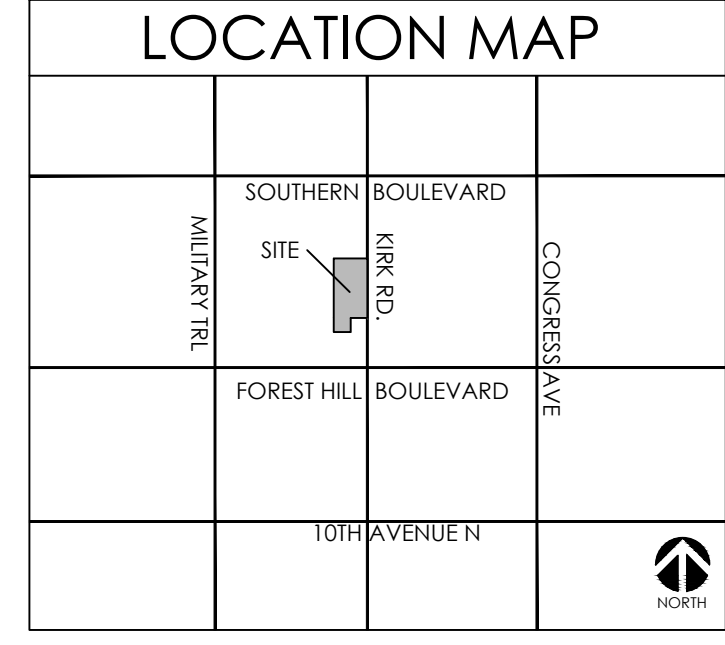
On behalf of the Property Owner, 1591 Kirk Road Partners, LLC (“Owner”), Schmidt Nichols Inc. respectfully requests approval of the Special Exception Use modification and associated variance.



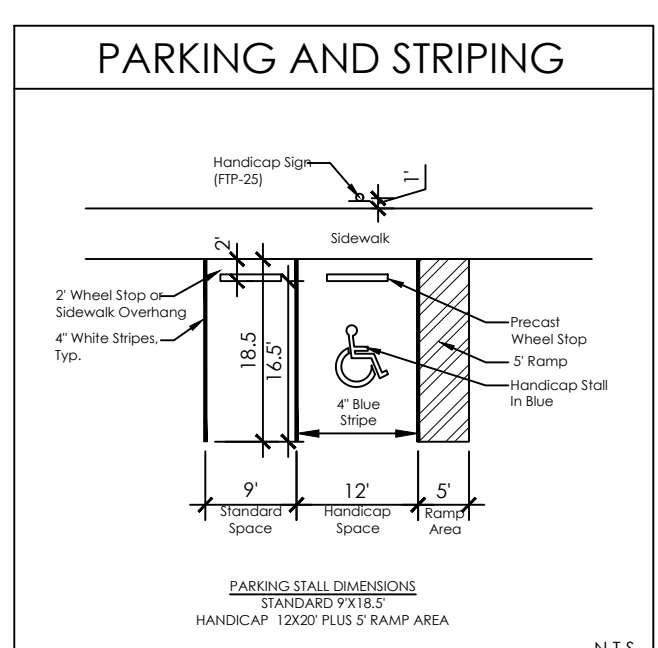
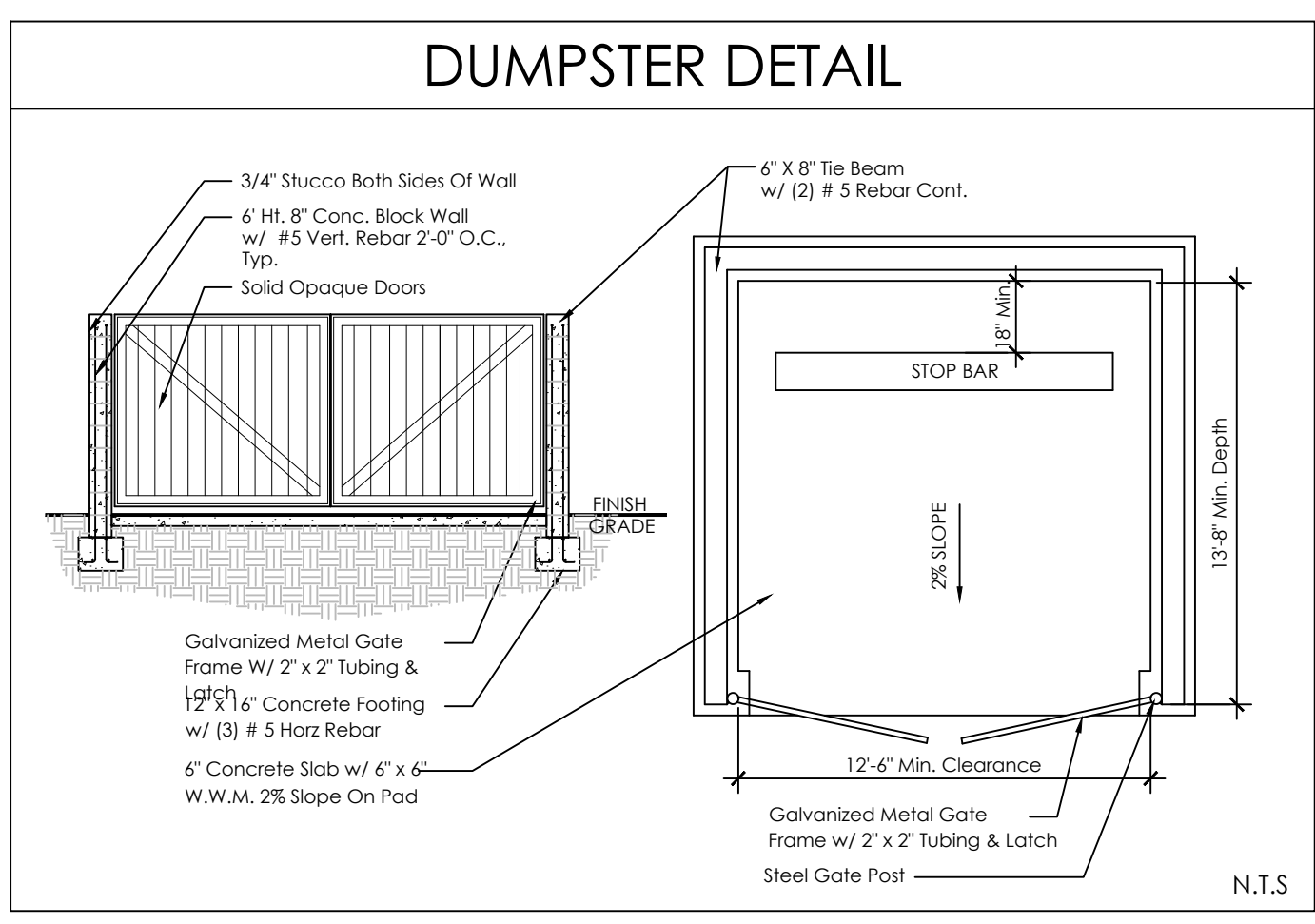
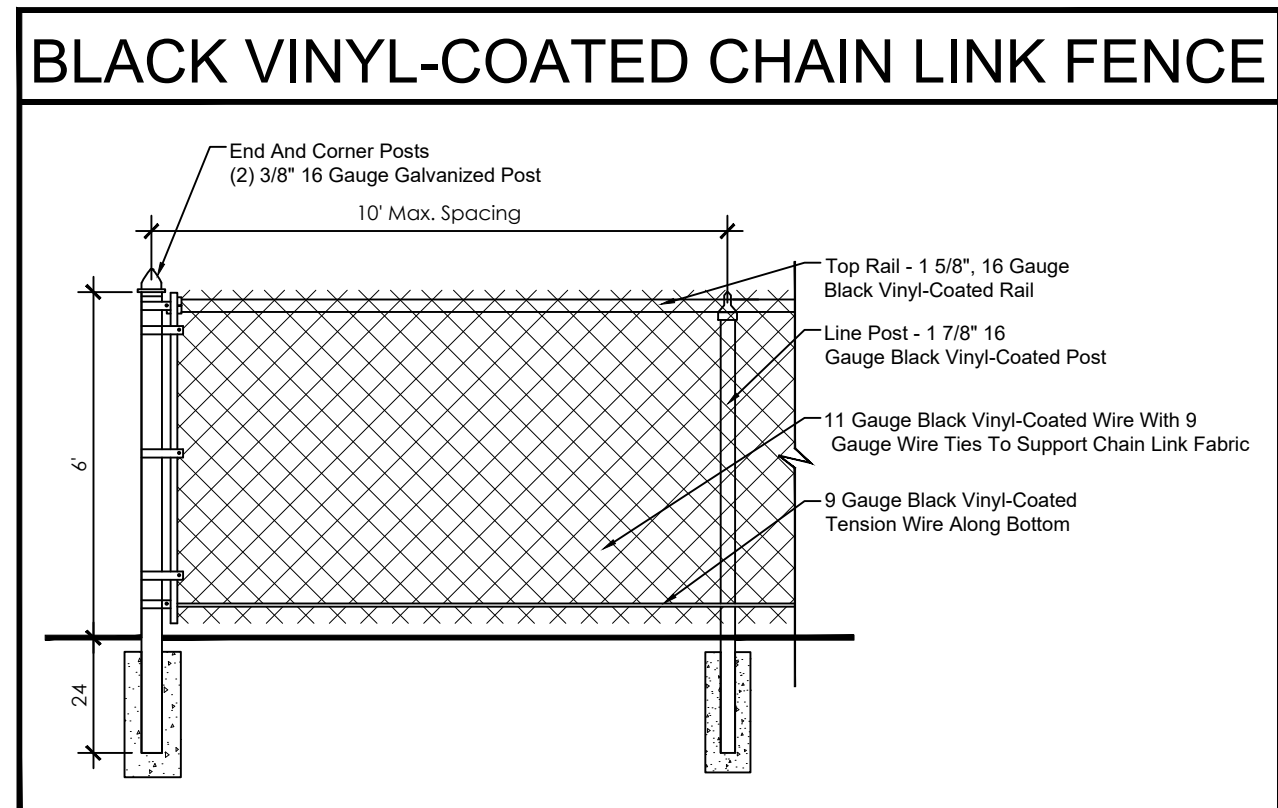
DEVELOPMENT TEAM	
DEVELOPER:	1591 KIRK ROAD PARTNERS LLC 1812 S. OLIVE AVENUE LAKE WORTH, FL 33401 (412) 877-3439
ARCHITECT:	SPINA O'Rourke & PARTNERS ARCHITECTURE & INTERIOR DESIGN 285 BANYAN BOULEVARD WEST PALM BEACH, FL 33401 (561) 684-6844
TRAFFIC ENGINEER:	PTC 601 HERITAGE DRIVE, SUITE 493 JUPITER, FL 33458 (561) 296-9698
PLANNER:	SCHMIDT NICHOLS 1551 N FLAGLER DRIVE, SUITE 102 WEST PALM BEACH, FL 33401 (561) 684-6141
CIVIL ENGINEER/SURVEYOR:	MICHAEL B. SCORAH & ASSOCIATES, INC. 1850 FOREST HILL BOULEVARD, SUITE 206 WEST PALM BEACH, FL 33406 (561) 968-0080

**LEGAL DESCRIPTION**  
LOT 2 OF LUTHERAN CHURCH - KIRK ROAD ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 117, PAGE 181 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA  
CONTAINING: 220,689 SQUARE FEET OR 5.066 ACRES MORE OR LESS

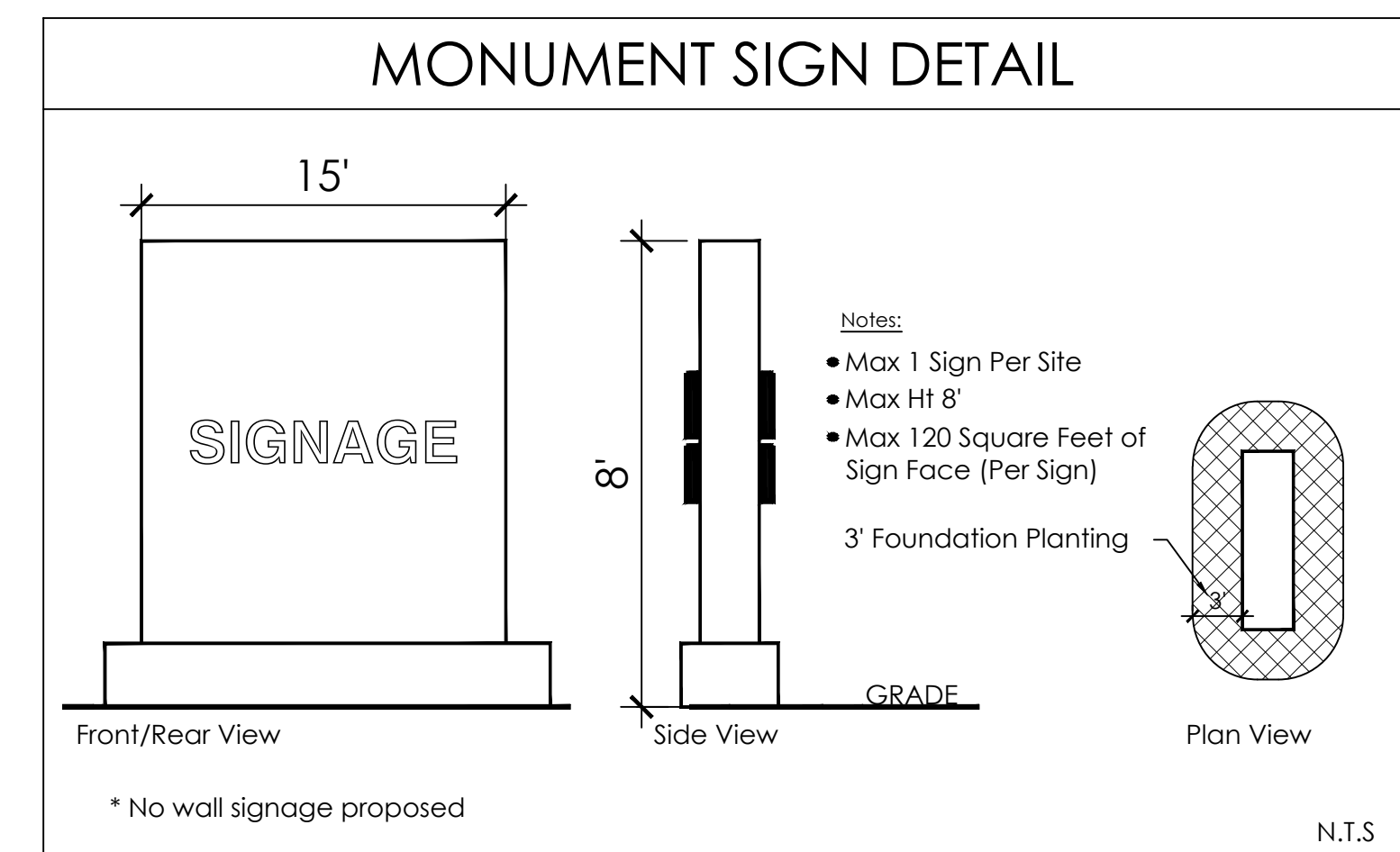
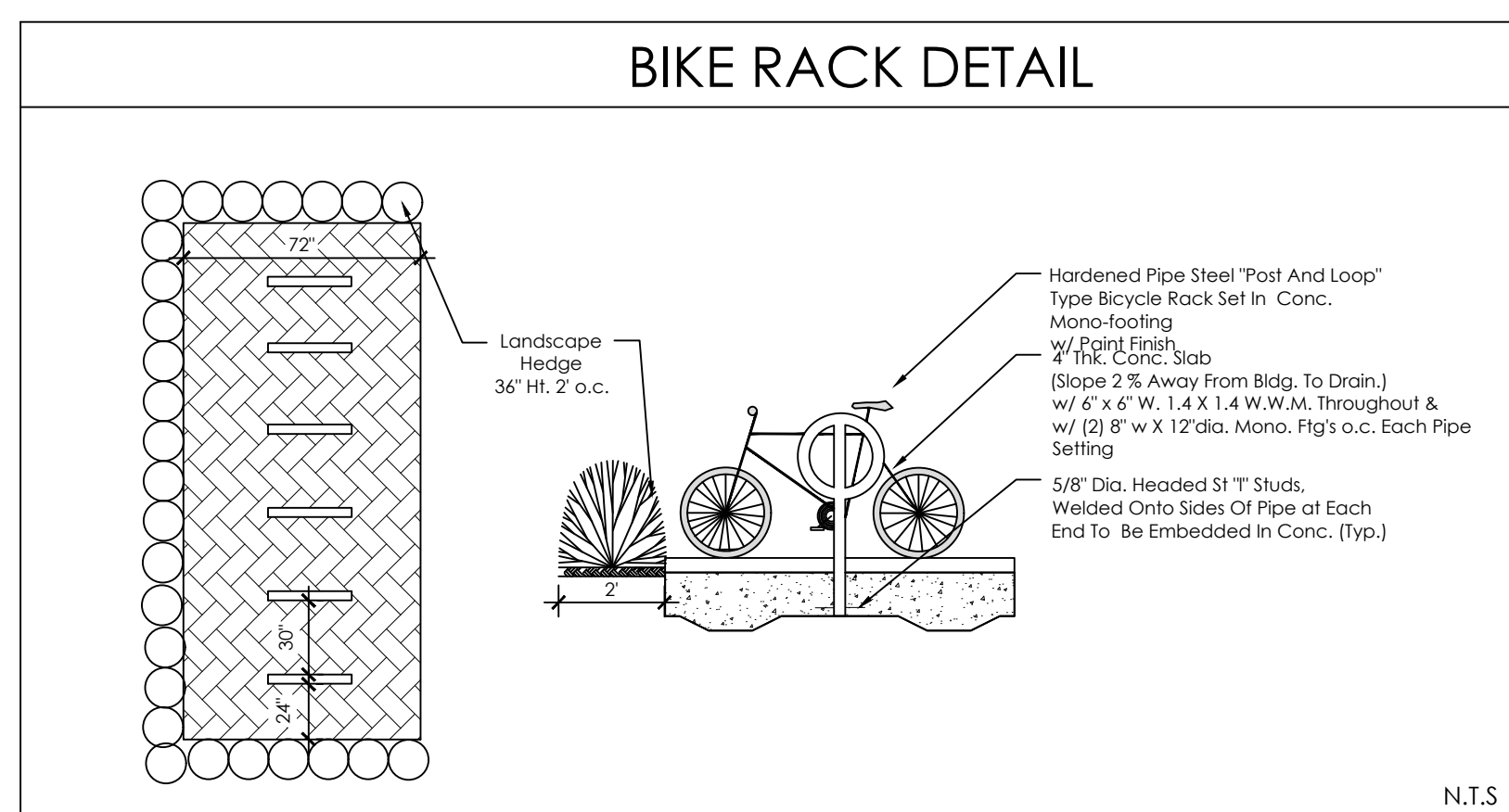
**NOTES**  
BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY MICHAEL B. SCHORAH & ASSOCIATES, INC. DATED 07/31/2023



SITE TABULAR DATA	
Application Name	Court Club
Application Number	SPR25-02, PSSE25-01
Future Land Use Designation	Medium Density Residential
Zoning District	Residential Multiple-Family (RM)
Section, Township, Range	12/44/42
Property Control Number	70-42-44-12-39-000-0020
Existing Use	Place of Worship
Proposed Use	Recreation Uses and Facilities
Total Gross Site Area	5.07 AC. (220,689 s.f.)
Total Gross Floor Area	17,683 s.f.
Phase 1	
Building A	7,813 s.f.
Spa and Health Center (Clubhouse)	
Building C	384 s.f.
Tennis Storage	384 s.f.
Building D	384 s.f.
Pickleball & Padel Storage	
Building E	339 s.f.
Pool Restroom	
Phase 2	
Building A	2,597 s.f.
Spa and Health Center (Clubhouse)	
Building B	6,496 s.f.
Indoor Padel Courts	
Total Floor Area Ratio (Phase 1)	0.04
Total Floor Area Ratio (Phase 2)	0.08
Total Building Coverage (Phase 1 - including canopies of 9,843 s.f.)	9%
Total Building Coverage (Phase 2 - including canopies of 157 s.f.)	10%
Impervious Area	34% (75,014 s.f.)
Buildings (17,683 s.f.)	8%
Pavements/Walks (56,478 s.f.)	26%
PerVIOUS/Semi-PerVIOUS Area	66% (145,135 s.f.)
Recreation/Open Space	% (ac.)
Max. Building Height	max. 35'
Proposed Building Height	23'-11"
Number of Stories	1
Parking Required	72 SPACES
Phase 1	
Outdoor athletic courts - 1 space/1,500 square feet of court area and adjoining paved area @ 54,250 s.f. = 38	
Spa and Health Center - 1 space/300 s.f. @ 7,813 s.f. = 26	
Phase 2	
Spa and Health Center - 1 space/300 s.f. @ 2,267 s.f. = 8	
Proposed Parking	81 SPACES
Handicap Spaces Required	4
Handicap Spaces Proposed	4
Loading Required (12' x 40' Min.)	2
Loading Provided	2
Bicycle Spaces Required	19
Bicycle Spaces Provided	20
Traffic Analysis Zone	294
Concurrency Approval* Recreation Use and Facility 8,920 s.f. (Phase 1) Recreation Use and Facility 8,763 s.f. (Phase 2)	
*Concurrency is approved for the above uses and amounts shown on this plan	



PROPERTY DEVELOPMENT REQUIREMENTS												
ZONING DISTRICT	CODE	MINIMUM LOT DIMENSIONS				MAX FAR	MAX BLDG COVER	MAX IMPERVIOUS	SETBACKS/SEPARATIONS			
		SIZE	WIDTH	FRONTAGE	DEPTH				FRONT	SIDE INTERIOR	SIDE STREET	REAR
RM	RM	N/A	80'	80'	100'	N/A	40%	55%	25'	15'	20'	25'
PROP	RM	5.07 AC.	714.72'	714.72'	294.37'	0.08	10%	34%	69'	15'	N/A	25'



**SCHMIDT NICHOLS**

LANDSCAPE ARCHITECTURE AND URBAN PLANNING  
1551 N. Flagler Dr., Ste 102  
West Palm Beach, FL 33401  
Phone: 561.684.6141  
Email: info@snlandplan.com  
Website: www.snlandplan.com  
License No: LC26000232

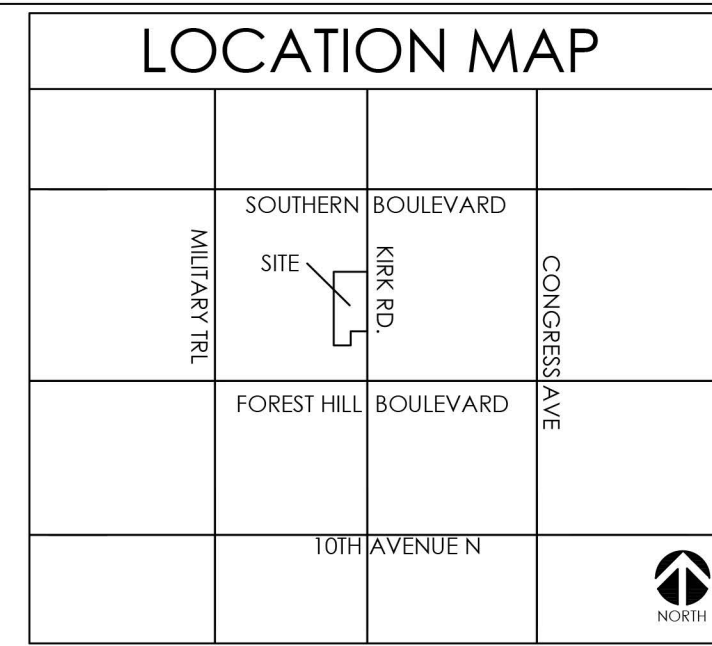
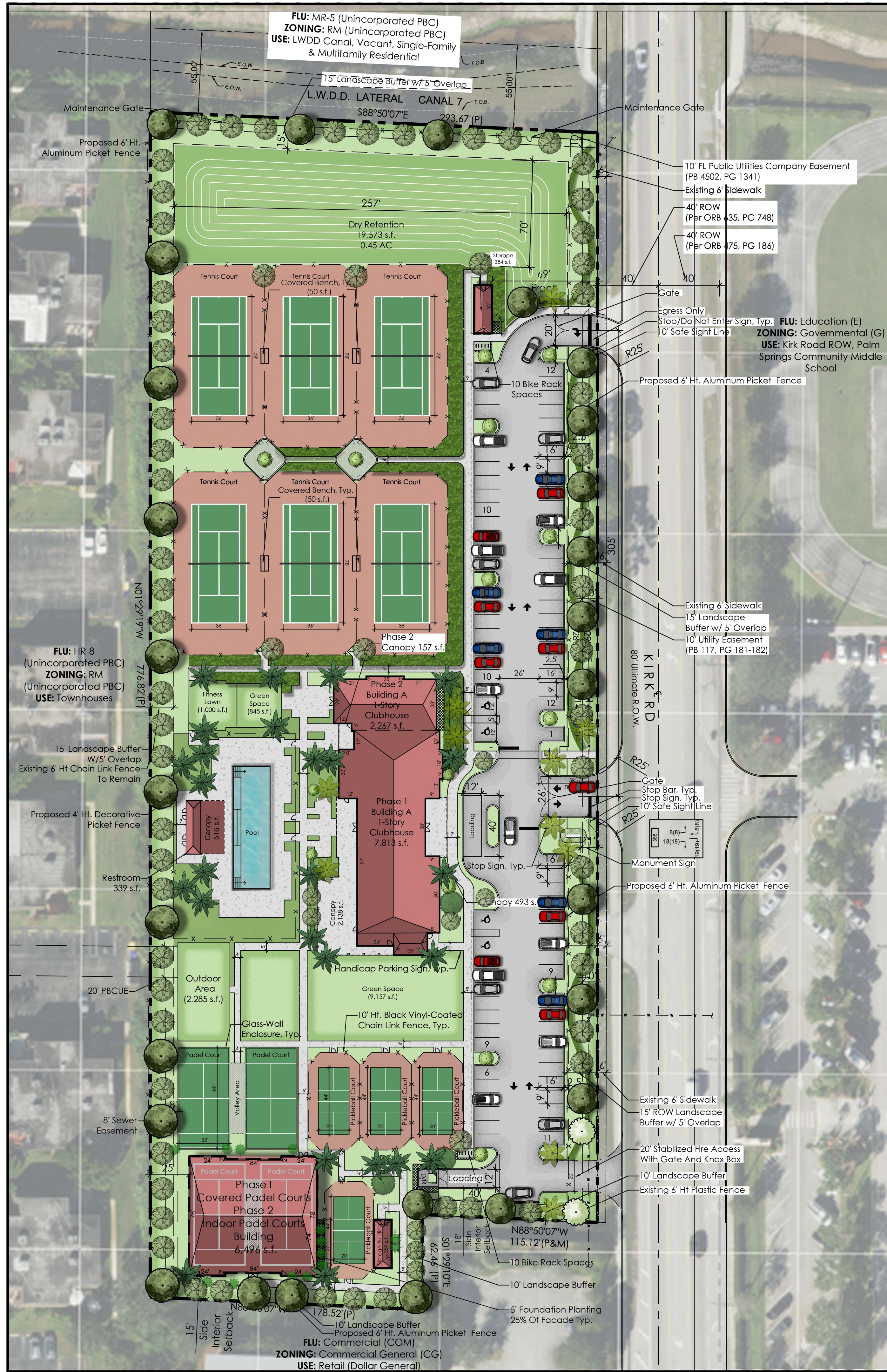
**Court Club**  
Village of Palm Springs, Florida

Date: 01/29/25  
Scale: 1" = 60'  
Design By: AH  
Drawn By: AH  
Checked By: JS  
File No: 1148.01  
Job No: 23-67

REVISIONS / SUBMISSIONS  
01/13/25 Resubmittal  
02/28/25 Resubmittal

PRELIMINARY SITE PLAN

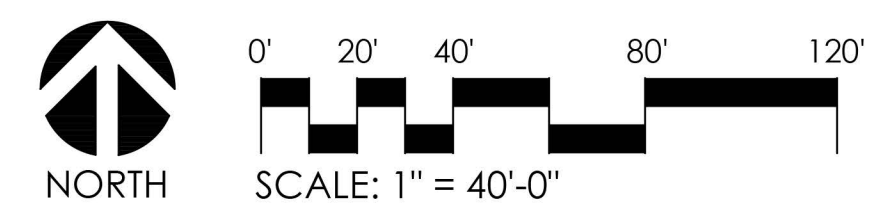
**PSP-1** of 1



SITE TABULAR DATA	
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Total Building Coverage (Phase 1 - including canopies of 9,843 s.f.)	9%
Total Building Coverage (Phase 2 - including canopies of 157 s.f.)	10%
Impervious Area	39% (86,524 s.f.)
Buildings (17,683 s.f.)	8%
Pavements/Walks (68,841 s.f.)	31%
Pervious/Semi-Pervious Area	61% (134,165 s.f.)
Recreation/Open Space	64% (141,338 s.f.)
Max. Building Height	max. 35'
Proposed Building Height	23'-11"
Number of Stories	1
Parking Required	71 SPACES
Phase 1	
Outdoor athletic courts - 1 space/1,500 square feet of court area and adjoining paved area @ 55,493 s.f. = 37	
Spa and Health Center - 1 space/300 s.f. @ 7,813 s.f. = 26	
Phase 2	
Spa and Health Center - 1 space/300 s.f. @ 2,267 s.f. = 8	
Proposed Parking	84 SPACES
Handicap Spaces Required	4
Handicap Spaces Proposed	4
Loading Required (12' x 40' Min.)	2
Loading Provided	2
Bicycle Spaces Required	19
Bicycle Spaces Provided	20
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Recreation Use and Facility 8,763 s.f. (Phase 2)	
*Concurrence is approved for the above uses and amounts shown on this plan	

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ZONING DISTRICT	MINIMUM LOT DIMENSIONS					MAX FAR	MAX BLDG COVER	MAX IMPERVIOUS	SETBACKS/SEPARATIONS			
	SIZE	WIDTH	FRONTAGE	DEPTH	FRONT				SIDE INTERIOR	SIDE STREET	REAR	
CODE RM	N/A	80'	80'	100'	100'	N/A	40%	55%	25'	15'	N/A	25'
PROP RM	5.07 AC.	714.72'	714.72'	294.37'	294.37'	0.08	10%	39%	69'	15'	N/A	25'

DEVELOPMENT TEAM	
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ARCHITECT:	SPINA O'ROURKE & PARTNERS ARCHITECTURE & INTERIOR DESIGN 285 BANYAN BOULEVARD WEST PALM BEACH, FL 33401 (561) 684-6844
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 West Palm Beach, FL 33401  
 Phone: 561.684.6141  
 Email: info@snlandplan.com  
 Website: www.snlandplan.com  
 License No: LC2600232

# Court Club

Village of Palm Spring, Florida

Date: 01/30/2025  
 Scale: As Shown  
 Design By: DB  
 Drawn By: DB  
 Checked By: CC  
 File No: 1148.01  
 Job No: 23-67

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

Graphic Site Plan



# Court Club

## Village of Palm Springs, Florida

SHEET	NAME	REV 1	REV 2	REV 3
A-1	MAIN CLUBHOUSE - FLOOR PLAN			
A-2	MAIN CLUBHOUSE - ROOF PLAN			
A-3	MAIN CLUBHOUSE - EXTERIOR ELEVATIONS			
A-4	MAIN CLUBHOUSE - PHASE 1 EXHIBIT			
A-5	POOL BAR BUILDING			
A-6	INDOOR PAPEL BUILDING - PHASE 2			

- INDICATES A PREVIOUS DRAWING THAT HAS BEEN MODIFIED UNDER THE ASSOCIATED REVISION
- HOLLOW INDICATES SHEET THAT IS ENTIRELY NEW UNDER THE ASSOCIATED REVISION



# SITE PLAN SUBMITTAL (01-13-25)

### CONSULTANTS:

**SCHMIDT & NICHOLS  
LANDSCAPE ARCHITECT**

1991 NORTH FLAGLER DRIVE, SUITE 102  
WEST PALM BEACH, FL 33401  
(561) 994-6141

**SCHMIDT & NICHOLS  
LAND PLANNERS**

1991 NORTH FLAGLER DRIVE, SUITE 102  
WEST PALM BEACH, FL 33401  
(561) 994-6141

**MICHAEL B. SCHORAH &  
ASSOCIATES  
CIVIL ENGINEER**

1950 FOREST HILL BLVD, SUITE 209  
WEST PALM BEACH, FL 33409  
(561) 998-0090



**SPINAOROURKE**  
+ PARTNERS

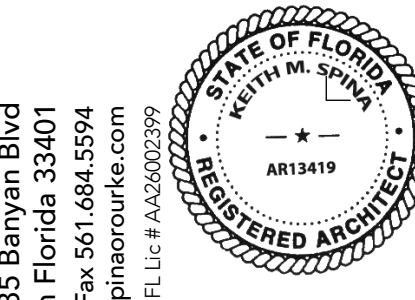
Architecture + Interior Design

Keith M. Spina # AR13419

285 BANYAN BLVD  
WEST PALM BEACH, FLORIDA 33401

ph: 561.684.6844 • spinaorourke.com

FL Lic. # AA26002399



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FL Lic. # AA26002399



**SPINAOROURKE**  
+ PARTNERS  
Architecture • Interior Design  
Keith M. Spina # AR13419

New Construction For:  
**Court Club**  
Village of Palm Springs, Florida

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Revisions:

Project no: 24031  
Date: (01-13-25)  
Drawn by: CG  
Project Manager: CG

Project no: 24031  
Date: (01-13-25)  
Drawn by: CG  
Project Manager: CG

**CVR-Z**  
SITE PLAN SUBMITTAL

COVER SHEET - SPA

### MATERIAL AND COLOR LEGEND

- PT-1 BUILDING BODY AND WINDOW SILLS - STUCCO PAINTED BENJAMIN MOORE SHIP-Y WHITE
- ST-1 EXTERIOR TRIM & HARDSCAPE, COQUINA NATURAL
- TER-1 2 PIECE TERRA COTTA BARRELTILE
- MTL-1 EXTERIOR KYNAR BRONZE FINISH, TYPICAL DOORS & WINDOWS
- MTL-2 EXTERIOR KYNAR 'LIGHT BLUE' FINISH, TRELLIS & SHUTTERS
- MTL-3 EXTERIOR CORRUGATED METAL SIDING, 'COLONIAL RED' OR SIMILAR TO NAT'L TERRA COTTA BARREL TILE COLOR

**NOTE: EXTERIOR ELEVATIONS SHOW FINAL OF PHASE 2 CONSTRUCTION, SEE SHEET A-4 FOR PHASE 1 CONDITIONS**



19'-0"  
TO PARAPET  
17'-0"  
T.O. BEAM (GLBHS - 2)  
14'-0"  
T.O. BEAM (GLBHS - 1)  
0'-0"  
OT LEVEL 1



19'-0"  
TO PARAPET  
17'-0"  
T.O. BEAM (GLBHS - 2)  
14'-0"  
T.O. BEAM (GLBHS - 1)  
0'-0"  
OT LEVEL 1

3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

4 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



25'-11"  
BUILDING HEIGHT

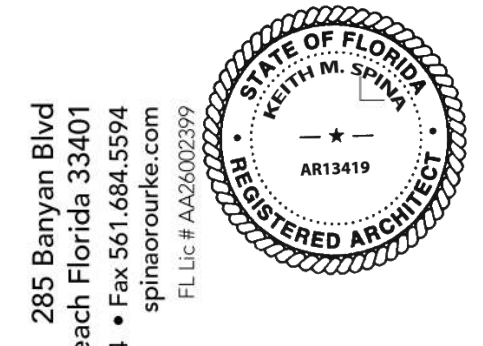
19'-0"  
TO PARAPET  
17'-0"  
T.O. BEAM (GLBHS - 2)  
14'-0"  
T.O. BEAM (GLBHS - 1)  
0'-0"  
OT LEVEL 1

2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



19'-0"  
TO PARAPET  
17'-0"  
T.O. BEAM (GLBHS - 2)  
14'-0"  
T.O. BEAM (GLBHS - 1)  
0'-0"  
OT LEVEL 1

1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



285 Banyan Blvd  
West Palm Beach Florida 33401  
561.684.6844 • 4  
spinaorourke.com  
FL LIC # A242007899

**SPINAOROURKE**  
+ PARTNERS



Architecture • Interior Design  
Ken M. Spina #ART1919

New Construction For:  
**Court Club**

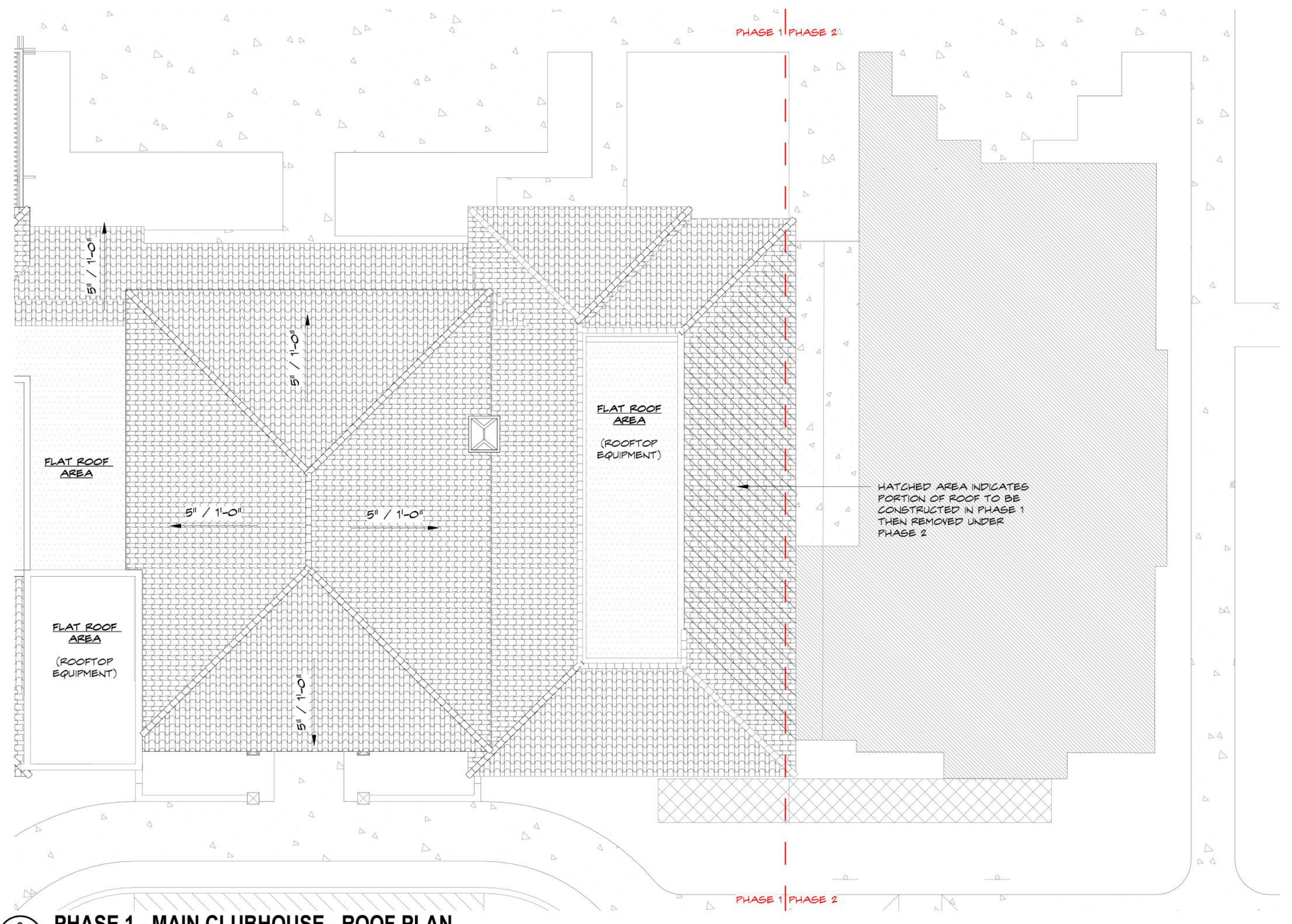
Village of Palm Springs, Florida

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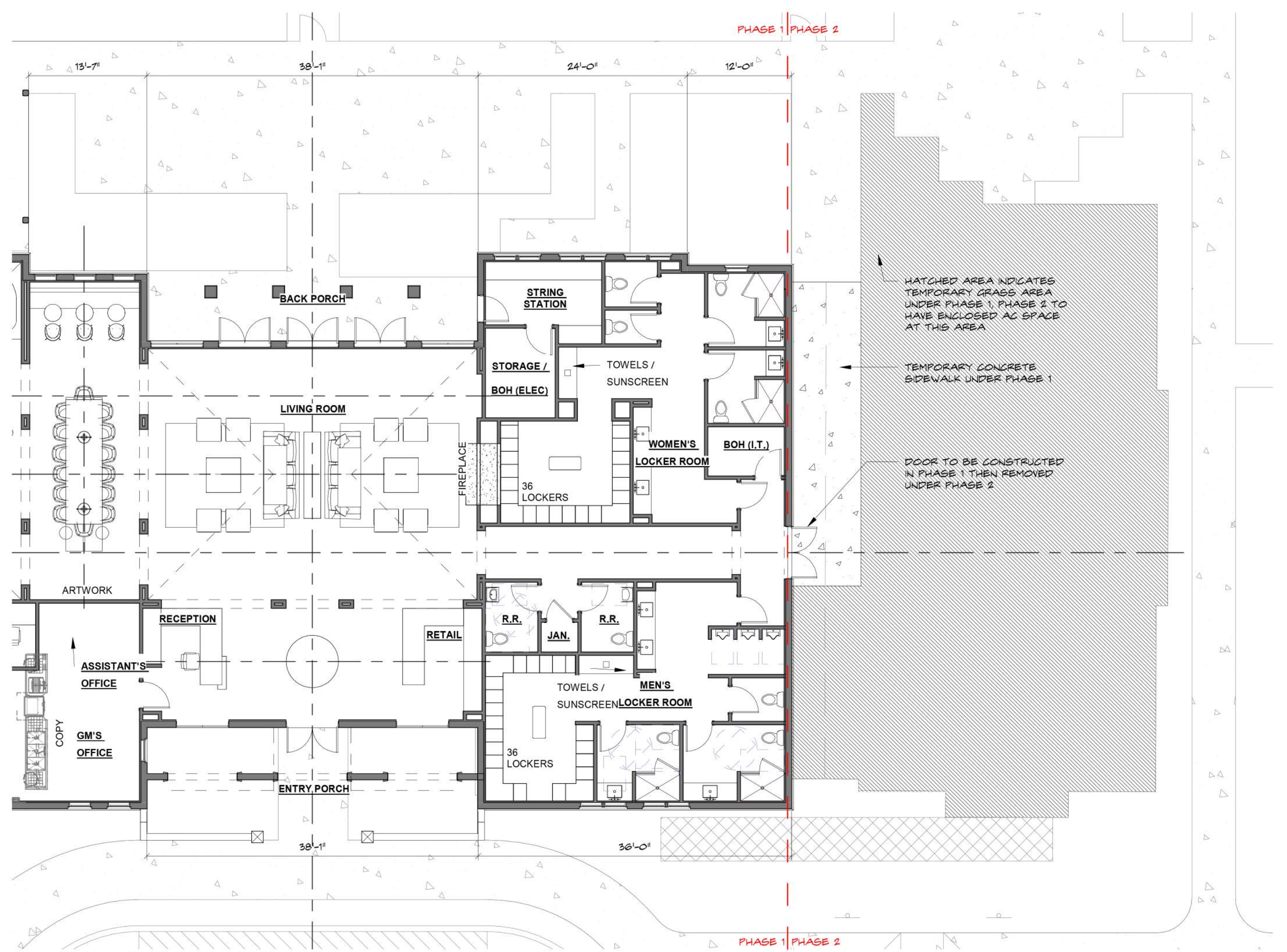
Revisions:


Project no: 24031  
Date: (01-13-25)  
Drawn by: CG  
Project Manager: CG

**A-3**  
SITE PLAN SUBMITTAL



2 PHASE 1 - MAIN CLUBHOUSE - ROOF PLAN  
SCALE: 1" = 10'-0"



1 PHASE 1 - FLOOR PLAN  
SCALE: 1" = 10'-0"



3 PHASE 1 - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



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FILED # AB20070399

**SPINAOROURKE**  
+ PARTNERS



Architecture • Interior Design  
Keith M. Spina # AB20070399

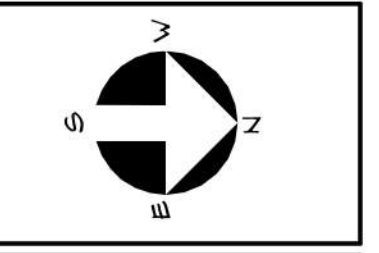
New Construction For:  
**Court Club**  
Village of Palm Springs, Florida

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Revisions:

--	--

Project no: 24031  
Date: (01-13-25)  
Drawn by: CG  
Project Manager: CG



**A-4**  
SITE PLAN SUBMITTAL

### MATERIAL AND COLOR LEGEND

- PT-1 BUILDING BODY AND WINDOW SILLS - STUCCO PAINTED BEAUMIN MOORE SIMPLY WHITE
- ST-1 EXTERIOR TRIM & HARDSCAPE, COQUINA NATURAL
- TER-1 2 PIECE TERRA COTTA BARRELTILE
- MTL-1 EXTERIOR KYNAR BRONZE FINISH, TYPICAL DOORS & WINDOWS
- MTL-2 EXTERIOR KYNAR 'LIGHT BLUE' FINISH, TRELLIS & SHUTTERS
- MTL-3 EXTERIOR CORRUGATED METAL SIDING, 'COLONIAL RED' OR SIMILAR TO MATCH TERRA COTTA BARREL TILE COLOR

**4 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



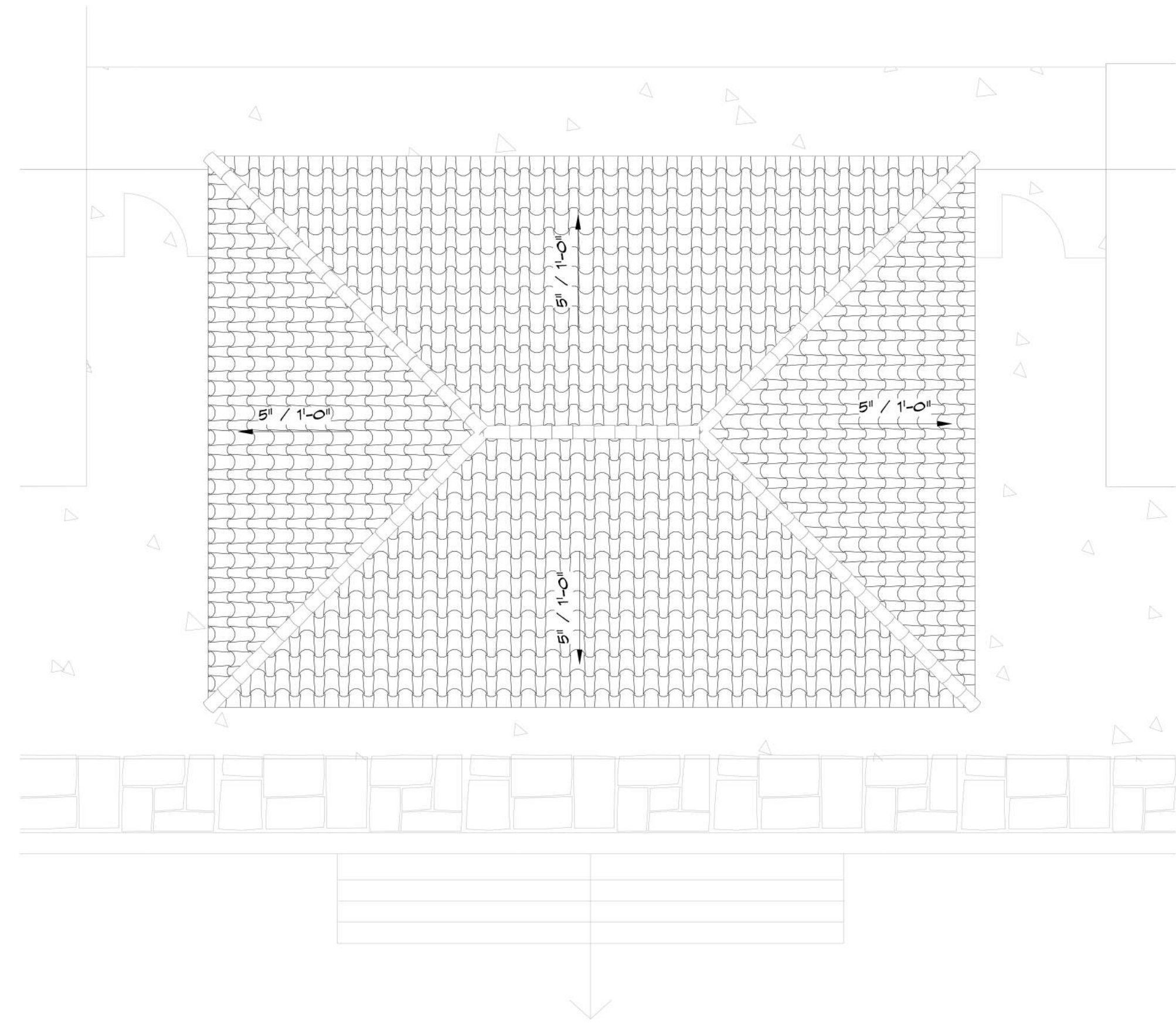
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SCALE: 3/16" = 1'-0"



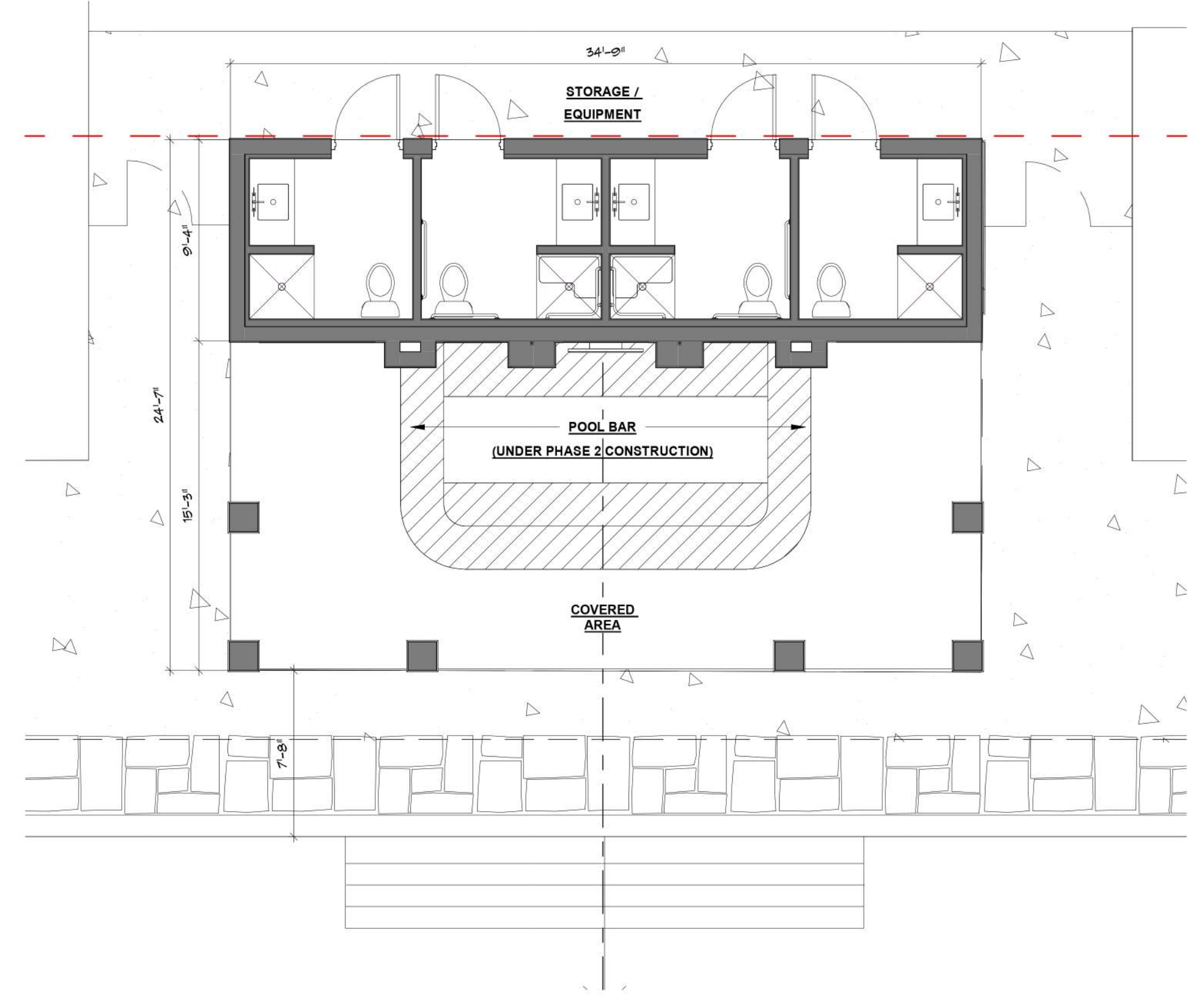
**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**B ROOF PLAN**  
SCALE: 3/16" = 1'-0"



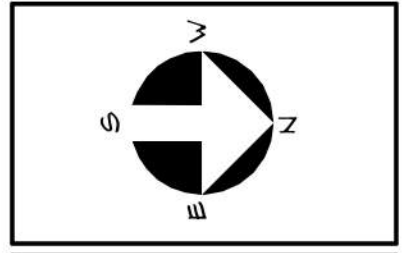
**A FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

New Construction For:  
**Court Club**  
Village of Palm Springs, Florida

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Revisions:


Project no: 24031  
Date: (11-27-24)  
Drawn by: CG  
Project Manager: CG



**A-5**  
SITE PLAN SUBMITTAL

### MATERIAL AND COLOR LEGEND

- PT-1 BUILDING BODY AND WINDOW SILLS - STUCCO PAINTED BEAUMIN MOORE SIMPLY WHITE
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- MTL-1 EXTERIOR KYNAR BRONZE FINISH, TYPICAL DOORS & WINDOWS
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- MTL-3 EXTERIOR CORRUGATED METAL SIDING, 'COLONIAL RED' OR SIMILAR TO MATCH TERRA COTTA BARREL TILE COLOR

**NOTE: INDOOR PADEL BUILDING WILL BE CONSTRUCTED UNDER PHASE 2 OF THE PROJECT.**



**4 NORTH ELEVATION**  
SCALE: 1" = 10'-0"



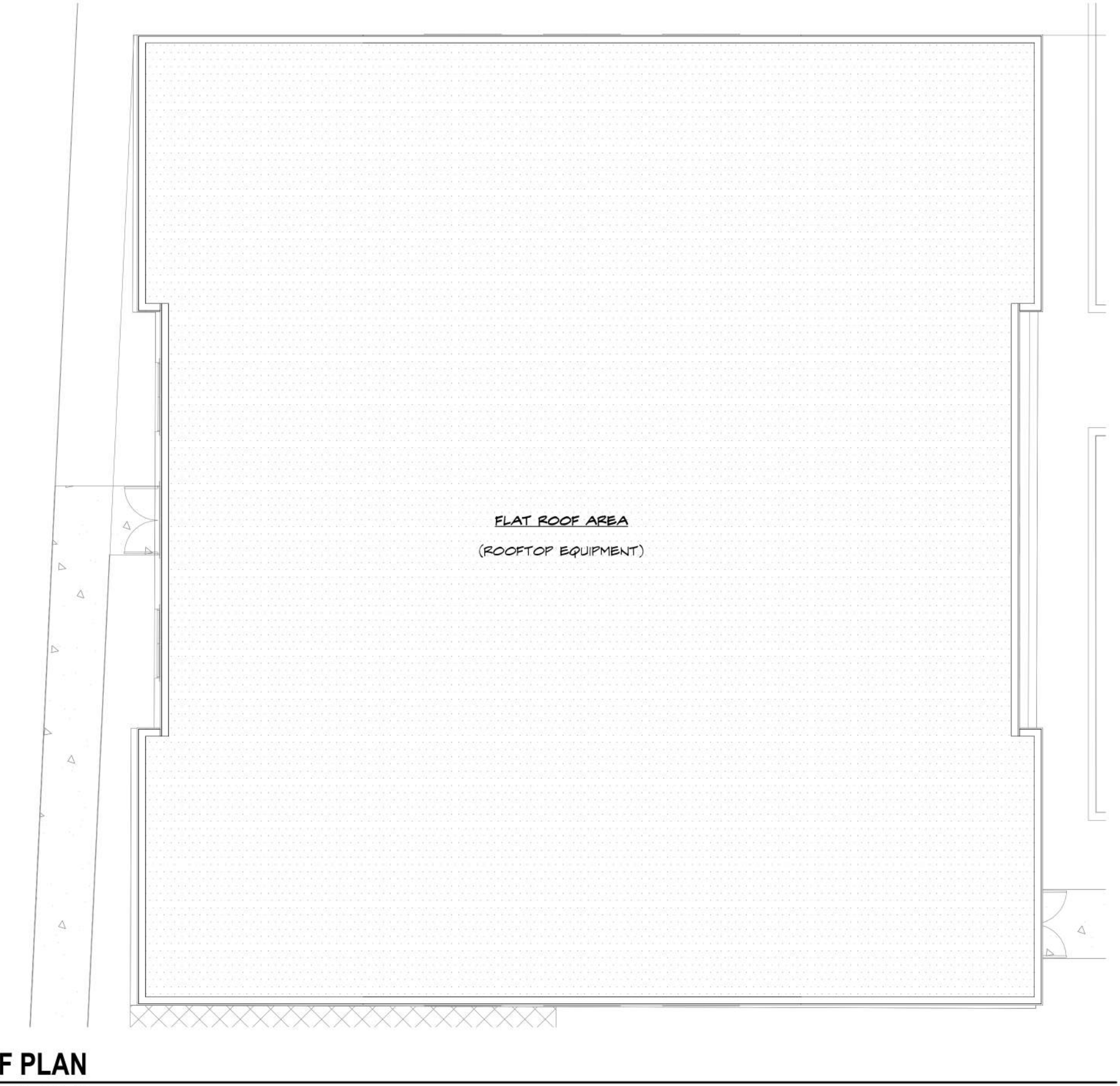
**3 SOUTH ELEVATION**  
SCALE: 1" = 10'-0"



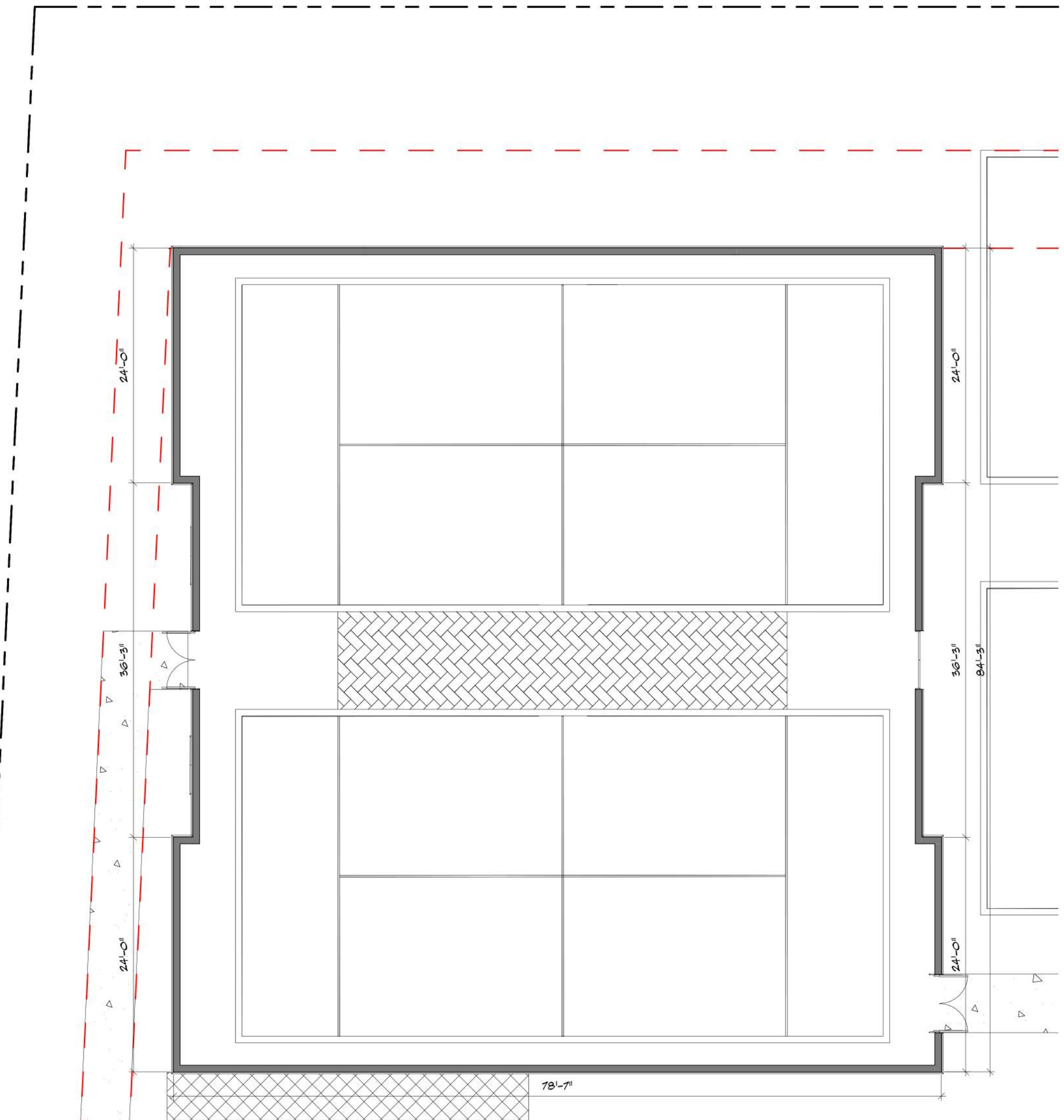
**2 WEST ELEVATION**  
SCALE: 1" = 10'-0"



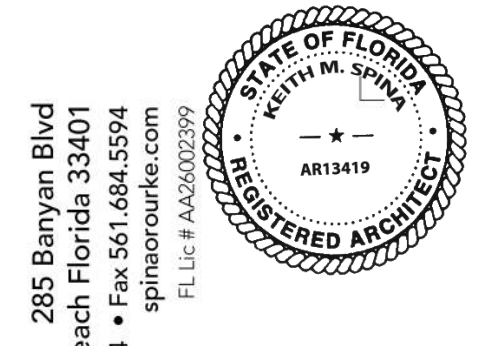
**1 EAST ELEVATION**  
SCALE: 1" = 10'-0"



**B ROOF PLAN**  
SCALE: 1" = 10'-0"



**A FLOOR PLAN**  
SCALE: 1" = 10'-0"



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spinaorourke.com  
FL LIC # AB20070999

**SPINAOROURKE**  
+ PARTNERS



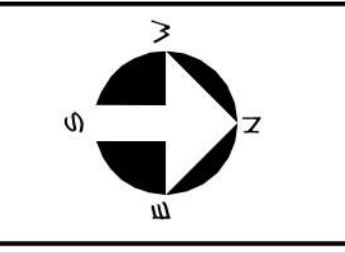
Architecture • Interior Design  
Keith M. Spina # AB201919

New Construction For:  
**Court Club**  
Village of Palm Springs, Florida

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Revisions:


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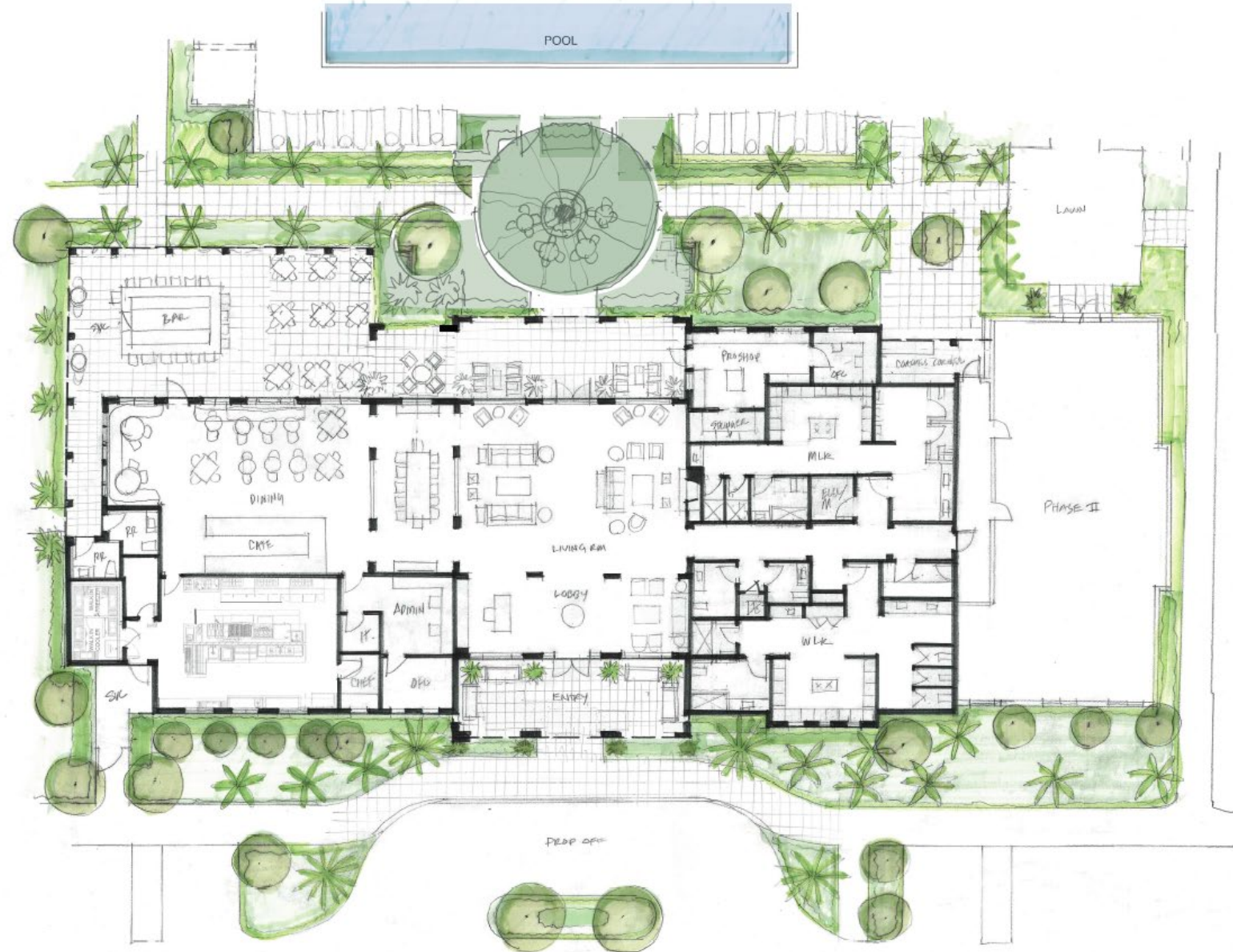


**A-6**  
SITE PLAN SUBMITTAL

INDOOR PADEL BUILDING - PHASE 2



# ARCHITECTURAL FLOOR PLAN



NORTH



# POOL RENDERING





# SITE RENDERING







# Village of Palm Springs

## Executive Brief

**AGENDA DATE:** June 11, 2026

**DEPARTMENT:** Planning, Zoning & Building

---

**ITEM #11:** *(First Reading/ Quasi-Judicial Hearing)* Ordinance No. 2026-04 - Small Scale Land Use Amendment and Rezoning — Banyan Palm Beach (f/k/a The Retreat) — 4020 Lake Worth Road

**SUMMARY:** Mr. Jeffrey C. Lynne, agent for the applicants, is requesting a Small-Scale Land Use Amendment and Rezoning on 3.17 acres to facilitate the use of the property as a special residential facility.

The proposed small-scale land use change would be from Commercial and Commercial General to Mixed-Use, respectively. The property is less than 50 acres in size (3.17 acres) and is planned as a special residential facility.

The applicants are currently requesting Site Plan and Special Exception Use Amendments to increase the number of approved beds from 88 to 128 beds. The proposed site plan is presented (within this item) for informational purposes only (no action is required at this time).

**Note:** The Village does not typically place conditions of approval on future land use map changes. The legislative decision regarding the appropriateness of the land use map and zoning amendments is approved on the second and final reading. The proposed site plan is subject to future Village Council review via a separate resolution.

The proposed request was submitted through the PBC Intergovernmental Plan Amendment Review Committee (IPARC) for intergovernmental review, and no comments were received.

**Note:** IPARC is designated to provide coordination of proposed plan amendments, cooperation between affected local governments and service providers, and provide opportunities to resolve potential disputes only within the plan amendment.

The Planning & Zoning Board considered this item during their May 12, 2022 meeting and recommended approval.

The Local Planning Agency (LPA) will consider this item during its June 11, 2026, meeting, and their recommendation will be shared with the Village Council before consideration.

If approved on the 1st reading, the proposed ordinance will be considered for the 2nd and final reading by the Village Council on July 9th, 2026.

**FISCAL IMPACT:**

The proposed request is not expected to provide a direct fiscal impact on the village. However, if approved, it would require various village services that would result in increased expenditures to the village.

**ATTACHMENTS:**

1. Proposed Ord No. 2026-04 Small Scale LU Amd The Retreat\_BIS
2. Proposed Ordinance No. 2026-04 - Small Scale Land Use Amendment - 4020 Lake Worth Road
3. Justification Statements
4. Proposed Future Land Use (FLU) Map
5. Proposed Zoning Map
6. Site Plan

# Business Impact Estimate

*This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the Village's website by the time notice of the proposed ordinance is advertised and published.*

Proposed ordinance's title:

## **ORDINANCE NO. 2026-04**

AN ORDINANCE OF THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, APPROVING A SMALL-SCALE FUTURE LAND USE MAP (FLUM) AMENDMENT AND REZONING FOR PROPERTY GENERALLY AT 4020 LAKE WORTH ROAD, PALM SPRINGS, MORE PARTICULARLY DESCRIBED HEREIN; CHANGING THE FUTURE LAND USE DESIGNATION FROM COMMERCIAL TO MIXED-USE; CHANGING THE ZONING DESIGNATION FROM GENERAL COMMERCIAL (CG) TO MIXED-USE (MU); FINDING THE REQUEST CONSISTENT WITH THE VILLAGE COMPREHENSIVE PLAN AND LAND DEVELOPMENT CODE; PROVIDING FOR TRANSMITTAL; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes.

1. Summary of the proposed ordinance (must include a statement of public purpose, such as serving the public health, safety, morals and welfare):

The proposed ordinance serves a valid public purpose by promoting the public health, safety, morals, and general welfare of the community. The amendment will facilitate the development of a special residential facility that provides housing and supportive services for individuals requiring specialized residential care. The request is consistent with the Village's comprehensive planning objectives and will allow the property to be developed in a manner that addresses community housing and care needs while ensuring compatibility with surrounding development through subsequent site plan and special exception review processes.

2. An estimate of the direct economic impact of the proposed ordinance on private, for-profit businesses in the City, if any:

(a) An estimate of direct compliance costs that businesses may reasonably incur:

The proposed ordinance is not anticipated to have a direct adverse economic impact on private, for-profit businesses. The ordinance is site-specific and affects only the subject property by changing its future land use designation and zoning classification. Any economic impacts are expected to be limited and may include positive economic effects associated with property improvements, construction activity, employment opportunities, and the purchase of goods and services related to the operation of the proposed facility.

(b) Any new charge or fee imposed by the proposed ordinance or for which businesses will be financially responsible:

None

(c) An estimate of the City's regulatory costs, including estimated revenues from any new charges or fees to cover such costs:

None.

3. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

The Village estimates that one (1) property owner/applicant will be directly affected by the proposed ordinance. No existing private, for-profit businesses are anticipated to be negatively impacted by the proposed land use and zoning amendments.

4. Additional information the governing body deems useful (if any):

The proposed amendment was reviewed through the Palm Beach County Intergovernmental Plan Amendment Review Committee (IPARC), and no comments or objections were received. The request is limited to a 3.17-acre parcel and qualifies as a small-scale amendment under Florida law. The ordinance does not impose new regulatory requirements, fees, operational restrictions, or compliance obligations on existing businesses within the Village. Any future development of the site will remain subject to separate Village review and approval processes, including site plan and special exception approvals, to ensure consistency with applicable development regulations and community standards.

Based on the information available, the Village finds that the proposed ordinance is not expected to have a significant negative economic impact on private, for-profit businesses and serves a legitimate public purpose by supporting housing and residential care opportunities within the community

## ORDINANCE NO. 2026-04

(SMALL SCALE LAND USE AND REZONING AMENDMENT)

**AN ORDINANCE OF THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, APPROVING A SMALL-SCALE FUTURE LAND USE MAP (FLUM) AMENDMENT AND REZONING FOR PROPERTY GENERALLY AT 4020 LAKE WORTH ROAD, PALM SPRINGS, MORE PARTICULARLY DESCRIBED HEREIN; CHANGING THE FUTURE LAND USE DESIGNATION FROM COMMERCIAL TO MIXED-USE; CHANGING THE ZONING DESIGNATION FROM GENERAL COMMERCIAL (CG) TO MIXED-USE (MU); FINDING THE REQUEST CONSISTENT WITH THE VILLAGE COMPREHENSIVE PLAN AND LAND DEVELOPMENT CODE; PROVIDING FOR TRANSMITTAL; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Village has determined the need to amend the land use designation for a parcel less than 50 acres in size (3.17 acres) to facilitate the use of the property at 4020 Lake Worth Road (PCN: 70-42-44-25-00-000-1010) to Mixed-Use for a special residential facility; and

**WHEREAS**, the subject property is currently designated Commercial on the Future Land Use Map and zoned General Commercial (CG); and

**WHEREAS**, the applicants have requested to amend the Future Land Use designation to Mixed-Use and rezone the property to Mixed-Use (MU) to facilitate the continued operation of a Special Residential Facility and related site plan amendments; and

**WHEREAS**, the subject property consists of approximately 3.17 acres and therefore qualifies as a Small-Scale Development Amendment pursuant to Section 163.3187, Florida Statutes; and

**WHEREAS**, the proposed amendment was reviewed through the Palm Beach County Intergovernmental Plan Amendment Review Committee (IPARC), and no objections or comments were received; and

**WHEREAS**, the Planning and Zoning Board reviewed the proposed amendment at its public meeting held on May 12, 2026, and recommended approval; and

**WHEREAS**, the Local Planning Agency reviewed the proposed amendment and determined the request to be consistent with the goals, objectives, and policies of the Village Comprehensive Plan; and

**WHEREAS**, the Village Council has conducted duly noticed public hearings in accordance with applicable law and has considered the application, staff report, public testimony, and all competent substantial evidence presented; and

**WHEREAS**, the Village Council finds that the proposed Small-Scale Future Land Use Amendment and Rezoning are in the best interests of the health, safety, and welfare of the residents of the Village and are consistent with the Comprehensive Plan and applicable provisions of the Village Code.

**NOW THEREFORE, BE IT ORDAINED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALM SPRINGS, FLORIDA:**

**Section 1. Findings.** The Village Council finds the above statements are true and correct and serve as a basis for consideration of this ordinance.

**Section 2. Future Land Use.** The Future Land Use designation in the Village’s Comprehensive Land Use Plan for the lands described herein, as more particularly designated in “**Exhibit A**” shall be established as “Mixed-Use” land use. Until such time as the appeal period expires, (if challenged, the new Future Land Use Designation is not effective until such time as the state land planning agency or the Administration Commission issues a final order of compliance) but not sooner than 31 days following the effective date of this ordinance, all development of said lands shall be subject to the requirement of the existing Village Land Use Plan, Zoning, and Subdivision Regulations.

**Section 5. Repeal of Conflicting Ordinances.** All Ordinances, Resolutions or parts of Ordinances and Resolutions in conflict herewith are hereby repealed.

**Section 6. Severability.** If any word, clause, sentence, paragraph, section or part thereof contained in this Ordinance is declared to be unconstitutional, unenforceable, void or inoperative by a court of competent jurisdiction, such declaration shall not affect the validity of the remainder of this Ordinance.

**Section 7. Effective Date.** This Ordinance shall become effective 31 days from adoption.

Council Member \_\_\_\_\_, offered the foregoing Ordinance, and moved its adoption. The motion was seconded by Council Member \_\_\_\_\_, and upon being put to a vote, the vote was as follows:

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>
BEV SMITH, MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PATTI WALLER, VICE MAYOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOHNNIE TIECHE, MAYOR PRO TEM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GARY READY, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KIM SCHMITZ, COUNCIL MEMBER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Ordinance No. 2026-04 – 4020 Lake Worth Road

The Mayor thereupon declared this Ordinance approved and adopted by the Village Council of the Village of Palm Springs, Florida, on second reading, this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

VILLAGE OF PALM SPRINGS, FLORIDA

BY: \_\_\_\_\_  
BEV SMITH, MAYOR

First Reading \_\_\_\_\_

Second Reading \_\_\_\_\_

ATTEST:

BY: \_\_\_\_\_  
KIMBERLY M. WYNN, VILLAGE CLERK

REVIEWED FOR LEGAL FORM AND SUFFICIENCY

BY: \_\_\_\_\_  
CHRISTY GODDEAU, VILLAGE ATTORNEY

**JUSTIFICATION STATEMENT**  
**BANYAN PALM BEACH – F.K.A. THE RETREAT**  
**VILLAGE OF PALM SPRINGS**  
**LAND USE AMENDMENT, REZONING, SPECIAL**  
**EXCEPTION USE AND SITE PLAN AMENDMENT**  
**APPLICATIONS**  
**ORIGINAL SUBMITTAL: MARCH 26, 2026**

**Introduction:**

On behalf of the property owner, BCP Florida Holdings, LLC, and its tenant, Boca RI, LLC dba Banyan Palm Beach (doing business nationally as “Banyan Treatment Centers”) (collectively the “Applicants”), their agents Jeffrey C. Lynne, Esq., of Cohen Norris Wolmer Ray Telepman Berkowitz & Cohen, and 2GHO Inc., respectfully request approval of the following applications:

- Land Use Amendment to Mixed-Use Land Use;
- Rezoning from GC – General Commercial Zoning District to MU - Mixed-Use Zoning District;
- Special Exception to allow a Special Residential Facility (SRF);
- Site Plan Amendment to increase the total number of beds from the approved 88 beds to 128 beds; and
- A Waiver from Section 34-1002 – Development Standards for a SRF.

The 3.17-acre subject site (PCN 70-42-44-25-00-000-1010) is located on the southeast corner of Lake Worth Road and Cooley Court in the Village of Palm Springs, Florida.

**Request:**

The Applicants seek to amend the previously approved Resolution (Resolution has not been signed) which approved an amendment to the previously approved site plan and special exception uses for the property to increase the number of approved beds from 88 to 128. The Applicants are not proposing any exterior changes to the existing buildings nor any increase in the overall square footage of the buildings or changes to the physical site plan approved through the same resolution.

The purpose of the requested amendment is to meet ongoing increasing demand within the primary mental health space since the Covid pandemic. No addiction treatment services are expected to be provided on-property though persons with co-occurring disorders of both Substance Use Disorder and Mental Health may be treated on-site on a case-by-case basis. Many of the Clients using these services are from Palm Beach County and the Village of Palm Springs.

Hours of Operation for this facility are 24/7; staff is onsite 24 hours a day with clinicians present during the day working 8-hour shifts per day. The staff-to-resident ratio for clinicians is 1:10 and overall staff during waking hours 1:15. It should be noted, with the previous submittal and approval the “employee in the greatest shift” was a preliminary number and had not been fully vetted. With this application to request the increase in beds, the overall need for staff has been evaluated and it has been determined that 50 staff members on the greatest shift is sufficient for the increase in beds.

The required security management plan has previously been provided to the Village and is being resubmitted as information and record with this application. This plan confirms established security protocols and procedures that ensure the safety of clients, staff, and visitors while also complying with state and local authorities.

**Surrounding Property Information:**

	EXISTING FLU	EXISTING ZONING	PCN	EXISTING USE
Subject Site	Commercial	CG	70-42-44-25-00-000-1010	CLF Type III
North	Commercial	CG	70-42-44-24-11-000-0010 70-42-44-24-00-000-5620	Commercial Commercial
South	PBC – MR-5	RM	Multiple PCNs	Residential
East	Commercial	CG	70-42-44-25-00-000-1380	Retail
West	Commercial	CG	00-42-44-25-00-000-1020	Commercial

**History:**

The original development order was approved in unincorporated Palm Beach County in 2009 for a rezoning to a Planned Mixed-Use Development and a Requested Use to allow a Congregate Living Facility – Type III, including outpatient services and a 65-bed inpatient residential treatment program for primary Substance Use Disorder (SUD), licensed by the Florida Department of Children and Families (DCF).

The following is a list of the approvals for the subject site:

LIST OF APPROVALS		
Resolution No.	Application Request	Date of Approval
R-2009-0174 R-2009-0175 R-2009-0176	PBC - These resolutions of approval were from the original approvals within unincorporated Palm Beach County – approval was a rezoning and a requested use to allow a CLF Type III	January 29, 2009
R-2013-45	The property was annexed into the Village of Palm Springs	2013
R-2013-49	Approved the site plan and special exception uses on the property	2013
R-2015-23	Approved a site plan amendment	2015
TBD	AP25-0094 Special Exception and Site Plan Amendment	February 12, 2026

The property was annexed into the Village on July 26, 2013 via Annexation Agreement as approved by Resolution 2013-45. The Annexation Agreement acknowledged the then-pending application before Palm Beach County to approve the requested inpatient treatment facility use as a Type III Congregate Living Facility (CLF). After annexation and approval by the Village, the property was subsequently approved for expansion in 2015 to incorporate adjacent property to build an accessory use of a gymnasium on site, as approved by Resolution 2015-23. On February 12, 2026, the Village approved an amendment to the approved site plan, the Special Exception uses and an increase of beds from 65 to 88 beds. Via correspondence from the Village dated June 10, 2025, the Village advised that any further requests to increase bed count would require a rezoning of the property to Mixed Use/MU, a Future Land Use Map amendment to Mixed Use, an application to convert the approved CLF Type III to a Special Residential Facility as a Special Exception use, and a Site Plan Amendment to facilitate same.

**Comprehensive Plan Criteria:**

The Village of Palm Springs Future Land Use Map and any amendments to the Future Land Use Map shall be evaluated based upon the following criteria:

- a) The Land Use does not have an adverse impact on natural resources and ecosystems;

***Response: The proposed land use will not result in any adverse impacts on natural resources or existing ecosystems. The development has been designed and evaluated to ensure the protection of environmental features, maintain ecological functions, and avoid degradation of surrounding natural systems.***

- b) The Land Use promotes the efficient and cost-effective provision or extension of public infrastructure and services;

**Response: The proposed land use supports the efficient and cost-effective provision and extension of public infrastructure and services. As the site has existing buildings that are not being increased or modified, except for additional patients. Public infrastructure and services are anticipated to remain the same and not impact current levels of services or capacities of public utilities.**

- c) The Land Use promotes a walkable and connected community, and when possible, includes facilities for pedestrians, bicyclists, and transit;

**Response: As the site is existing, there are sidewalks along the frontage road (Lake Worth Road) of the property. Based on the use of the site, state licensing and the previously approved security plan, non-patient pedestrians (except authorized guests), bicyclists, etc. are not allowed on the property or within the facility.**

- d) The Land Use promotes conservation of water and energy;

**Response: The proposed land use incorporates practices that promote the conservation of both water and energy. The development was designed to utilize efficient systems, reduce overall resource consumption, and support long-term sustainability consistent with applicable standards and best management practices.**

- e) The Land Use preserves open space and natural lands and provides for public open space and recreation needs;

**Response: Because the site was fully developed and no exterior modifications are proposed as part of this application, the existing open space, existing recreation areas and natural areas on the property will remain unchanged. The proposed land use does not reduce or alter any existing open space, and all current conditions related to natural lands and recreational areas will be preserved as they exist today.**

- f) The Land Use will achieve and maintain the adopted level of service standards.

**Response: The proposed land use will continue to meet the adopted level-of-service standards as adopted in the Village's Comprehensive Plan. Because the site is already developed and no exterior modifications or intensification of use are proposed, there should be no increase in demand on public facilities/utilities or services. All existing infrastructure is adequate to support proposed use, and the project will maintain compliance with the applicable level-of-service requirements.**

**Special Exception Standards:**

1. The proposed special exception use is consistent with goals, objectives, and policies of the village's comprehensive plan.

***Applicant's Response: The proposed special exception amendment remains consistent with the goals, objectives, and policies outlined in the Village's Comprehensive Plan. Specifically, it continues to support the Plan's intent to promote compatible land uses, encourage redevelopment and reinvestment in established areas, and enhance access to community-serving facilities. This project, including this request will serve residents of the Village of Palm Sprints.***

2. The proposed special exception is consistent with the land development and zoning regulations and all other portions of this Code.

***Applicant's Response: The applicant is requesting a Future Land Use Map amendment, a Rezoning, and Special Exception use approval to allow a Special Residential Facility (SRF). This use, as provided for in the Village's Code of Ordinances, will bring this facility consistent with the Village's Comprehensive Plan and all applicable land development and zoning regulations. The requested increase in the number of beds continues to align with the density and intensity calculations previously approved for the project, ensuring continued compliance with established development parameters. The Mixed Use zoning and future land use categories incorporate the RM uses specifically by reference and the proposed SRF complies with all RM density and development standards.***

***Please refer to the calculations referenced above for confirmation of consistency with prior approvals.***

3. The proposed special exception use is compatible with the character and use (existing and future) of the surrounding properties in its function; hours of operation; type and amount of traffic to be generated; building location, mass, height and setback; and other relevant factors peculiar to the proposed special exception use and the surrounding property.

***Applicant's Response: The proposed SRF use remains compatible with the surrounding and adjacent land uses, which include institutional uses such as the Salvation Army, and adjacent multi-family residential developments. The property also exists with the Village's community redevelopment area and sits***

***along the municipal boundary with unincorporated Palm Beach County which maintains similar land use patterns. The increase in the number of beds will not alter the exterior of the existing buildings, nor will it affect the overall site layout. The structures on site have sufficient capacity consistent with Florida Building Code and the Life Safety Code to meet the additional requested residents. No additional parking is proposed as part of this application as the existing parking meets the code requirements. It should be noted, all residents using this facility are not permitted to have personal vehicles and do not otherwise drive themselves to this facility. They are transported to and from the property by non-emergency vehicles or private shuttle services provided by the applicant.***

***The anticipated traffic impact associated with the additional beds is minimal, with only a nominal increase in trip generation. The proposed expansion will operate within the capacity of existing infrastructure and will not adversely affect the surrounding transportation network or community character.***

4. The establishment of the proposed special exception use in the identified location does not create a concentration or proliferation of the same or similar type of special exception use, which may be deemed detrimental to the development or redevelopment of the area in which the special exception use is proposed to be developed.

***Applicant's Response: The proposed special exception does not result in a concentration of similar facilities along the Lake Worth Road corridor and this facility pre-dated any other facility which may have been approved subsequent thereto. The proposed expansion remains contextually appropriate and does not contribute to any potential concentration of similar uses.***

***The requested Special Exception to allow the Special Residential Facility will not hinder future development within the area. On the contrary, the enhancement of services and capacity is expected to contribute positively to the corridor's economic vitality by further increasing local employment, improving access to care, and reinforcing the area's role as a diverse and sustainable community of various services.***

5. The proposed special exception use does not have a detrimental impact on surrounding properties based on:
  - a. The number of persons anticipated to be using, residing, or working on the property as a result of the special exception;

- b. The degree of noise, odor, visual, or other potential nuisance factors generated by the special exception use; and
- c. The effect on the amount and flow of traffic within the vicinity of the proposed special exception use.

***Applicant's Response: The anticipated increase in beds and required employees will not strain local resources or negatively impact the surrounding properties. The number of persons anticipated to be using, residing, or working on the property as a result of the approval will not have any material impact on any adjacent properties or the surrounding neighborhood. All aspects of the use remain interior to the structures and the site, and therefore there is no noise, odor, visual, or other potential nuisance factor generated by the special exception use. There is only de minimis impact on the amount and flow of traffic within the vicinity of the proposed use per the accompanying Traffic Statement prepared and provided by the Pinder Troutman firm.***

- 6. That the proposed special use:
  - a. Does not significantly reduce light and air to adjacent properties.
  - b. Does not adversely affect property values in adjacent areas.
  - c. Would not be a deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations.
  - d. Does not negatively impact adjacent natural systems or public facilities, including parks and open spaces.
  - e. Provides pedestrian amenities, including, but not limited to, benches, trash receptacles, and/or bicycle parking.

***Applicant's Response: As noted above, the buildings are existing and the site layout will not change. The neighboring properties will continue to receive the same adequate light and air. The increase in beds will not adversely affect property values in adjacent areas as the current approvals have demonstrated to not adversely affects property values either. The existing use has not been a deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations. The expanded use will not negatively impact adjacent natural systems or public facilities. The requested expansion of the use maintains existing pedestrian amenities, including, but not limited to, benches, trash receptacles, and/or bicycle parking.***

- 7. The proposed use would enhance and/or promote redevelopment of the village, fulfill redevelopment objectives, and/or have a positive economic impact on the village,

including creating new jobs, economic growth and provide needed community-serving (neighborhood retain and commercial) uses and businesses.

***Applicant's Response: The existing approved use continues to enhance and promote the ongoing redevelopment efforts within the Village specifically in this Lake Worth Road redevelopment corridor by allowing the growth and continued economic viability of the program to meet high local demand. The further expansion of the use continues to align with established redevelopment objectives by contributing to the revitalization of the area and supporting long-term planning goals.***

**Waivers:**

Based on the code requirements located in Subdivision VI. – Special Residential Facilities – Section 34-1102 – Development Standards:

***(4) – Setbacks. No building in connection with such facilities shall be closer than 50 feet from all other lot lines.***

**As noted above, the buildings are existing and no external changes are proposed.**

**The buildings setbacks:**

- **North (Lake Worth Road) – 21.05' for Building A; 19.78' for Gym;**
- **South (rear) – 146.07'**
- **East – 7.45' for Building B**
- **West – 25' for Gym**

- a. The request is in harmony with and is consistent with the purpose and intent of the Village's Comprehensive Plan and Land Development Code and that such waiver will not be injurious to the area involved or otherwise detrimental to the public health, safety and welfare.

***Response: The request is consistent with the purpose and intent of the Village's Comprehensive Plan and Land Development Code. The waiver does not create any adverse impacts to the surrounding area and is not detrimental to public health, safety, or welfare. These are existing conditions which are requested to allow to continue.***

- b. The request results from innovative design in which other minimum standards are exceeded.

***Response: As noted above, the buildings are existing and no external changes are proposed.***

- c. The request demonstrates that granting of the waiver will result in preservation of valuable natural resources, including drainage and recharge areas, natural areas, etc.  
**Response: The existing and proposed land use will not result in any adverse impacts on natural resources or existing ecosystems. The development has been designed and evaluated to ensure the protection of environmental features, maintain ecological functions, and avoid degradation of surrounding natural systems.**
- d. The request demonstrates public benefits to be derived, including but not limited to such benefits as dedication of rights-of-way, extensions of pedestrian linkages outside of the project boundaries, preservation of open areas and use of desirable architectural, building, and site design techniques.  
**Response: The request provides and maintains existing public benefits, including enhanced site design and landscaping, preservation of existing open areas, and has incorporated desirable architectural and planning techniques. These elements have contributed positively to the surrounding community and overall development pattern.**
- e. The request provides sufficient screening and buffering to screen adjacent uses from adverse impacts caused by the granting of a waiver.  
**Response: Adequate screening and buffering were enhanced through the previous approvals and remain adequate to ensure that adjacent uses are protected from any potential adverse impacts associated with the waiver. Existing conditions and required landscape treatments maintain compatibility and visual separation.**
- f. Economic hardship may not be used to justify waivers.  
**Response: The request is not based on economic hardship and is instead supported by planning, design, and functional considerations consistent with the intent of the Village's regulations and long-existing site conditions. Granting of the waiver enhances the services provided by this facility to residents of the Village of Palm Springs.**
- g. The result is compatible with existing and potential land uses adjacent to the development site.  
**Response: The existing and expanded development remains compatible with existing and potential land uses adjacent to the site. The requested waiver does not alter the character of the area and maintains harmonious relationships with surrounding properties.**

- h. Waiver requests from minimum common amenity area requirements shall further demonstrate that adequate recreation area is available on the immediate vicinity of the proposed development.

***Response: Not applicable.***

- i. Waiver requests from maximum height limitations shall further demonstrate that the additional height will not adversely impact adjacent properties and appropriate step backs are provided as building height increases.

***Response: Not applicable***

### **Site Plan Amendment – Density**

The requested increase in the number of beds continues to align with the permitted density and intensity calculations previously approved for the project at 19 du/acre.

### **Site Plan Amendment - Building Architecture:**

The proposed site plan amendment does not include any changes to the exterior of the existing Buildings A, B, or C. All existing architectural features and site improvements will remain as currently constructed.

The scope of the site plan amendment is limited to interior modifications within Building B, to accommodate an increase of forty (40) additional beds within previously constructed and utilized bedroom spaces and these changes are confined to the building's interior and do not impact the overall footprint, massing, or external appearance of the structure.

### **Site Plan Amendment - Site Access, Parking and Traffic:**

The primary access to the property remains via a gated entrance along Lake Worth Road, with a secondary access point located on Cooley Court. The proposed site plan amendment does not include changes to the overall site layout, and no additional parking spaces are proposed as part of this amendment.

All existing and previously approved access points and circulation patterns will remain unchanged, ensuring continued functionality and compatibility with surrounding infrastructure.

Palm Beach County Fire Station No. 31 will continue to provide service. Fire Station No. 31 is located at 3400 2<sup>nd</sup> Avenue North and is located on the north side of Lake Worth

Road approximately  $\frac{3}{4}$  of mile east of the subject site. The proximity to the site will provide appropriate emergency access response to the facility.

**Site Plan - Drainage and Utilities:**

As previously noted, the overall site layout will remain unchanged as part of this application. Consequently, the existing drainage patterns and utility infrastructure will remain in place without modification. No site alterations are proposed that would impact stormwater management or utility service to the site. There are no existing deficiencies.

These conditions support the continued functionality of the site and ensure consistency with previously approved development standards.

Water and Sewer services to the site are existing from Palm Beach County Water Utilities Department and will remain with no proposed changes. There is a *de minimis* impact from the increase in beds.

The subject site abuts the Lake Worth Drainage District Canal L-12.

**Site Plan - Buffers and Setbacks:**

The current landscape plan has been most recently reviewed and approved by Resolution which has not been signed at the time of this application but remains in compliance with the applicable code requirements of the Village of Palm Springs. As the overall site layout remains unchanged under this application, all existing setbacks will be maintained without modification.

These conditions ensure continued consistency with previously approved development standards and reinforce compatibility with surrounding properties.

**Conclusion:**

On behalf of the Applicants, we respectfully request approval of the Future Land Use Amendment, Rezoning, Special Exception, and Site Plan Amendment to allow for a further increase in resident beds for this site. Should you have any questions or require additional information, please do not hesitate to contact George G. Gentile at (561) 718-4320, Patricia Lentini at (561) 348-0696 or Jeffrey Lynne, Esq. at (561) 791-4368.

**JUSTIFICATION STATEMENT**  
**BANYAN PALM BEACH – F.K.A. THE RETREAT**  
**VILLAGE OF PALM SPRINGS**  
**CRA**  
**ORIGINAL SUBMITTAL: MARCH 26, 2026**

**Introduction:**

On behalf of the property owner, BCP Florida Holdings, LLC, and its tenant, Boca RI, LLC dba Banyan Palm Beach (doing business nationally as “Banyan Treatment Centers”) (collectively the “Applicants”), their agents Jeffrey C. Lynne, Esq., of Cohen Norris Wolmer Ray Telepman Berkowitz & Cohen, and 2GHO Inc. The 3.17-acre subject site (PCN 70-42-44-25-00-000-1010) is located on the southeast corner of Lake Worth Road and Cooley Court in the Village of Palm Springs, Florida.

The subject site is part of the Lake Worth Road District CRA

Below are the CRA Key Goals for projects with the CRA:

**I. Improving utilities and infrastructure**

- The increase in beds occurs entirely within the existing building footprint. No new construction, utility extensions, or infrastructure upgrades are required. All existing systems remain adequate to support the proposed operational capacity.

**II. Expanding job development and economic growth**

- Increasing the number of beds requires additional staffing, including clinicians, support staff, and administrative personnel. This expansion contributes to local employment opportunities and supports continued investment in essential mental-health services, a growing sector within Palm Beach County.

**III. Enhancing public safety**

- The facility operates under an established Security Management Plan previously reviewed by the Village. This plan is being resubmitted for the record and outlines protocols that ensure the safety of clients, staff, visitors, and the

surrounding community. No exterior changes or site modifications are proposed, and the increase in beds does not introduce new safety risks.

**IV. Increasing and maintaining workforce housing**

- The site does not contain workforce housing, and none is proposed as part of this amendment.

**V. Advancing the partnership with Palm Beach County**

- The increased bed capacity helps meet growing mental-health service needs within Palm Beach County, including residents of the Village of Palm Springs. The amendment supports countywide behavioral-health goals and strengthens coordination between local jurisdictions in addressing post-pandemic mental-health demands.

Proposal's effect on existing conditions (identified in CRA community redevelopment plan) in the CRA district.

- As noted above, all infrastructure and utilities serving the site are existing and adequate. The proposed amendments do not include any exterior modifications, new construction, or changes to the physical site plan. As a result, the proposal does not alter or negatively impact any existing conditions identified in the CRA Community Redevelopment Plan. The project maintains the current built environment and continues to operate within the established infrastructure framework of the CRA district.

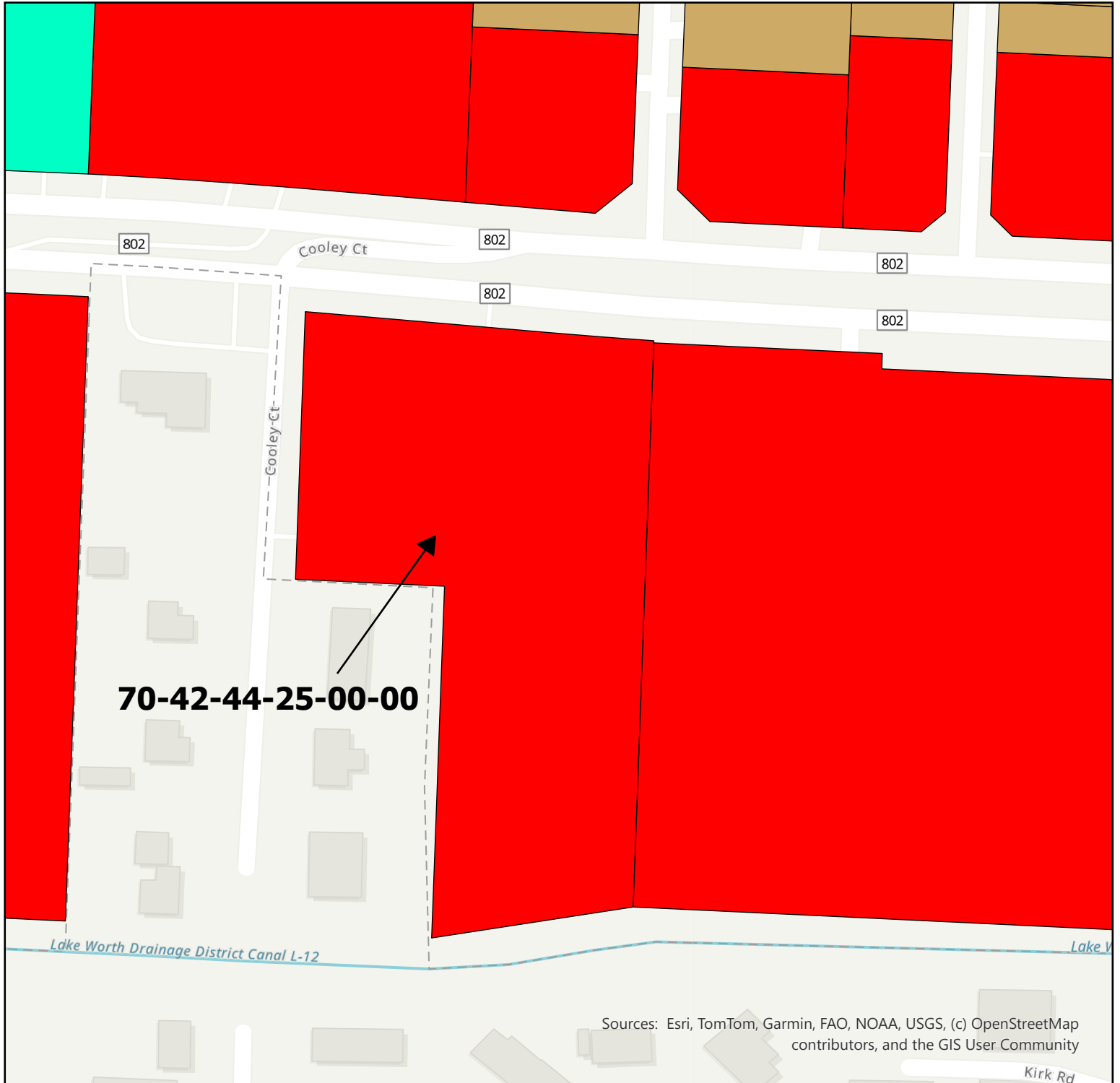
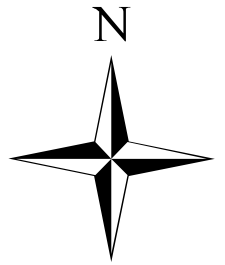
Proposal's ability to assist in achieving strategies and objectives of the Palm Springs CRA.

- The proposal supports the strategies and objectives of the Palm Springs CRA by strengthening an existing healthcare use that provides essential mental-health services to residents of the Village and Palm Beach County. Increasing the number of beds within the existing building footprint enhances service capacity without requiring new development or additional land consumption. This aligns with CRA goals related to economic stability, reinvestment in existing properties, and the provision of community-serving uses.
- The amendment also contributes to local employment by increasing staffing needs, supporting job creation within the CRA district. By improving the operational efficiency and community benefit of an established facility, the proposal advances the CRA's broader objectives of promoting economic vitality, supporting essential services, and enhancing the overall quality of life within the redevelopment area.



# Village of Palm Springs

4020 Lake Worth Rd  
The Retreat - Proposed Map



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community

Date: 4/17/2026

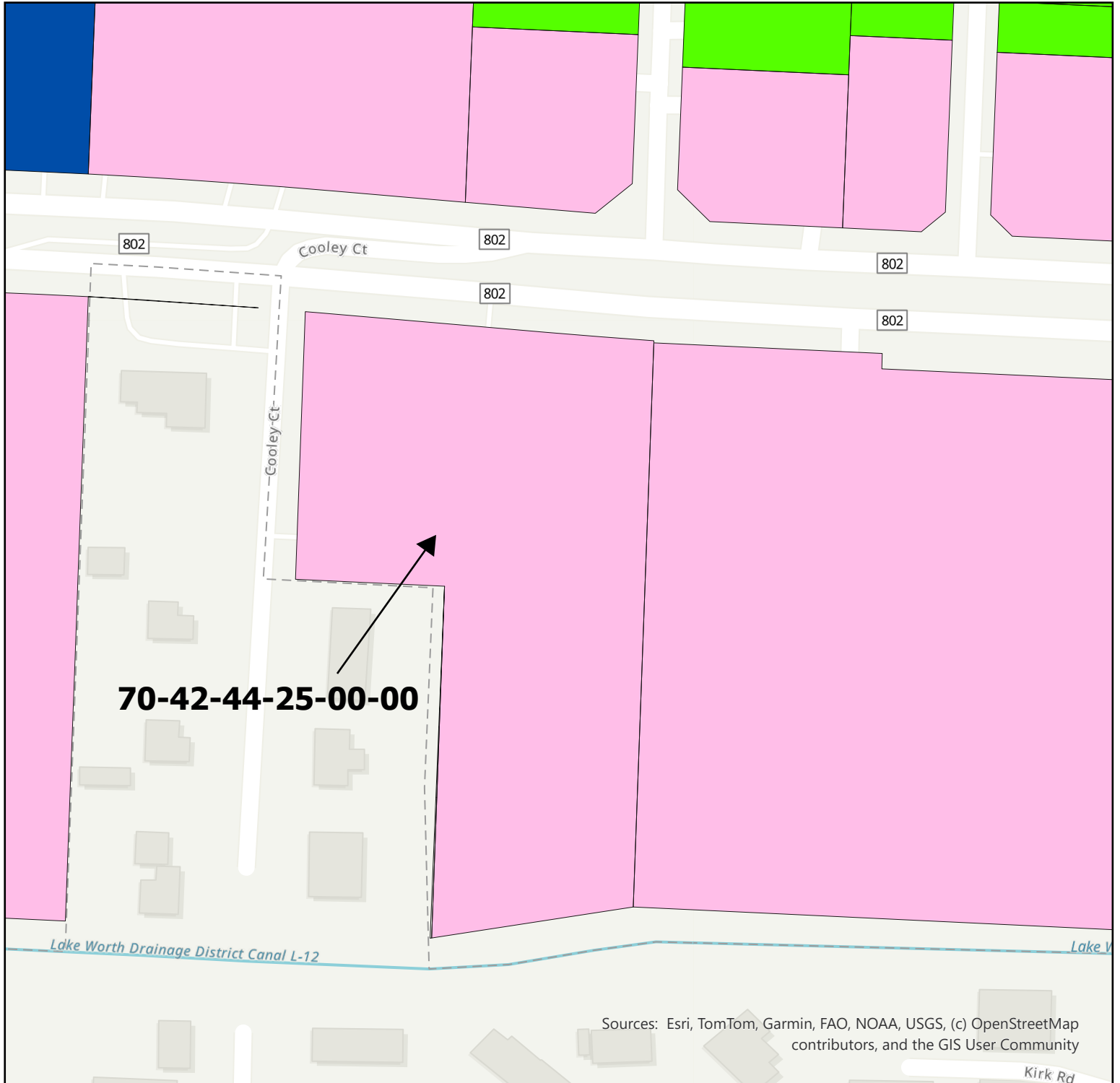
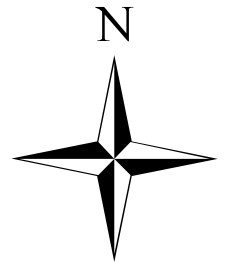
0 75 150 300 US Feet

 Mixed Use



# Village of Palm Springs

4020 Lake Worth Rd  
The Retreat - Proposed Map



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community

Zoning Map  
Mixed Use

Date: 4/17/2026



